

LEGAL DESCRIPTION

FINAL PLAT FOR BLOCK 1 OF UPLANDS FILING NO. 1, REC. NO. \_\_\_\_\_ DATED \_\_\_\_\_  
CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE

I, \_\_\_\_\_, A LAND SURVEYOR  
REGISTERED IN THE STATE OF COLORADO,  
HEREBY CERTIFY THAT THE ABOVE LEGAL  
DESCRIPTION HAS BEEN PREPARED OR  
REVIEWED BY ME TO BE AN ACCURATE  
DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE \_\_\_\_\_ REGISTERED \_\_\_\_\_  
LAND SURVEYOR & NO. \_\_\_\_\_

PROJECT TEAM

PROPERTY OWNER / APPLICANT  
VPDF UPLANDS LLC  
CHAD ELLINGTON  
1480 HUMBOLDT STREET  
DENVER, CO 80218  
303.503.1016  
CHAD@PEAKDEV.COM

HOME BUILDER  
BROOKFIELD PROPERTIES  
DEVELOPMENT  
BRAD WILKIN  
6465 GREENWOOD PLAZA BLVD  
SITE 700  
CENTENNIAL, CO 80111  
BRAD.WILKIN@BROOKFIELD  
PROPERTIESDEVELOPMENT.COM

PLANNER/LANDSCAPE ARCHITECT

NORRIS DESIGN  
BRAD HAIGH  
1101 BANNOCK ST.  
DENVER, CO 80204  
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CIVIL ENGINEER  
HR GREEN  
RYAN LITTLETON  
8310 S. VALLEY HIGHWAY, STE. 300  
ENGLEWOOD, CO 80112  
RLITTLETON@HGREEN.COM

ARCHITECT  
KTYG  
GODDEN SUDIK  
PAUL BRADY  
5976 S QUEBEC ST  
CENTENNIAL, CO 80111  
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KTYG  
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3680 BLAKE ST, STE 500  
DENVER, CO 80205  
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DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR  
LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO  
BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL  
BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN  
ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS  
PROJECT IS AS FOLLOWS:

- THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH  
COMPLETION OF HOMES ANTICIPATED WITHIN 5 YEARS OF  
RECEIVING THE FIRST BUILDING PERMIT, SUBJECT TO MARKET  
CONDITIONS.

PERMITTED / PROHIBITED USES

PERMITTED USES:

- SINGLE-FAMILY ATTACHED (TOWNHOME) RESIDENCES
- SINGLE-FAMILY DETACHED RESIDENCES
- PRIVATE NONCOMMERCIAL RECREATIONAL FACILITIES, PARKS,  
AND OPEN SPACE
- TEMPORARY SALES OFFICE AND PARKING LOT
- TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE

PROHIBITED USES:

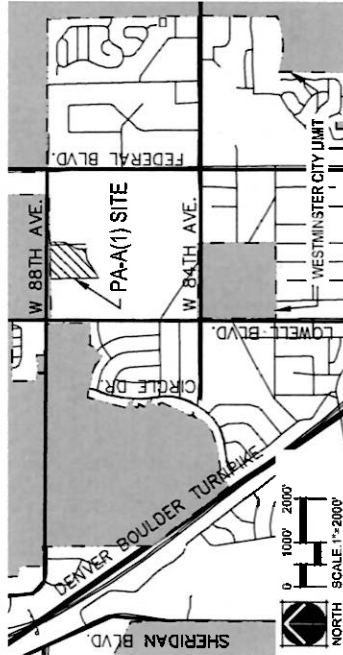
- ACCESSORY STRUCTURES, NO ACCESSORY STRUCTURES WILL BE  
ALLOWED ON PRIVATE LOTS
- ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE  
REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR  
OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE  
NOT PROPOSED WITH THIS ODP.

OFFICIAL DEVELOPMENT PLAN

UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 1 OF 120

VICINITY MAP



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

	ZONING	LAND USE	COMP. PLAN
PA-A(1)	PUD	VACANT	MIXED USE NEIGHBORHOOD
NORTH:	PUD	RESIDENTIAL	RESIDENTIAL LOW-DENSITY
SOUTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
EAST:	PUD	VACANT	MIXED USE NEIGHBORHOOD
WEST:	PUD	VACANT/PLD	MIXED USE NEIGHBORHOOD

SHEET INDEX

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LEGAL DESCRIPTION

I, \_\_\_\_\_, AS \_\_\_\_\_, A \_\_\_\_\_  
OF \_\_\_\_\_, PROPERTY OWNER, DO SO APPROVE  
THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

VPDF UPLANDS LLC,  
A DELAWARE LIMITED LIABILITY COMPANY  
BY: VP FINDERS 2 HOLDINGS LLC,  
A DELAWARE LIMITED LIABILITY COMPANY,  
ITS SOLE MEMBER  
BY: VARDE PARTNERS, INC.,  
A DELAWARE CORPORATION, ITS MANAGER

BY: \_\_\_\_\_  
NAME: \_\_\_\_\_  
ITS \_\_\_\_\_

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF  
WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

ATTEST: CITY CLERK \_\_\_\_\_

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MAYOR \_\_\_\_\_

ATTEST: CITY CLERK \_\_\_\_\_

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. \_\_\_\_\_

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND  
RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS  
\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M.

ADAMS COUNTY CLERK AND RECORDER \_\_\_\_\_

BY: DEPUTY CLERK \_\_\_\_\_

UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
REVISIONS  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
SUB 03: 04.26.2024  
SUB 04: 05.31.2024

1 OF 120  
COVER

CASE # PLN23-0094

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 120

LOTS & COVERAGE		
SURFACE TYPE WITHIN UPLANDS PA-A(1)	AREA (SF)	% OF SITE
BUILDING COVERAGE	79,070	21%
PAVING AND DRIVES	126,690	34%
LANDSCAPE OPEN AREA	172,417	45%
NET TOTAL AREA*	380,177	100%
GROSS TOTAL AREA*	988,774	100%

*GROSS AREA REFERS TO POP/MDP PLANNING AREA ACRES, NET AREA REFERS TO PLANNED BLOCK ACREAGE.	
PROJECT / SITE DATA	
GROSS ODP BOUNDARY AREA:	988,774 SF / 22.24 AC
NET ODP BOUNDARY AREA:	380,177 SF / 8.73 AC
PLD GROSS:	479,535 SF / 11.00 AC
RESIDENTIAL UNITS PROPOSED:	78 UNITS
GROSS DU PER ACRE:	3.5 DU/AC
NET DU PER ACRE:	8.9 DU/AC
MINIMUM BUILDING HEIGHT(S) (FT):	45' (IRC)
MINIMUM LOT SIZE:	1,110 SF / 0.03 AC

OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE

	TOTAL UNITS IN ODP	DETACHED UNITS IN ODP	ATTACHED UNITS IN ODP	MULTIFAMILY UNITS IN ODP	TOTAL UNITS IN ODP
PA-A(1)	78	39	39	0	2350
PA-A(2)	135	25	110	0	2350
PA-A(4)	125	28	97	0	2350
PA-A(5)	166	93	73	0	2350
PA-A(7)	180	112	68	0	2350
PA-A TOTAL:	684	297	387	0	2350
PA-B(1)	82	38	44	0	2350
PA-C(1)	70	0	0	70	2350
PA-C(2)	247	0	0	247	2350
TOTAL:	1063	335	431	317	2350

PERMETER SITE SETBACKS		
PA-A(1)	REQUIRED	PROVIDED
FROM RIGHT-OF-WAY (FT):		
88TH AVE.	16	18
87TH AVE.	12	12
IRVING STREET	12	12
PLD	20	20

ACCESSIBLE HOUSING		
PER 2003 COLORADO STATE HOUSE BILL 03-1271, ARTICLE 5, STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. § 5-101 TO § 5-106, A PROJECT SHALL BE ASSIGNED ACCESSIBILITY POINTS BASED ON THE NUMBER OF UNITS CONTAINED WITHIN THE PROJECT AS FOLLOWS:		
TOTAL NUMBER OF UNITS		
PA-A(1) (39 UNITS)	112 TOTAL UNITS	
PA-A(5) (73 UNITS)	48 ACCESSIBILITY POINTS REQUIRED	
ACCESSIBILITY POINTS PROVIDED		
TYPE B VISITABLE GROUND FLOOR UNITS		
VALUE = 1 ACCESSIBILITY POINT/UNIT		
# OF TYPE B VISITABLE UNITS		
ACCESSIBILITY POINTS		
PA-A(1) (39 UNITS)	11	11
PA-A(5) (73 UNITS)	37	37
TOTAL	48	48

\* PA-A(1) AND PA-A(5) SHARE ACCESSIBILITY POINTS ACROSS PLANNING AREAS TO MEET NECESSARY REQUIREMENTS. NO MORE THAN THIRTY PERCENT OF THE PROJECT IS TO BE COMPLETED WITHOUT PROVIDING A PORTION OF THE ACCESSIBILITY UNITS REQUIRED. PLEASE SEE GRADING PLANS FOR SPECIFIC ACCESSIBLE UNIT LOCATIONS PER PLANNING AREA.

\* PA-A(1) AND PA-A(5) SHARE ACCESSIBILITY POINTS ACROSS PLANNING AREAS TO MEET NECESSARY REQUIREMENTS. NO MORE THAN THIRTY PERCENT OF THE PROJECT IS TO BE COMPLETED WITHOUT PROVIDING A PORTION OF THE ACCESSIBLE UNITS REQUIRED. PLEASE SEE GRADING PLANS FOR SPECIFIC ACCESSIBLE UNIT LOCATIONS PER PLANNING AREA.

COMPLIANCE WITH MDP STANDARDS:

BUILDING FORM DIVERSITY REQUIREMENTS	REQUIRED	PROVIDED
M/N. TWO BUILDING FORMS		TWO BUILDING FORMS
PERMETER SENSITIVITY ZONE	N/A - PERMETER SENSITIVITY ZONE IS PLD	N/A
HOME TYPE DIVERSITY (SFA MIN - SFD MAX)	SFA: 30% MIN - 50% MAX SFD: 50% MIN - 70% MAX	SFA: 50% SFD: 50%
SUBAREA A DIVERSITY (MIN-MAX%)	SFA: 30% MIN - 50% MAX SFD: 50% MIN - 70% MAX	SFA: 50% SFD: 50%

PARKING REQUIREMENTS

TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)	PROVIDED (ON-STREET)*
SFA	39	78	78	0
GUEST (143)		13	0	95*
DRIVEWAY (2 UNIT)	39	78	78	0
ENCLOSED (2 UNIT)		78	78	0
TOTAL	78	247	156	95
TOTAL PROVIDED				251

\* 95 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH ROW AND SURFACE SPACES. SEE SHARED PARKING TABLE BELOW.  
\*\* ACCESSIBLE STALLS ARE PROVIDED IN ACCORDANCE WITH FEDERAL REGULATIONS.

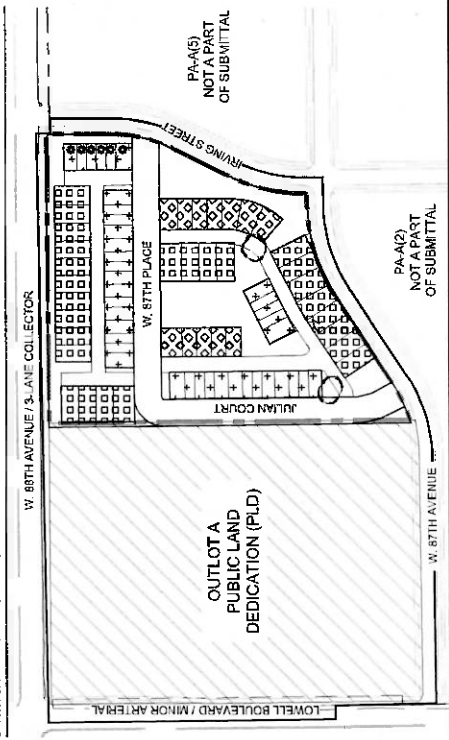
SHARED PARKING BREAK-DOWN	TYPE	REQUIRED	PROVIDED
ROW	9TH PLACE		28 (2)
	JULIAN COURT (EAST)		15
	IRVING STREET		19
SURFACE	87TH AVENUE	13	15
	STANDARD	1	0
	ACCESSIBLE	1	2 (2)
TOTAL		13 SFA + 78 SFD = 91	95 (4)
ADDITIONAL ROW PARKING	PLD FRONTAGE ON JULIAN COURT	0	22
	88TH AVENUE	0	27

NOTE: NUMBERS IN PARENT-THESIS DENOTE ACCESSIBLE SPACES.

EV AND BIKE PARKING	REQUIRED	PROVIDED
EV CHARGING (1 UNIT)	78	78
BICYCLE PARKING	0	18

NOTE: ALL SFD AND SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGER IN THE GARAGE.

BUILDING FORM DIVERSITY PLAN



LEGEND

- PUBLIC LAND DEDICATION
- SINGLE-FAMILY DETACHED 2-STORY (27)
- SINGLE-FAMILY DETACHED 3-STORY (12)
- SFA TOWN-HOME 3-STORY (39)
- DENOTES WHERE ROOF TOP DECKS ARE NOT ALLOWED FOR TOWNHOMES
- PLANNING AREA BOUNDARY
- PARCEL BOUNDARY

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 3 OF 120

PROJECT NOTES

PARK DEVELOPMENT FEES

A PARK DEVELOPMENT FEE WILL BE PROVIDED TO THE CITY OF WESTMINSTER IN ACCORDANCE WITH THE CITY OF WESTMINSTER CODE SECTION 11-6-4-C.

THE CITY CODE 11-6-4-C) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. SEE REQUIRED DOLLAR AMOUNT PER UNIT TYPE BELOW DUE TO THE CITY. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-4-C, THE PARK DEVELOPMENT FEE IS CALCULATED BASED UPON THE NUMBER OF DWELLING UNITS TO BE CONSTRUCTED AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS) - \$2,376.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS) - \$1,934.00 PER UNIT
- FOR 30 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 30 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$168,168.00.

SCHOOL LAND DEDICATION

THE CITY CODE 11-6-4-P) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST, THEREFORE A RECEIPT OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A RATED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C, THE SCHOOL LAND DEDICATION FEES ARE AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS) - \$876.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS) - \$468.00 PER UNIT
- FOR 30 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 30 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$52,416.00.

PUBLIC ART

NOT APPLICABLE.

RECOVERY COSTS

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS

MAXIMUM DENSITY OF A COMPREHENSIVE PLAND DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.97 ACRE COMMUNITY.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-B, A MINIMUM OF 12.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION. OF THIS, A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL PDP, WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF EACH ODP.

PER THE CITY COUNCIL CONDITIONS OF APPROVAL, UPLANDS HAS DEDICATED 40.65 ACRES OF PHYSICAL LAND AND PROVIDED CASH-IN-LIEU FOR 21.99 ACRES, FOR A TOTAL OF 62.64 ACRES OF LAND. THIS DEDICATION IS BASED OFF A PROJECTED POPULATION OF 5220 PERSONS FOR THE ENTIRE UPLANDS POP. IF FUTURE ODPS INCREASE THE PROJECTED POPULATION ABOVE 5220 PERSONS, ADDITIONAL CASH-IN-LIEU SHALL BE REQUIRED.

THE BELOW CHART NOTES THE PROJECTED POPULATION FOR UPLANDS BY PLANNING AREA FOR THE PURPOSE OF DETERMINING THE CASH-IN-LIEU PAYMENT DUE AT TIME OF FINAL PLAT, IN COMPLIANCE WITH PDP CONDITION OF APPROVAL 7. THE ODP PLD TRACKING TABLE WILL BE UPDATED WITH EACH ODP.

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

PARCELS	PHYSICAL PLD ACRES REQUIRED	PLD ACRES DEDICATED PDP PLN22-0052	PLD ACRES REMAINING	VIEW CORRIDOR ACRES REQUIRED	VIEW CORRIDOR ACRES DEDICATED PDP PLN22-0052	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	21.00 AC	0 AC	-	-	-
PARCEL B	6.06 AC	6.06 AC	0 AC	3.28 AC	3.28 AC	0
PARCEL C	3.00 AC	3.00 AC	0 AC	-	-	-
PARCEL D	4.24 AC	4.24 AC	0 AC	3.07 AC	3.07 AC	0
PARCEL E	-	0	0 AC	-	-	-
TOTAL	34.30 AC	34.30 AC	0 AC	6.35 AC	6.35 AC	0

NOTE: PLD FOR EACH PLANNING AREA IS BASED UPON THE PERCENTAGE OF POPULATION FOR THE OVERALL DEVELOPMENT AND IS DEFECTIVE IN THE DEVELOPMENT PLANS PRELIMINARY DEVELOPMENT PLAN. THE BELOW CHART SHALL BE UPDATED WITH FINAL UNIT COUNTS AT EACH SITE-SPECIFIC ODP.

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

PLANNING AREA	LAND USE	GROSS AREA (AC)	% OF SITE	GROSS DENSITY RANGE MIN-MAX (DU/AC)	MAX. # OF UNITS	UNITS BY TYPE						PROJECTED POPULATION						% OF POPULATION	TOTAL PLD ACRES REQUIRED	PLD CASH-IN-LIEU ACRES
						SFD	OR	SFA	OR	MF	UNIT	SFD	OR	SFA	OR	MF	UNIT			
PA-A(1)	RESIDENTIAL	22.24	9.51%	4.0-5.6	124	49	33	0	147	82.5	-	-	-	-	1.58%	2.75	0.35			
PA-A(2)	RESIDENTIAL	13.98	5.98%	6.0-10.3	143	22	113	0	66	282.5	-	-	-	-	1.26%	4.18	0.28			
PA-A(3)	RESIDENTIAL	20.21	8.65%	5.5-7.0	141	40	89	0	120	222.5	-	-	-	-	2.30%	4.11	0.51			
PA-A(4)	RESIDENTIAL	13.87	5.84%	7.0-9.5	129	36	91	0	103	227.5	-	-	-	-	2.07%	4.03	0.45			
PA-A(5)	RESIDENTIAL	18.20	7.78%	8.0-9.5	172	94	65	0	282	162.5	-	-	-	-	5.40%	5.33	1.19			
PA-A(6)	RESIDENTIAL	23.83	10.19%	5.2-5.9	140	25	35	80	75	87.5	180	-	-	-	1.44%	3.87	0.32			
PA-A(7)	RESIDENTIAL	18.62	7.99%	8.0-10.3	191	180	0	0	540	0	-	-	-	-	10.34%	6.48	2.27			
PA-A(8)	RESIDENTIAL/ MIXED-USE/ COMMERCIAL	19.54	8.35%	20.0-25.2	491	0	49	369	0	122.5	738	-	-	-	13.83%	10.33	3.04			
PA-B(1)	RESIDENTIAL	16.29	6.96%	4.15-5.0	82	42	40	0	126	100	-	-	-	-	1.92%	2.71	0.42			
PA-B(2)	RESIDENTIAL	13.32	5.69%	1.0-2.0	26	26	0	0	78	-	-	-	-	-	1.49%	0.94	0.33			
PA-C(1)	MIXED-USE/ COMMERCIAL	16.32	6.98%	15.0-22.7	370	0	0	370	0	-	-	-	-	-	-	-	-			
PA-C(2)	RESIDENTIAL	13.77	5.89%	8.0-18.0	247	0	247	0	247	0	-	-	-	-	14.18%	8.88	3.12			
PA-Q(1)	RESIDENTIAL	19.60	8.39%	4.0-4.8	94	47	47	0	141	117.5	-	-	-	-	9.46%	5.93	2.08			
PA-Q(2)	OFFICE	3.10	1.33%	-	-	0	0	0	0	-	-	-	-	-	2.70%	3.10	0.59			
PA-E	PRIVATE OPEN SPACE	1.23	0.53%	-	-	0	0	0	0	-	-	-	-	-	-	0.00	0.00			
		233.92	100.0%		2350	561	562	1068	1683	1405	2132	-	-	-	100.00%	62.54	21.99			

NOTE: BOLDDED PLANNING AREAS HAVE BEEN APPROVED OR ARE UNDER REVIEW WITH A SPECIFIC UNIT COUNT. SEE SPECIFIC RECORDED ODP COUNTS, PROVIDED ON SHEET 2.

UPLANDS

DATE:

05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
REVISIONS  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
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3 OF 120  
SITE DATA

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 4 OF 120

OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

THE GENERAL INTENT OF THIS ODP IS TO:  
1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-5-5 OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-15. STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPs.

PROJECT SCOPE:

THE ODP AREA CONTAINS THE 22.24 GROSS ACRES IN UPLANDS FILING 1, BLOCK 1, PHA(1) CONSISTS OF 8.73 GROSS ACRES. THE SITE IS BOUNDED BY AN 11.0 AC GROSS PUBLIC LAND DESIGNATION TO THE WEST, EXISTING SINGLE-FAMILY DETACHED HOMES TO THE NORTH, AND VACANT LAND WITHIN PHA-A TO THE EAST AND SOUTH.

THE ODP PROPOSES A TOTAL OF 39 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 39 SINGLE-FAMILY DETACHED HOMES, FOR A TOTAL OF 78 HOMES. THIS RESULTS IN A GROSS DENSITY OF 33 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN LAND USE DESIGNATION OF TMUND.

THE SITE PLANNING EMPHASIZES FRONTING HOMES TO THE EXTERIOR OF THE SITE TO CREATE A WELCOMING, PEDESTRIAN FRIENDLY ENVIRONMENT WHEREVER POSSIBLE. WHERE HOMES ARE NOT FRONTING ONTO PUBLIC STREETS, THE HOMES ARE ORGANIZED AROUND COMMON OPEN SPACE. CARE HAS BEEN TAKEN TO ENSURE A GRADUAL TRANSITION FROM THE SURROUNDING NEIGHBORHOODS INTO THE UPLANDS COMMUNITY. THIS PLAN INCORPORATES EXISTING ARCHITECTURAL STANDARDS AND MASSING, PROPOSING 2-STORY DETACHED HOMES FRONTING W. 88<sup>TH</sup> AVENUE AND PHD, AND 3-STORY TOWNHOMES FRONTING THE PARK.

THE PROPOSED HOMES ARE A VARIETY OF 2 AND 3-STORY STRUCTURES.

- SINGLE-FAMILY DETACHED, 2-STORY
- SINGLE-FAMILY DETACHED, 3-STORY
- SINGLE-FAMILY ATTACHED TOWNHOMES, 3-STORY

UPLANDS PHA(1) CONSISTS OF A MIX OF 2-STORY AND 3-STORY SINGLE-FAMILY DETACHED HOMES AND 3-STORY ATTACHED TOWNHOMES. THE 3-STORY TOWNHOMES ARE INTERNAL TO PHA(1) TO PROVIDE A SMOOTH TRANSITION BETWEEN THE SURROUNDING EXISTING COMMUNITIES AND THIS ODP. BOTH PROPOSED HOME TYPES ARE ALLEIGHED, ALLOWING FRONT EXTRAWAYS TO BE ACTIVATED AT A HUMAN SCALE. THE SINGLE-FAMILY DETACHED HOMES UTILIZE PORCHES, PATIOS, AND DECKS TO MAXIMIZE VIEWS AND PROVIDE VARIETY TO ELEVATION MASSING. THE 3-STORY TOWNHOMES OFFER A ROOF TOP DECK OPTION, INTEGRATING AND PRIORITIZING USABLE OUTDOOR SPACE. ALL THE PROPOSED HOMES OFFER AN ATTACHED 2-CAR GARAGE. ADDITIONAL PARKING IS PROVIDED ON-STREET ON THE ADJACENT STREETS INCLUDING 87TH AVENUES, IRVING STREET, INTERNAL LOCAL STREETS, AND DISPERSED IN OFF-STREET PARKING SPACES.

THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TMUND DESIGN GUIDELINES THROUGHOUT. IN ORDER TO FULLY ACHIEVE THESE CHARACTERISTICS, THERE ARE AREAS WHERE THIS SITE PLAN VARIES FROM THE DIMENSIONAL REQUIREMENTS WITHIN RELEVANT CITY CODE. PLEASE REFER TO ODP EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS ODP TO SEE SPECIFIC INSTANCES WHERE THESE PRINCIPLES DIFFER FROM CITY REQUIREMENTS. IN GENERAL, THESE EXCEPTIONS ENSURE THAT THIS COMMUNITY CONTRIBUTES TO THE VIBRANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS NEIGHBORHOOD INCLUDES HOMES THAT TARGET A RANGE OF HOMEBUYERS, FROM ENTRY-LEVEL ATTACHED TOWNHOMES AND DETACHED HOMES. THIS IS A GOAL, NOT ONLY OF TMUND, BUT OF RECENT CITY PLANS AND VISIONS AS WELL.

LASTLY, THIS PLANNING AREA IS ADJACENT TO THE 11 ACRES OF PUBLIC LAND DEDICATION. IN ADDITION, PUBLICLY ACCESSIBLE PRIVATE PARKS ARE THOUGHTFULLY PROVIDED WITHIN THIS PLANNING AREA. THE 11 ACRES OF PUBLIC LAND DEDICATION HAS BEEN THOUGHTFULLY PLACED TO OFFER THE GREATEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THIS PARK, ALONG WITH THE OTHERS THROUGHOUT PARCEL A ESTABLISHES A RECOGNIZABLE IDENTITY TO THE COMMUNITY, WITH VARIOUS FOCUSES & THEMES BEING EXPLORED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER AMENITIES EXHIBIT SUBMITTED WITH THIS ODP FOR MORE DETAIL ON PARK

STANDARD STATEMENTS

PROGRAMMING ACROSS UPLANDS.

A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.

B. THE FINAL PLAN FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.

C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.

D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.

F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).

G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFF-SET STORM DRAINAGE DETENTION FACILITIES AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.

H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAN.

I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.

J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.

K. CITY WILL INSTALL ALL STREET NAME SIGNS. DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.

L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS, EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.

STANDARD STATEMENTS, CONT.

M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.

N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING.

O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.

P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.

Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.

R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT. PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY, TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.

S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF ALL-WEATHER SURFACE MATERIAL THAT WILL SUPPORT THE LOADS OF FIRE APPARATUS.

T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.

U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.

W. THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLES WITH CRS 9-5 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 656 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN AMOUNT OR 12% OF THE ALLOWED UNITS.

X. AOA COMPLIANCE  
PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE AOA REGULATIONS.

UPLANDS

05.31.2024

DATE:

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
REVISIONS	
SUB 01: 10.27.2023	
SUB 02: 02.29.2024	
SUB 03: 04.26.2024	
SUB 04: 05.31.2024	

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NOTES



EXCEPTIONS AND JUSTIFICATIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS IN UPLANDS FILING NO. 1 - BLOCK 1. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE, UPLANDS MDP AND LANDSCAPE REGULATIONS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE PUD ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO UPDATE THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER. THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. THIS PROPOSED ODP AND RELATED EXCEPTIONS HELP FURTHER THE TRADITIONAL MIXED USE NEIGHBORHOOD DEVELOPMENT PRINCIPLES, INCLUDING CREATING A COMPACT WALKABLE DEVELOPMENT THROUGH AN INTERCONNECTED STREET/BLOCK PATTERN WITH NARROWER STREETS, SUPPORTING DOCUMENTS INCLUDE:

- 2013 COMPREHENSIVE PLAN - THE PLAN INCLUDES A NUMBER OF GUIDING PRINCIPLES THAT SUPPORT COMMUNITIES WITH A BALANCED MIX OF HOUSING OPPORTUNITIES THAT MAINTAIN A DIVERSE HOUSING SUPPLY IN AN ACTIVE, WALKABLE ENVIRONMENT. THE UPLANDS PDP CONSISTED OF AN ITERATIVE, MULTI-YEAR DESIGN PROCESS THAT RESULTED IN THE ACCEPTED PDP ZONE DISTRICT THAT GOVERNS THIS PLANNING AREA. THE 2013 COMPREHENSIVE PLAN WAS A FOUNDATIONAL GUIDING DOCUMENT FOR MUCH OF THE PDP PROCESS AND SOME OF THOSE GUIDING PRINCIPLES, WHILE NOT IN CONFLICT WITH THE 2040 COMPREHENSIVE PLAN, REMAIN AS GUIDING PRINCIPLES FOR THE PDP AND ITS PLANNING AREAS.

- 2040 COMPREHENSIVE PLAN - THIS PLAN INCLUDES A CORNERSTONE FOCUSED ON PROVIDING A BALANCED MIX OF HOUSING OPPORTUNITIES FOR A RANGE OF INCOMES, AGE GROUPS, AND LIFESTYLE CHOICES. IT GOES ON TO ENCOURAGE SUSTAINABLE DESIGN PRACTICES AND TO CONTINUE PROVIDING A VARIETY OF NEIGHBORHOOD TYPES WITH A DIVERSITY OF HOUSING NEEDS. TO SERVE A RANGE OF HOUSEHOLD SIZES, COMPOSITIONS AND NEEDS.

- 2017 HOUSING NEEDS ASSESSMENT - THIS STUDY INCLUDES RECOMMENDATIONS TO ACCOMMODATE A VARIETY OF HOUSING CHOICES AND PRICE POINTS; BUILDING SMALLER HOMES ON SMALLER LOTS TO CREATE AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE THEREBY LOWERING THE OVERALL COST; AND ENABLING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.

- WESTMINSTER MUNICIPAL CODE - THE SITE IS ZONED PUD; PER CODE, THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE, TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER DUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL STANDARD ZONING REGULATIONS.

- PRELIMINARY DEVELOPMENT PLAN (PDP) - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES.

- MASTER OFFICIAL DEVELOPMENT PLAN (MDP) - THE VILLAGE RESIDENTIAL NEIGHBORHOOD WITHIN UPLANDS IS DESCRIBED IN THE MDP AS A MIX OF ALLEY LOADED SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL HOMES ORGANIZED IN A TRADITIONAL GRID FORMAT.

OFF-STREET PARKING:

AN EXCEPTION TO WMC 11-7-4(B)(2)

STANDARD: SFD ENCLOSED PARKING (2 SPACES/UNIT) = 78 SPACES  
SFD DRIVEWAY PARKING (2 SPACES/UNIT) = 78 SPACES  
SFA GUEST PARKING (1 SPACE/3 UNITS) = 13 SPACES  
SFA OFF-STREET PARKING (2 SPACES/UNIT) = 78 SPACES

EXCEPTION: PA-A(1) PROVIDES 39 SINGLE-FAMILY DETACHED HOMES AND 39 SINGLE-FAMILY ATTACHED TOWNHOMES. ALL HOMES FEATURE A 2-CAR GARAGE AND PROVIDE 146 OFF-STREET PARKING SPACES. UPLANDS A(1) HOMES DO NOT OFFER DRIVEWAY SPACES. 95 PARKING SPACES ARE PROVIDED VIA INTERNAL ON-STREET PARALLEL SPACES, FOR A TOTAL OF 251 PARKING SPACES. AN

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ADDITIONAL 48 SPACES ARE PROVIDED ALONG THE PUD TO THE WEST AND 38TH AVENUE, WHICH ARE NOT INCLUDED IN THIS TOTAL.

**JUSTIFICATION:** PA-A(1) LAYOUT DOES NOT PROVIDE DRIVEWAYS, THUS THE REQUEST FOR AN EXCEPTION TO DRIVEWAY PARKING AS REQUIRED BY CODE, WITHOUT TRADITIONAL DRIVEWAY PARKING TO CONTRIBUTE TO PARKING TOTALS, THE TOTAL ON-LOT SPACES PROVIDED IS LOWER THAN CODE REQUIRES. WHILE DRIVEWAYS ARE NOT PROVIDED, THE PROPOSED LAYOUT ACQUIRES THIS POTENTIAL DEFICIT IN PARKING BY PROVIDING SUPPLEMENTAL PARKING THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS). AS ALL UNITS ARE ALLEY-LOADED AND DIRECTLY FRONTING THE STREET, PEDESTRIAN CONNECTIVITY IS IMPROVED THROUGH INCREASED CONNECTION TO PUBLIC STREETS AND SIDEWALKS THEREFORE ENHANCING PEDESTRIAN MOBILITY THROUGHOUT THE PLANNING AREA. OVERALL PARKING NUMBERS PROVIDED ARE SUPPORTIVE OF THE NEIGHBORHOOD.

**2013 COMP PLAN:** THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASE HOUSING DIVERSITY.

**2040 COMP PLAN:** THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND PROVIDES OPPORTUNITIES FOR A RANGE OF HOUSING TYPES AND AFFORDABILITY TO ACCOMMODATE ALL INCOMES, LIFESTYLE TYPES AND AGE GROUPS WITHIN THE CITY (LUG-7). FURTHER, THE PROPOSED USE OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS) TO PROVIDE PARKING FOR THE PROPOSED TOWNHOMES COMPLIES WITH TABLE 3.5 OF THE URBAN MULTI-FAMILY DEVELOPMENT STANDARDS FOR TOWNHOMES WHICH INCLUDES "TUCK-UNDER PARKING, WITH SOME ON-STREET OR SURFACE PARKING" AS A DEVELOPMENT CHARACTERISTIC, FORM AND GUIDELINE FOR TOWNHOMES.

**WMC:** THE PROPOSED PARKING SOLUTION ENCOURAGES ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING (11-7-7(4)(D); PROVIDES FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN (11-4-7(8)) THROUGH THE USE OF ALLEY-LOADED HOMES ON SMALLER LOTS AND ON-STREET PARKING THAT ADDS NATURAL FRICTION TO THE STREET TO SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS. THE PROPOSED ALLEY-LOADED DESIGN IS CONSISTENT WITH A NEO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY RATHER THAN A STANDARD SUBURBAN NEIGHBORHOOD. WMC CODE (11-7-4(B)(2)(A)(I)) SPECIFICALLY NOTES PARKING MAY BE REDUCED FOR THIS TYPE OF NEIGHBORHOOD UPON A FINDING THAT LESS PARKING IS NEEDED BASED UPON THE DESIGN OF THE DEVELOPMENT.

**MDP:** THE EXCEPTION ALIGNS WITH THE MDP, WHICH NOTES ON-STREET PARALLEL PARKING SHOULD BE PROVIDED THROUGHOUT THE COMMUNITY TO HELP SLOW TRAFFIC. THE MDP FURTHER NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THESE TWO DESIGN CONCEPTS INFLUENCE THE DESIGN AWAY FROM HOMES WITH TRADITIONAL DRIVEWAYS AND FRONT YARDS.

**TOWN:** THIS EXCEPTION ALIGNS WITH THE TOWN DESIGN GUIDELINES BY SLOWING TRAFFIC - THE INCLUSION OF ON-STREET PARKING ADDS NATURAL FRICTION TO THE STREET, WHICH HELPS SLOW TRAFFIC AND ENCOURAGES MORE PEDESTRIAN MOVEMENTS.

LANDSCAPE AREA:

AN EXCEPTION TO LANDSCAPE REGULATIONS VII B.1.A.

STANDARD: SFA TO PROVIDE A MINIMUM OF 40% OF THE OVERALL SITE AREA (EXCLUDING RIGHT-OF-WAY LANDSCAPE AREA) SHALL BE LANDSCAPED.

**EXCEPTION:** UPLANDS PROVIDES A MINIMUM LANDSCAPE AREA OF 30.6% FOR SFA TOWNHOMES WITHIN PA-A(1).

**JUSTIFICATION:** THIS EXCEPTION ALLOWS FOR MORE COMPACT HOME TYPES THAT ENGAGE THE STREET AND PROMOTE COMMUNITY INTERACTION. IT REDUCES POTENTIAL IRRIGATION AREAS WHILE PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THIS ASSIST IN PROVIDING COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH HAVE INCREASED ALLEY PAVEMENT WIDTHS.

**2013 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY AND PROVIDE A DENSITY TRANSITION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE, WHILE THE OVERALL LANDSCAPE AREA IS REDUCED. THE REQUIRED PUBLICLY ACCESSIBLE PRIVATE PARK SPACE IS STILL PROVIDED (10.4% IS PROVIDED - 4% IS REQUIRED).

**2040 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL, LU-4 WHICH "ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN". LU-4 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEATURES SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALLOWS FOR THE OPPORTUNITY TO PROVIDE THOUGHTFUL AND IMPACT WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE, POCKET PARKS AND ON LOT LANDSCAPING. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE DEVELOPMENT REVIEW SECTION WHICH ASKS TO DETERMINE "THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN."

**WMC:** THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN (11-4-7(8)) THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS. THE REDUCED LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11-4-7(8)) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION. THIS EXCEPTION ALSO ALLOWS FOR COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH INCLUDE INCREASED PAVED AREAS WITHIN THE ALLEY.

**2017 HOUSING NEEDS ASSESSMENT AND OTHER:** THE REDUCED LANDSCAPE AREAS ALSO ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT.

THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT TAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE (11-4-7(8)) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

**MDP:** THIS EXCEPTION ALIGNS WITH THE MDP, WHICH NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED, AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THE MDP FURTHER NOTES THAT BUILD-TO LINES AND/OR FRONT SETBACKS SHOULD BE STUDIED TO FORM PEDESTRIAN FRIENDLY STREETSCAPES. THESE DESIGN CONCEPTS INFLUENCE THE DESIGN AWAY FROM HOMES WITH TRADITIONAL DRIVEWAYS AND FRONT YARDS.

UPLANDS

DATE:

05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023

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SUB 01: 10.27.2023

SUB 02: 02.29.2024

SUB 03: 04.26.2024

SUB 04: 05.31.2024

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EXCEPTIONS

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EXCEPTIONS AND JUSTIFICATIONS, CONT.

ROOF DESIGN

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

**STANDARD:** SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED BUILDING FORMS SHALL PROVIDE ROOF PITCHES OF 5 IN 12 OR GREATER.

**EXCEPTION:** ALL MAIN ROOFS ON SINGLE-FAMILY DETACHED MEET THIS STANDARD. SECONDARY ROOFS AT FRONT PORCHES AND OVER GARAGES ARE NO LESS THAN 1 IN 12. TWO OF THREE SINGLE-FAMILY ATTACHED TOWNHOME ELEVATION STYLES MEET THIS STANDARD. THE SECOND STYLE, MOUNTAIN MODERN, INCLUDES A MAIN SHED ROOF OF 4 IN 12 WITH A 3 IN 12 GABLE BETWEEN.

**JUSTIFICATION:** THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY DETACHED BUILDING FORMS WITH A ROOF PITCH LESS THAN 5 IN 12 WHERE EGRESS WINDOWS ARE REQUIRED. MANY OF THESE SECONDARY ROOFS WILL BE BETWEEN 3 IN 12 AND 4 IN 12. ADDITIONALLY, A ROOF HAVING A PITCH NO LESS THAN 1 IN 12 WILL BE PROVIDED TO ONE ELEVATION STYLE TO PROVIDE A VARIATION IN ROOF FORMS THAT ARE MORE CONTEMPORARY AND HELP CREATE A DIVERSE STREETSCAPE. THIS EXCEPTION APPLIES TO ONE SINGLE-FAMILY ATTACHED MOUNTAIN MODERN PRODUCT, WHICH PROVIDES A LOWER SHED ROOF TO ACTIVATE MODERN STYLE AND PROVIDE ARCHITECTURAL DIVERSITY WHILE KEEPING WITHIN THE REQUIRED BUILDING HEIGHTS.

**WMC:** THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY. OVERALL DESIGN (11.4.7(B)) THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS.

MASONRY

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

**STANDARD:** SINGLE-FAMILY ATTACHED BUILDING FORMS (TOWNHOMES) SHALL PROVIDE MASONRY ON AN AVERAGE 50% OF NON-WINDOW/DOOR SURFACES ON ALL ELEVATIONS.

**EXCEPTION:** UPLANDS PA-A(1) PROVIDES 50% OR MORE MASONRY ON ALL FRONT ELEVATIONS PROVIDING A TRANSITION BETWEEN THE EXISTING AND PROPOSED ARCHITECTURAL FABRIC. AN AVERAGE OF 30% MASONRY ON THE SIDE ELEVATIONS FOR SCANDINAVIAN AND MOUNTAIN MODERN SINGLE-FAMILY ATTACHED TOWNHOMES, AND 18% ON THE SIDE OF MODERN BROWNSTONE SINGLE-FAMILY ATTACHED TOWNHOMES. UPLANDS PROVIDES BETWEEN 11% AND 20% ON ALL REAR ELEVATIONS EMPHASIZING BUILDING MASS.

**JUSTIFICATION:** THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY ATTACHED TOWNHOMES TO ENSURE TOWNHOMES ARE DESIGNED CONSISTENT WITH THEIR ARCHITECTURAL STYLE WHILE PROVIDING ARCHITECTURAL DIVERSITY. A VARIETY OF MATERIALS ARE UTILIZED INCLUDING HORIZONTAL, VERTICAL, PANEL, AND BOARD BATTEN SIDINGS FOR ELEVATION HORIZONTALITY. ON ELEVATIONS WHERE MASONRY IS BELOW 50%, BRICK IS UTILIZED WHERE IT IS MOST IMPACTFUL. PROPOSED ARCHITECTURAL STYLE DOES NOT SUPPORT BRICK FLOATING AT UPPER STORIES; THEREFORE IT IS AT THE BASE OF REAR ELEVATIONS TO SHOW GREATER MASSING AND PROVIDES SCALED ARCHITECTURAL CHARACTER.

**2024 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN BY COMPLYING WITH SECTION 3.0 LAND USE AND DEVELOPMENT TO SUPPORT THE CITY'S GREAT NEIGHBORHOODS INITIATIVE, BUILDING A SENSE OF PLACE IN NEIGHBORHOODS AND COMMERCIAL DISTRICTS. THE ARCHITECTURE EMPLOYED WITHIN THE PLANNING AREA ESTABLISHES A SENSE OF PLACE THAT IS RESPECTFUL TO THE SURROUNDING ARCHITECTURE WHILE FOSTERING QUALITY CHARACTER ALIGNING WITH THE OVERALL VISION FOR UPLANDS. THE ARCHITECTURAL PALETTE FACILITATES A RECOGNIZABLE AND PLEASING URBAN FORM FOR THE PLANNING AREA.

**MODP:** THIS EXCEPTION ALIGNS WITH THE MODP BY ENHANCING THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS (SHEET 17 OF 43).

**DIMENSIONAL STANDARDS: BUILDING HEIGHT, LOT SIZE, AND SETBACKS**

AN EXCEPTION TO MODP BUILDING FORM CHARACTERISTICS TABLES (SPD AND SFA TOWNHOME, SHEETS 17 AND 18 OF 43)

**STANDARDS:** BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE ON SHEET 2.

**EXCEPTION:** THIS EXCEPTION APPLIES TO THE NOTED INTERVAL ON LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW, WHERE REQUIREMENTS HAVE NOT BEEN MET. THE MINIMUM PROVIDED IS BOLD AND DOUBLE-OUTLINED.

**JUSTIFICATION:** ALL PERIMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UPLANDS PROPOSES A MIX OF PORCHES/PATIOS, DECKS AND SIDEFRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UPLANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION. BUILDING HEIGHT IS MET FOR ALL BUT ONE PRODUCT TYPE - SINGLE-FAMILY ATTACHED TOWNHOME WITH THE ROOF TOP DECK. THIS PRODUCT IS LIMITED IN ITS PLACEMENT TO INTERNAL LOTS ONLY. PLEASE REFER TO SHEET 2 FOR LOCATIONS WHERE THE PRODUCT IS NOT ALLOWED.

**2011 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY, PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURE LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERIMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE, ALLOWING FOR LARGE ADJACENT PUBLIC LAND DEDICATION WITHIN PARCEL A. THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD PRIVATE PARK SPACES (10.4% PROVIDED - 4% IS REQUIRED) WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

**2040 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL LU-6 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED HOMES, REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE, DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN. SPECIFICALLY, CRITERIA 4 ASKS IF "THE PROPOSED DEVELOPMENT PROVIDES APPROPRIATE TRANSITIONS BETWEEN USES?" WHICH THIS PROPOSAL INTENTIONALLY DOES PROVIDE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERIMETER SETBACKS FURTHER IS SUPPORTED BY GOAL HN-2 OF THE COMPREHENSIVE PLAN.

**WMC:** THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES). THE

REDUCED SETBACKS ENCOURAGE HIGHER QUALITY DEVELOPMENT BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES AND VARIETY OF PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

**2017 HOUSING NEEDS ASSESSMENT AND OTHER:** THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW "MISSING MIDDLE" HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO "INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE" AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

**TOWNUD:** THIS EXCEPTION ALIGNS WITH TOWNUD BY MINIMIZING GARAGE VISIBILITY, ENCOURAGING CONSISTENT STREET FRONTAGES, CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BIKE AND PEDESTRIAN SAFETY AND STREET ACTIVATION, AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES, INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN TOWNUD.

**MODP:** THIS EXCEPTION ALIGNS WITH THE MODP BY PROVIDING HOME AND LOT DESIGNS THAT ENHANCE THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS, INCLUDING AT-GRADE OR RAISED PORCHES/PATIOS, BUILDING ENTRIES, BALCONIES AND STOPS, AND MINIMIZING VIEWS OF THE GARAGE FROM THE STREET. FURTHER, THE MODP NOTES FRONT SETBACKS SHOULD BE STUDIED AT SITE SPECIFIC ODP TO FORM PEDESTRIAN FRIENDLY STREETSCAPES.

**MODP LAND USE CHART**

AN EXCEPTION TO THE MODP LAND USE CHART (SHEET 10).

**STANDARD:** THE MASTER ODP REQUIRES A MINIMUM OF 88 UNITS IN PA-A(1).

**EXCEPTION:** MINIMUM NUMBER OF UNITS IN PA-A(1) 78 UNITS.

**JUSTIFICATION:** THIS EXCEPTION ALLOWS FOR 78 UNITS TO BE PROVIDED WITHIN PA-A(1), 10 LESS THAN THE MINIMUM LISTED NUMBER OF 88 UNITS FOR PA-A(1) PER THE MODP, PROVIDING 10 LESS UNITS THAN THE MINIMUM REQUIRED DOES NOT CHANGE THE OVERALL INTENT AND USE OF PA-A(1), AS RESIDENTIAL USES ALLOWED BY THE MODP ARE BEING PROVIDED, REQUIRED OPEN SPACE IS PROVIDED, AND ACCESS POINTS AND TRAFFIC PROJECTIONS ARE ALL WITHIN THE REQUIREMENTS OF THE MODP. THE NUMBER OF DWELLING UNITS PROVIDED WITHIN PA-A(1) ALLOWS FOR THE SITE DESIGN TO ACHIEVE GOALS SET OUT BY THE MODP INCLUDING PROVIDING DIVERSE, WELL-DESIGNED HOUSING PRODUCTS THAT ARE Laid OUT IN A MANNER THAT ENHANCES PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS SUCH AS AT-GRADE PORCHES AND PATIOS, BUILDING ENTRIES, AND HOMES THAT FRONT TO OPEN SPACE. THE SPACE PROVIDED BY THE REDUCTION OF UNITS FACILITATES QUALITY PEDESTRIAN CONNECTIONS SPECIFICALLY THROUGH THE PROVISION OF JULIAN COURT AND THE ASSOCIATED ATTACHED WALK THAT IS LOCATED ALONG THE PLD. THE PROVISIONS OF ATTACHED WALK ALONG THE PLD FACILITATES QUALITY PEDESTRIAN CONNECTIONS ACROSS PARCEL A(1) ALLOWING FOR THE PUBLICLY ACCESSIBLE PLD AREA TO BE ACCESSED BY ALL. FURTHERMORE, POSITIVE DRAINAGE IS FACILITATED THROUGH THE REDUCTION OF UNITS BY PROVIDING MORE ROOM FOR DRAINAGE INFRASTRUCTURE TO BE LOCATED WITHIN THE NEIGHBORHOOD. THE REDUCTION IN UNITS PROVIDED DOES NOT IMPACT THE REQUIRED DIVERSITY OF PRODUCT WITHIN PA-A(1) AND DOES NOT CREATE ANY ADDITIONAL EXCEPTIONS OR DEVIATIONS FROM THE MODP TO OCCUR.

UPLANDS

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05.31.2024

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EXCEPTIONS AND JUSTIFICATIONS, CONT.

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DIMENSIONAL STANDARDS: BUILDING HEIGHT, LOT SIZE, AND SETBACKS

	MAX. HEIGHT	MAX. STORIES	MIN. LOT SIZE	MIN. LOT DEPTH	MIN. LOT WIDTH	MIN. FRONT SETBACK TO MAIN STRUCTURE	MIN. SIDE SETBACK, INTERIOR LOT	MIN. SIDE SETBACK, CORNER LOT	MIN. REAR SETBACK	MIN. REAR YARD SPACE
SINGLE FAMILY DETACHED (SFD) HOME										
UPLANDS MASTER ODP	40'	3	-	90'	25'	14'	7'	14'	5'	20'x20' REAR YARD
UPLANDS FILING 1, BLOCK 1 ODP	40'	3	-	63'	32'	13'	5'	10'	3'	0 SF**
SINGLE FAMILY ATTACHED (SFA) TOWNHOME										
UPLANDS MASTER ODP	40'	3	-	88' (w/ ATTACHED GARAGE)	16'	10'	0'	8'	5'	15' MIN. DEPTH
UPLANDS FILING 1, BLOCK 1 ODP	45"	3	-	59'	21'	12'	0'	10'	7'	0 SF***

\* THE ROOF TOP DECK OPTION AND THE GABLE ROOFS EXCEED THE 40' ONLY ON SFA TOWNHOMES MODERN BROWNSTONE STYLE  
\*\* A MINIMUM OF 400 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFD HOMES.  
\*\*\* A MINIMUM OF 240 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA HOMES.



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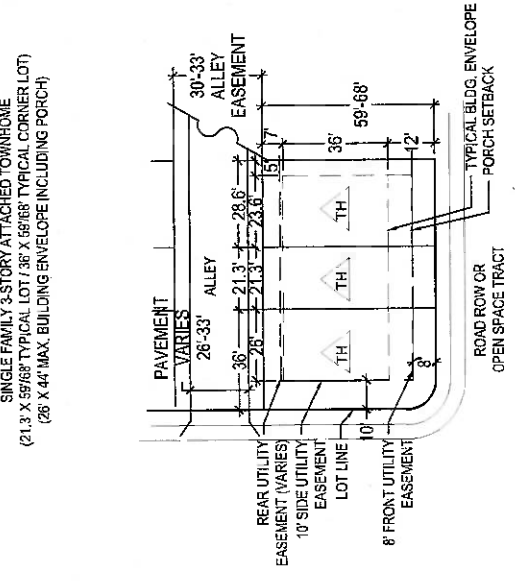
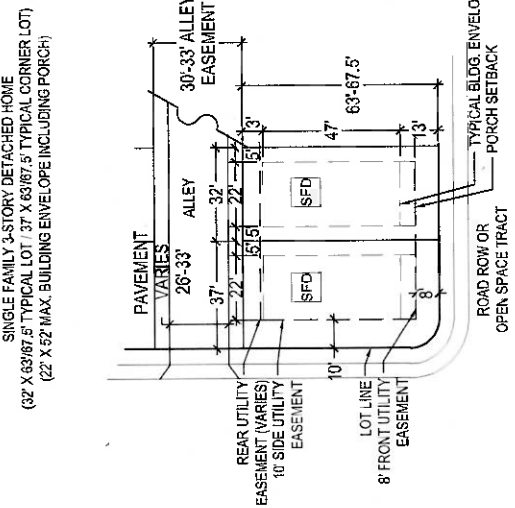
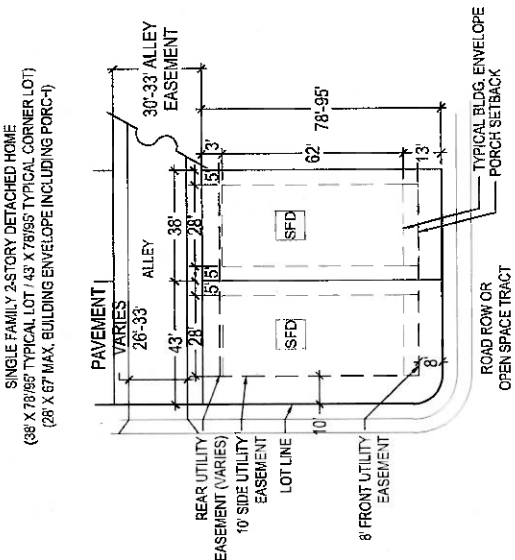
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LOT TYPICALS



LOT SETBACKS

	SFD MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	14	13'
FRONT TO PORCH:	6	8'
SIDE (INTERNAL)	7	5'
SIDE (CORNER)	14	10'
SIDE (ABUTTING LOCAL STREET)	5	3'
REAR:		
	SFA (TOWNHOME) MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	6-12'	12'
FRONT TO PORCH:	0'	8'
SIDE (INTERNAL)	0'	0/5'
SIDE (CORNER)	8'	10'
SIDE (ABUTTING LOCAL STREET):	5	7'
REAR:	5	11'
REAR LOTS 21-35:		

PROPOSED SETBACK NOTES

- (1) ALL SETBACKS SHOWN ARE MINIMUMS. IN SOME LOCATIONS A HOME MAY BE SETBACK FURTHER FROM THE LOT LINE THAN THE MINIMUM.
- (2) SETBACKS SHALL BE MEASURED FROM PROPERTY LINE TO BUILDING FOUNDATION.
- (3) CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW WELLS, OVERHANGS, OR SIMILAR ARCHITECTURE FEATURES MAY ENCRoACH INTO A SETBACK A MAXIMUM OF 2 FT.
- (4) SEE EXCEPTIONS SHEETS 5-7.
- (5) SEE DETAILED LOT TYPICALS FOR EACH FOOTPRINT ON STARTING ON SHEET 83.
- (6) SETBACKS SHALL BE MEASURED FROM TYPICAL ALLEY SECTIONS WHICH SHOW SETBACKS (BUILDING TO PROPERTY LINE AND FIRE SETBACKS (BUILDING TO PAVEMENT EDGE). TYPICAL ALLEY SECTIONS ARE MORE LOCATION SPECIFIC THAN THE PROPOSED MINIMUM SETBACK TABLE AS THEY PROVIDE DIMENSIONS FOR BUILDING TO PAVEMENT LOCATION WHICH VARIES DEPENDING ON THE LOCATION OF THE ALLEY (ALLEY LOCATION DOES NOT IMPACT LOT DEPTH. THUS MINIMUM SETBACKS ARE MAINTAINED) AND PROVIDES INFORMATION SPECIFIC TO FIRE REQUIREMENTS.

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LOT TYPICALS

MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

- HOMEOWNER MAINTENANCE:**
- DRIVEWAYS
  - PORCHES, PATIOS & STEPS (INCLUDING SNOW REMOVAL)
  - ON-LOT LEADER WALK TO COMMON SIDEWALK (INCLUDING SNOW REMOVAL)
  - ON-LOT FENCES (SFD ONLY)
  - ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
  - SIDE YARDS INSIDE PRIVATE FENCED AREA
- HOA MAINTENANCE:**
- ALLEYS (INCLUDING SNOW REMOVAL)
  - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS. COMMON SIDEWALKS MAY ALSO OCCUR ON-LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT (INCLUDING SNOW REMOVAL)
  - ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
  - HON-OWNED LANDSCAPE TRACTS/OUTLOTS
  - OFF-SITE DETENTION POND
  - RETAINING WALLS
  - FENCING (INCLUDING ON-LOT FOR SFA ONLY)
  - ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
  - TREE LAWNS
  - TRASH PICK-UP

LOT TYPICAL NOTES

REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS. ACTUAL REAR SETBACKS MAY BE LARGER THAN LISTED MINIMUM SETBACKS DUE TO UTILITY LOCATIONS AND FIRE ACCESS REQUIREMENTS. SEE SHEETS 24-27 FOR SPECIFIC BUILDING SETBACKS AS THEY RELATE TO FIRE AND UTILITY LOCATIONS.

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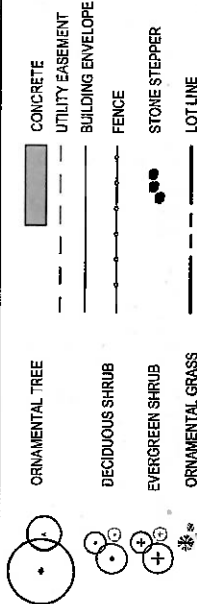
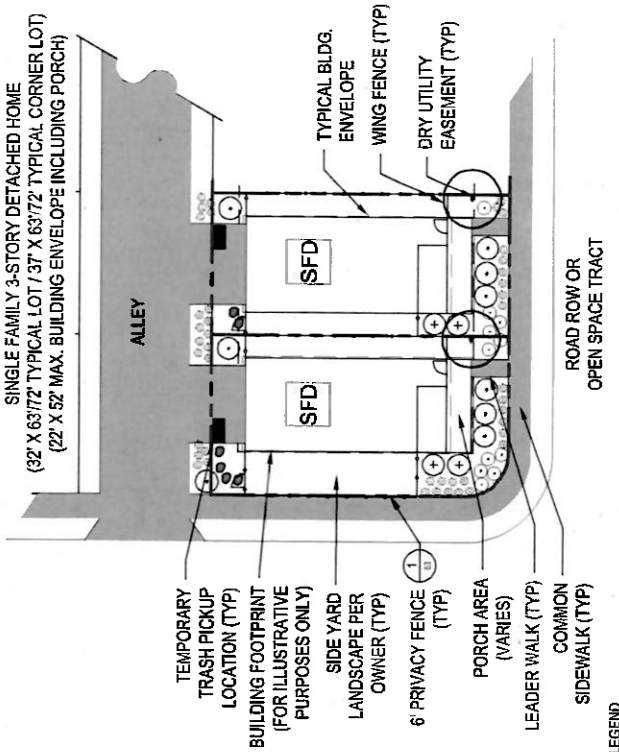
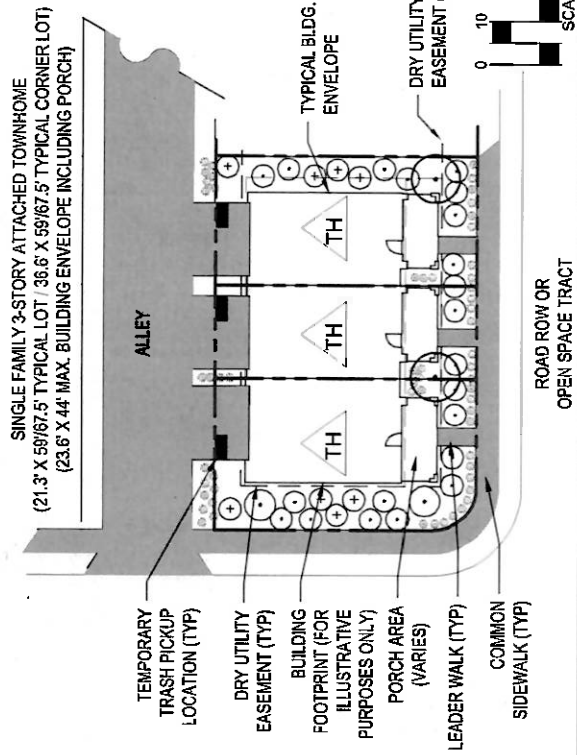
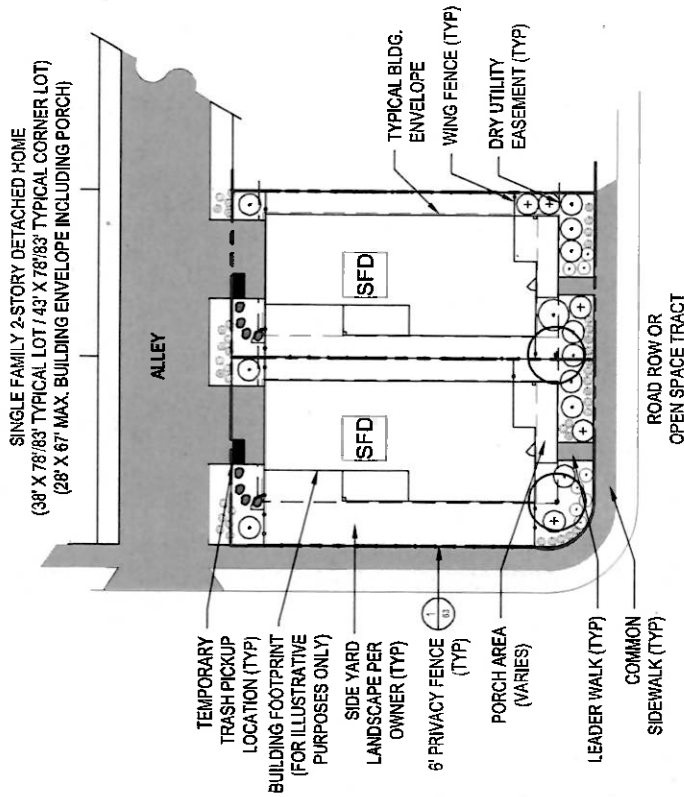
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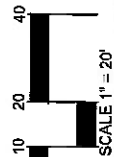
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LOT TYPICALS

LANDSCAPE LOT TYPICALS



NOTES

1. LOT AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANTING CONDITION. GENERAL PARAMETERS OF A MINIMUM OF 1 TREE AND 3 SHRUBS PER 550 SF LANDSCAPE AREA IN FRONT YARDS ARE REQUIRED. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FINAL PRODUCT CONFIGURATION, WHERE APPROPRIATE SPACE EXISTS AND UTILITY EASEMENTS DO NOT PROHIBIT THE PLANTING OF TREES AND SHRUBS. SUBSTITUTIONS SHALL NOT BE ALLOWED ON THE PRIVATE LOTS. DEVELOPER SHALL SHOW AT TIME OF BUILDING PERMIT WHETHER TREES CAN OR CANNOT BE PLANTED ON THE PRIVATE LOTS.
2. REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS. STARTING ON SHEET 66.
3. DENSER (AVERAGE) LANDSCAPE CONDITIONS ARE SHOWN ON LOT TYPICALS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL LANDSCAPE PLANS FOR EACH LOT WILL OCCUR AT TIME OF BUILDING PERMIT, BUT MUST COMPLY WITH MINIMUM STANDARDS SET FORTH IN THE ODP.
4. COMMON WALK ALONG IRVING AND 8TH AVE HAVE A ROW THAT EXTENDS 1.75' FROM THE BACK OF WALK. IN LOCATIONS WHERE A FENCE DIRECTLY ADJUTS A WALK, FENCE MUST BE OUT OF ROW.
5. TRASH AND RECYCLING CONTAINERS TO BE LOCATED PERMANENTLY WITHIN GARAGES. SEE ARCHITECTURE TYPICALS FOR FURTHER DETAIL STARTING AT SHEET 66.





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LEGEND:

- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING POST
- EXISTING TELECOMM MANHOLE

NOTES:  
1. ALL EXISTING INFRASTRUCTURE TO REMAIN  
UNLESS OTHERWISE NOTED

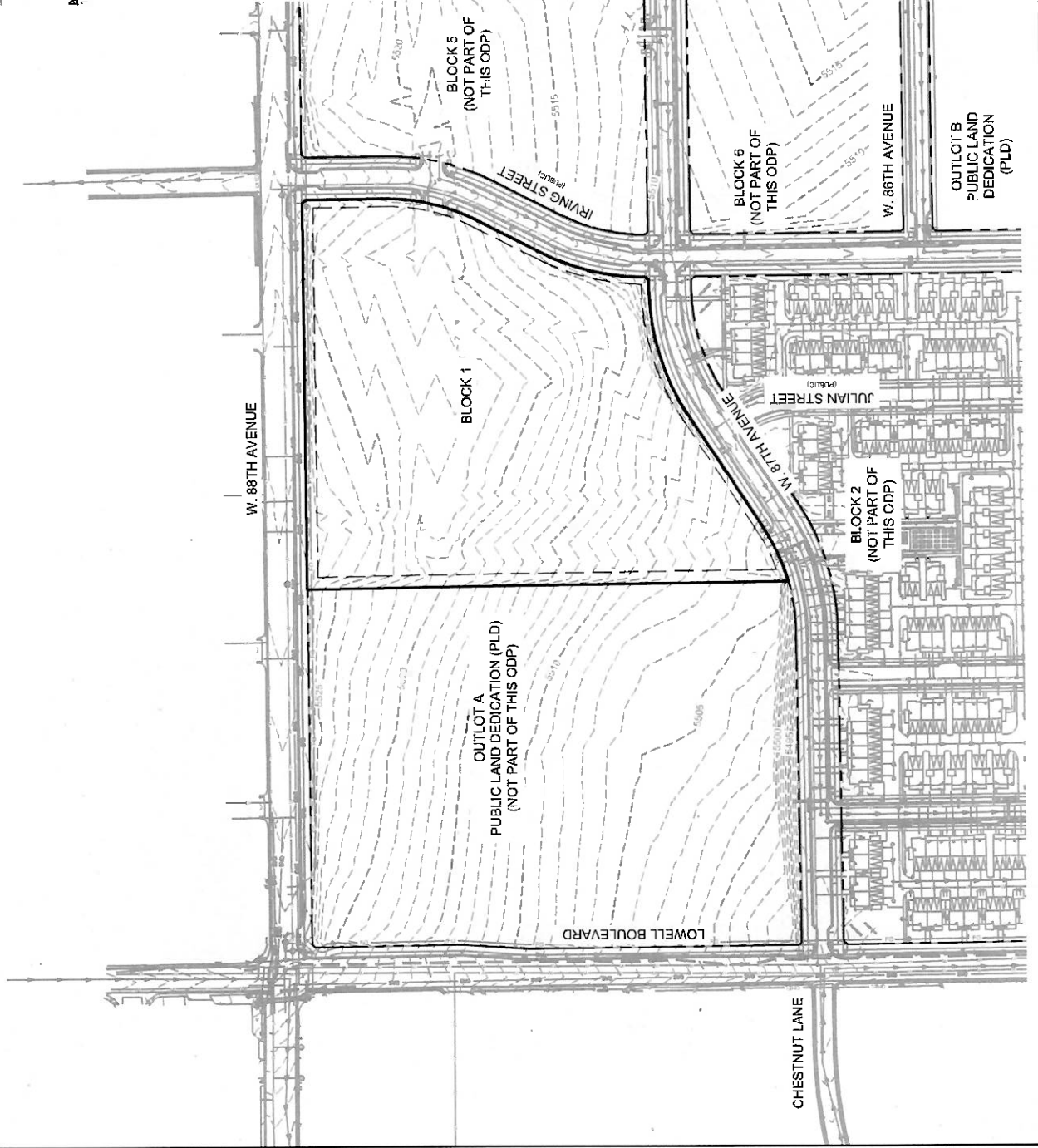
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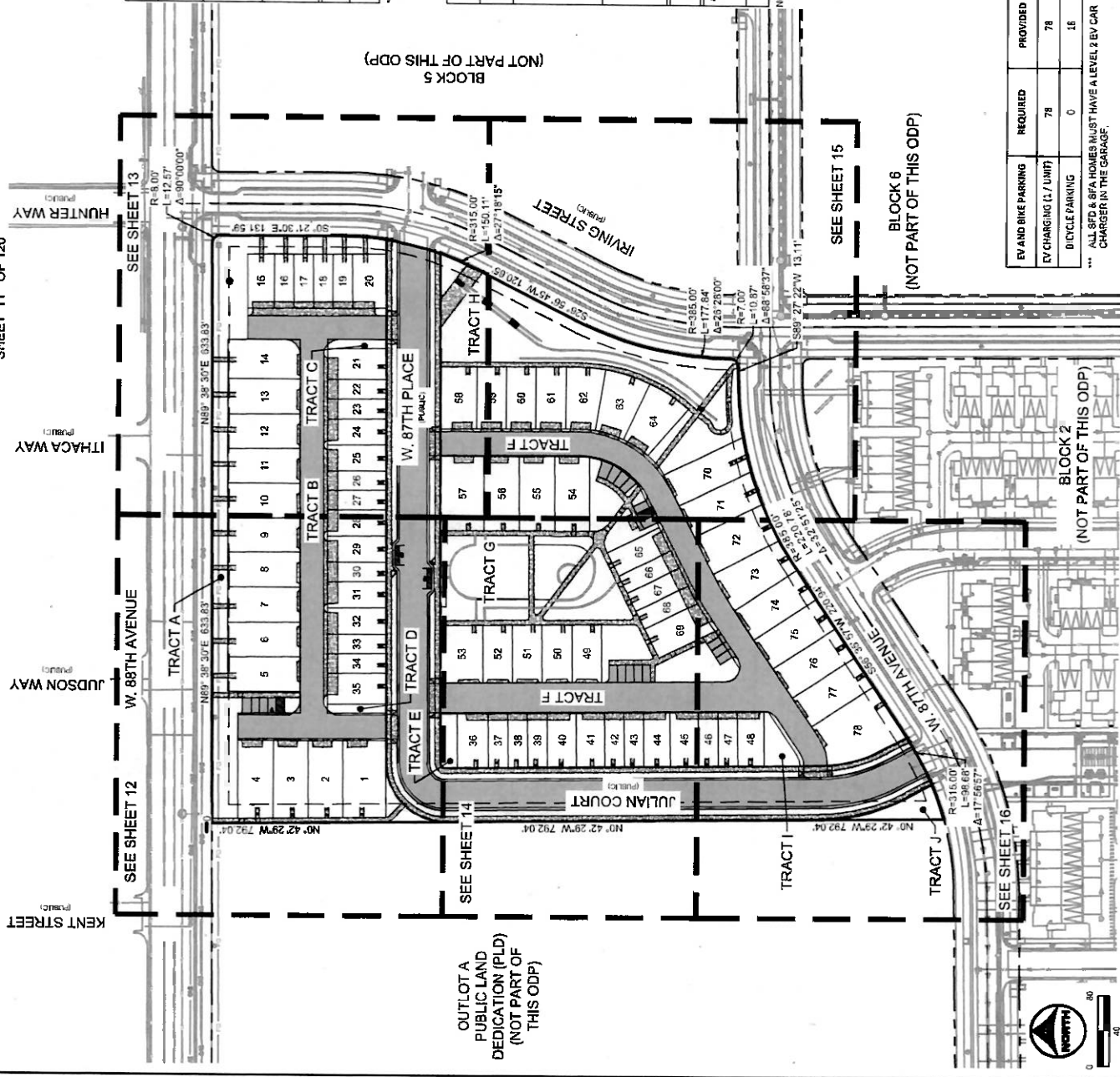
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EXISTING CONDITIONS



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OUTLOT A  
PUBLIC LAND  
DEDICATION (PLD)  
(NOT PART OF  
THIS ODP)

BLOCK 5  
(NOT PART OF THIS ODP)

BLOCK 6  
(NOT PART OF THIS ODP)

BLOCK 2  
(NOT PART OF THIS ODP)

LOT COVERAGE PA-A1

SURFACE TYPE	AREA (SF)	% OF SITE
BUILDING COVERAGE	78,070	21%
PAVING AND DRIVES (52,016 SF INTERNAL ROW)	128,690	34%
LANDSCAPE OPEN AREA	172,437	45%
NET TOTAL AREA*	380,177	100%
GROSS TOTAL AREA*	968,774	100%

\* GROSS AREA REFERS TO PERMITS PLANNING  
AREA ACRES. NET AREA REFERS TO PLATTED  
BLOCK ACRES.

PARKING REQUIREMENTS PA-A1

TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)	PROVIDED (ON-STREET)*
SFA	OFF-STREET (2/UNIT)	78	78	0
	GUEST (1/3)	13	0	95*
SFD	DRIVEWAY (7/UNIT)	78	78	0
	ENCLOSED (2/UNIT)	78	78	0
TOTAL	78	247	156	95
TOTAL PROVIDED				251

\* 95 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH  
ROW AND SURFACE SPACES. SEE SHARED PARKING TABLE BELOW.

SHARED PARKING BREAKDOWN

TYPE	REQUIRED	PROVIDED
87TH PLACE		26 (2)
JULIAN COURT (EAST)		15
IRVING STREET		15
87TH AVENUE		17
STANDARD	13	16
ACCESSIBLE	1	0
VAN ACCESSIBLE	1	2 (2)
TOTAL	\$3 SFA = 78 SFD = 31	95 (4)
ADDITIONAL ROW PARKING	R/D FRONTAGE ON JULIAN COURT	0
	88TH AVENUE	0
		27

NOTE: NUMBERS IN PARENTHESES DENOTE ACCESSIBLE  
PARKING SPACES

TRACT TABLE

TRACT	USE	MAINTENANCE RESPONSIBILITY
A	LANDSCAPE	HOA
B	PUBLIC ACCESS	HOA
C	LANDSCAPE	HOA
D	LANDSCAPE	HOA
E	LANDSCAPE	HOA
F	PUBLIC ACCESS	HOA
G	LANDSCAPE/ PUBLIC ACCESS	HOA
H	LANDSCAPE/ PUBLIC ACCESS	HOA
I	LANDSCAPE	HOA
J	LANDSCAPE	HOA

EV AND BIKE PARKING	REQUIRED	PROVIDED
EV CHARGING (1/UNIT)	78	78
BICYCLE PARKING	0	18

\*\*\* ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR  
CHARGER IN THE GARAGE.

UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
REVISIONS  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
SUB 02: 04.26.2024  
SUB 04: 05.31.2024

11 OF 120  
OVERALL SITE PLAN

**ABBREVIATIONS:**  
A.E. PUBLIC ACCESS EASEMENT  
A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT  
COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
S.E. SIDEWALK EASEMENT  
S.W. SIDEWALK  
U.E. UTILITY EASEMENT  
P.L. PRIVATE LIGHT POLE  
P.L. PUBLIC LIGHT POLE  
P.L. PUBLIC LIGHT POLE PER ENG 22-0014

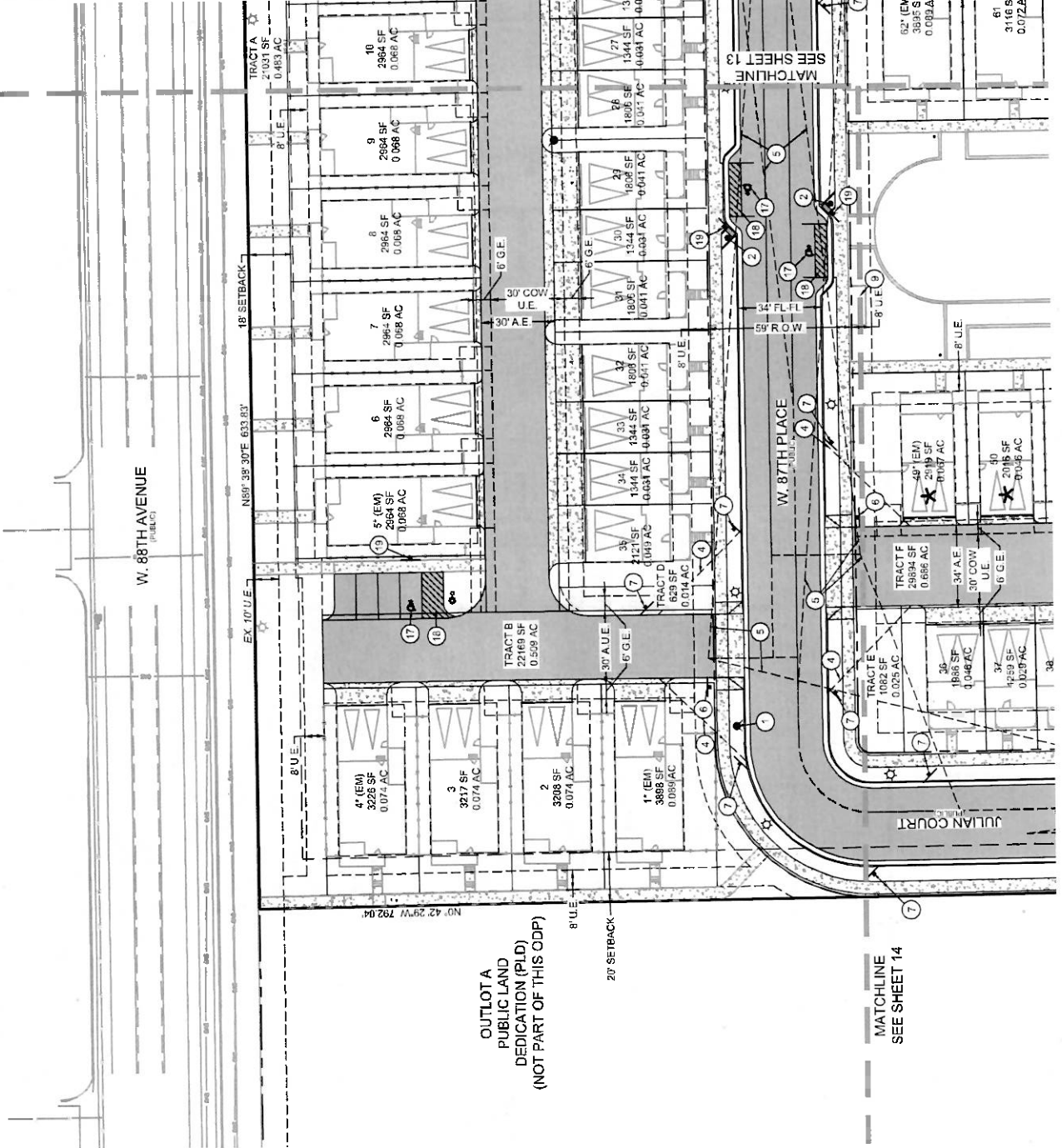
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 12 OF 120



**LEGEND:**  
PROPERTY LINE  
REQUIRED SETBACK  
EDGE OF CONCRETE  
RIGHT OF WAY  
EASEMENT LINE  
LOT LINE  
WALL RAILING  
(LOT) - ENHANCED ELEVATION  
(LOT) (EM) - ENHANCED SIDE WALKWAY  
AT SPOT WITH REAR UPPER STORY STEP  
ACCESS.  
★ BACK TO ACCOMMODATE FIRE  
ACCESS.

**KEYNOTE LEGEND:**  
1 PR. FIRE HYDRANT  
2 CURB RAMP  
3 MSE RETAINING WALL (SEE NOTE 8  
& DETAIL ON SHEET 17)  
4 LANDSCAPE TRIANGLE  
5 SIGHT TRIANGLE  
6 STOP SIGN  
7 NO PARKING/  
FIRE LANE SIGN  
8 MONUMENT SIGN  
9 BIKE RACK  
10 MAIL BOX  
11 BENCH  
12 UMBRELLA TABLE  
13 SHADE PAVILION  
14 PICNIC TABLE  
15 RAISED GARDEN BEDS  
16 GARDEN FENCE  
17 ACCESSIBLE PARKING SYMBOL  
PER MUTCD FIGURE 3B-22  
18 ACCESSIBLE PARKING STRIPING  
45° 4" YELLOW STRIPING AT 2' O.C.)  
19 ACCESSIBLE PARKING SIGN

**NOTES:**  
1. ALL PROPOSED PUBLIC SIDEWALKS  
ARE 8' UNLESS OTHERWISE NOTED  
2. ALL PRIVATE WALKS TO SPD AND  
SPD ARE 6' VERTICAL  
3. ALL PROPOSED CURB & GUTTER IS  
PLEASE SEE BUILDING AND LOT  
TYPICALS FOR CRITICAL  
PARAMETERS OF BUILDING  
FOOTPRINTS, CHANGES WITHIN  
THESE PARAMETERS MAY BE  
ALLOWED PER THE FUTURE HOME  
BUYER  
4. UPLANDS HOA WILL BE  
RESPONSIBLE FOR MAINTENANCE  
OF PARKS LOCATED IN ROW OR  
PUBLIC ACCESS EASEMENT ARE  
PUBLIC.  
5. EXACT RAILING LOCATIONS AND  
EXTENTS MAY BE ADJUSTED TO  
ENSURE THAT THEY ARE PROVIDED  
ON ALL WALLS OVER 30" IN HEIGHT  
ALTHOUGH THE MODP AND POP  
SHOW A CONSOLIDATED WALK FOR  
UNITS ALONG W. 87TH AVE.  
INDIVIDUAL WALKS HAVE BEEN  
COORDINATED WITH THE CITY TO  
LIMIT PARKING REGISTRATION.  
6. SEE PARKING FOR PEDESTRIAN  
CIRCULATION PLAN.



**UPLANDS**  
DATE: 05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 10.27.2023	REVISIONS
SUB 01: 10.27.2023	SUB 02: 02.29.2024
SUB 02: 04.26.2024	SUB 04: 05.31.2024

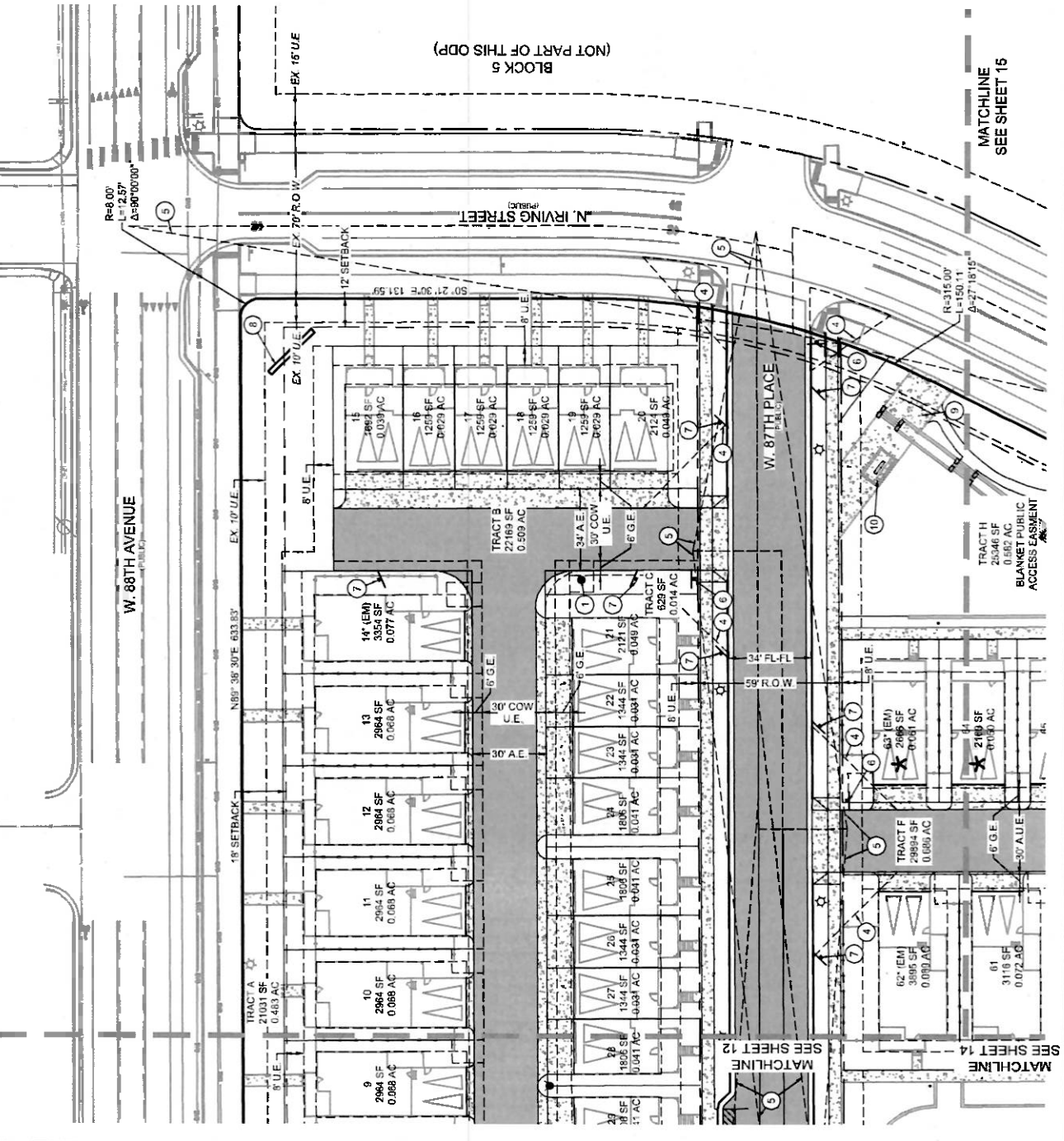
12 OF 120  
SITE PLAN

ABBREVIATIONS:  
A.E. PUBLIC ACCESS EASEMENT  
A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT  
COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
G.E. GAS EASEMENT  
SW SIDEWALK  
U.E. UTILITY EASEMENT  
PR PRIVATE LIGHT POLE  
PR PUBLIC LIGHT POLE  
PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 13 OF 120



- LEGEND:
- PROPERTY LINE
  - REQUIRED SETBACK
  - EDGE OF CONCRETE
  - RIGHT OF WAY
  - EASEMENT LINE
  - LOT LINE
  - WALL RAILING
  - (LOT) - ENHANCED ELEVATION
  - (LOT) (EM) - ENHANCED SIDE MASONRY AT SFD
  - UNIT WITH REAR UPPER STORY STEP ACCESS
  - \* BACK TO ACCOMMODATE FIRE ACCESS
- KEYNOTE LEGEND:
- 1 PR. FIRE HYDRANT
  - 2 CURB RAMP
  - 3 MSE RETAINING WALL (SEE NOTE 8 & DETAIL ON SHEET 17)
  - 4 LANDSCAPE TRIANGLE
  - 5 SIGHT TRIANGLE
  - 6 STOP SIGN
  - 7 NO PARKING FIRE LANE SIGN
  - 8 MONUMENT SIGN
  - 9 BIKE RACK
  - 10 MAIL BOX
  - 11 BENCH
  - 12 UMBRELLA TABLE
  - 13 SHADE PAVILION
  - 14 PICNIC TABLE
  - 15 RAISED GARDEN BEDS
  - 16 GARDEN FENCE
  - 17 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B-22
  - 18 ACCESSIBLE PARKING STRIPING (#5' 4" YELLOW STRIPING AT 7' O.C.)
  - 19 ACCESSIBLE PARKING SIGN



UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

UPLANDS  
DATE: 05.31.2024

REVISIONS	
SUB 01: 10.27.2023	PREPARED: 10.27.2023
SUB 02: 02.29.2024	
SUB 02: 04.28.2024	
SUB 04: 05.31.2024	

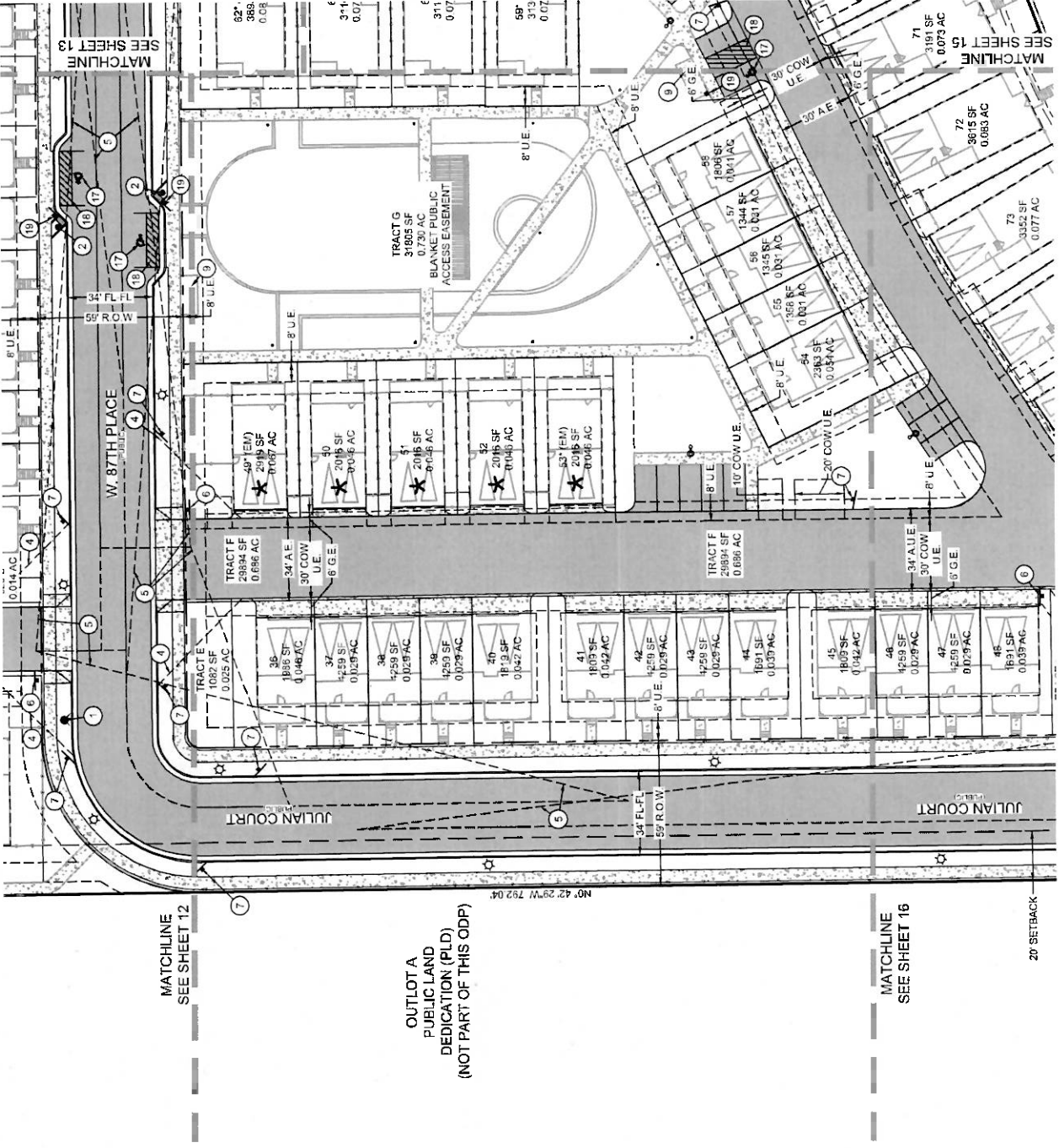
13 OF 120  
SITE PLAN

- NOTES:
- ALL PROPOSED PUBLIC SIDEWALKS ARE 9' UNLESS OTHERWISE NOTED.
  - ALL PRIVATE WALKS TO SFD AND SFA ARE 4'.
  - ALL PROPOSED CURB & GLITTER IS 6" VERTICAL.
  - PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME OWNER'S HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
  - ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
  - EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT, ALTHOUGH THE MODP AND POP SHOW A CONSOLIDATED WALK FOR UNITS ALONG W. 88TH AVE.
  - INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPOLINE OF VEGETATION SEE PAGE 40 FOR PEDESTRIAN CIRCULATION PLAN.



**ABBREVIATIONS:**  
A/E - PUBLIC ACCESS EASEMENT  
COW U.E. - CITY OF WESTMINSTER UTILITY EASEMENT  
G.E. - GAS EASEMENT  
SW - SIDEWALK  
U.E. - UTILITY EASEMENT  
PR - PRIVATE LIGHT POLE  
PR - PUBLIC LIGHT POLE  
PR - PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 14 OF 120



- LEGEND:**
- PROPERTY LINE
  - REQUIRED SETBACK
  - EDGE OF CONCRETE
  - RIGHT OF WAY
  - EASEMENT LINE
  - LOT LINE
  - WALL RAILING
  - (LOT#) - ENHANCED ELEVATION
  - (LOT#) - ENHANCED SIDE MASONRY AT SFD
  - UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS.
- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
  - 2 CURB RAMP
  - 3 MSE RETAINING WALL (SEE NOTE 8 & DETAIL ON SHEET 17)
  - 4 LANDSCAPE TRIANGLE
  - 5 SIGHT TRIANGLE
  - 6 STOP SIGN
  - 7 NO PARKING FIRE LANE SIGN
  - 8 MONUMENT SIGN
  - 9 BIKE RACK
  - 10 MAIL BOX
  - 11 BENCH
  - 12 UMBRELLA TABLE
  - 13 SHADE PAVILION
  - 14 PICNIC TABLE
  - 15 RAISED GARDEN BEDS
  - 16 GARDEN FENCE
  - 17 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
  - 18 ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
  - 19 ACCESSIBLE PARKING SIGN
- NOTES:**
- ALL PROPOSED PUBLIC SIDEWALKS ARE 2' UNLESS OTHERWISE NOTED.
  - ALL PRIVATE WALKS TO SFD AND SFA ARE 4'.
  - ALL PROPOSED CURB & GUTTER IS 6" VERTICAL.
  - PLEASE SEE BUILDING AND LOT PLANS FOR EXACT BUILDING FOOTPRINTS, CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
  - UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
  - ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
  - EXACT RAILING LOCATIONS AND ELEVATIONS SHALL BE PROVIDED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT. ALTHOUGH THE MDDP AND PDF SHOW A CONSOLIDATED WALK FOR UNITS ALONG W. 87TH AVE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPING OF VEGETATION. SEE PAGE 46 FOR PEDESTRIAN CIRCULATION PLAN.

**UPLANDS**

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

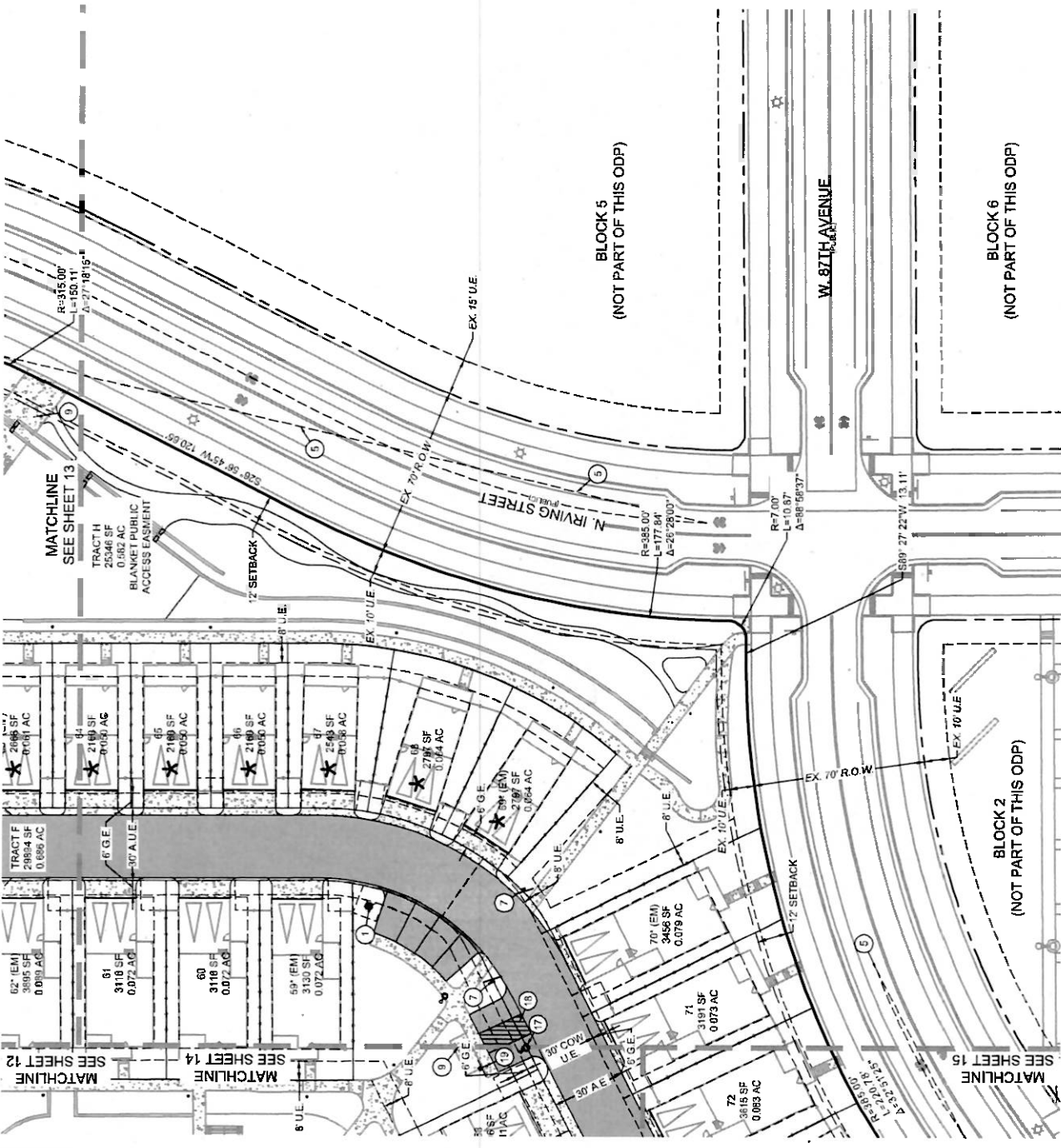
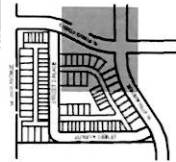
REVISIONS	
SUB 01: 10.27.2023	PREPARED: 10.27.2023
SUB 02: 02.29.2024	
SUB 02: 04.26.2024	
SUB 04: 05.31.2024	

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SITE PLAN



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 15 OF 120

ABBREVIATIONS:  
A.E. PUBLIC ACCESS EASEMENT  
A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT  
COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
G.E. GAS EASEMENT  
SIDEWALK UTILITY EASEMENT  
U.E. UTILITY EASEMENT  
PR PRIVATE LIGHT POLE  
PR PUBLIC LIGHT POLE  
PR PUBLIC LIGHT POLE PER ENG 22-0014



LEGEND:  
PROPERTY LINE  
CURBED SETBACK  
EDGE OF CONCRETE  
RIGHT OF WAY  
EASEMENT LINE  
LOT LINE  
WALL RAILING  
(LOT#) - ENHANCED ELEVATION  
(LOT#) (EM) - ENHANCED SIDE MASONRY  
AT SPD  
UNIT WITH REAR UPPER STORY STEP  
BACK TO ACCOMMODATE FIRE  
ACCESS.

- KEYNOTE LEGEND:
- PR FIRE HYDRANT
  - CURB RAMP
  - MSE RETAINING WALL (SEE NOTE 8 & DETAIL ON SHEET 17)
  - LANDSCAPE TRIANGLE
  - SIGHT TRIANGLE
  - STOP SIGN
  - NO PARKING/  
FIRE LANE SIGN
  - MONUMENT SIGN
  - BIKE RACK
  - MAIL KIOSK
  - BENCH
  - UMBRELLA TABLE
  - SHADE PAVILION
  - PICNIC TABLE
  - RAISED GARDEN BEDS
  - GARDEN FENCE
  - ACCESSIBLE PARKING SYMBOL  
PER MUTCD FIGURE 3B.2.2
  - ACCESSIBLE PARKING STRIPING  
(45' 4" YELLOW STRIPING AT 2' O.C.)  
PER MUTCD FIGURE 3B.2.2
  - ACCESSIBLE PARKING SIGN
- NOTES:
- ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED.
  - ALL PRIVATE WALKS TO SPD AND SFA ARE 4'.
  - ALL PROPOSED CURB & GUTTER IS 6" VERTICAL.
  - PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL FOOTPRINTS, CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME OWNER.
  - HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
  - ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
  - EXACT RAINING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT ALTHOUGH THE MDPD AND FDP SHOW A CONSOLIDATED WALK FOR UNITS ALONG W. 88TH AVE.
  - INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPLING OF VEGETATION. SEE PAGE 40 FOR PEDESTRIAN CIRCULATION PLAN.

UPLANDS

DATE: 05.31.2024

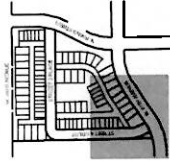
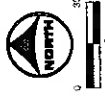
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
REVISIONS	
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SUB 02: 04.26.2024	
SUB 04: 05.31.2024	

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SITE PLAN

**ABBREVIATIONS:**  
A.E. PUBLIC ACCESS EASEMENT  
C.O.W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
C.E. GAS EASEMENT  
S.W. SIDEWALK  
U.E. UTILITY EASEMENT  
PR. PRIVATE LIGHT POLE  
PR. PUBLIC LIGHT POLE  
PR. PUBLIC LIGHT POLE PER ENG 22-0014

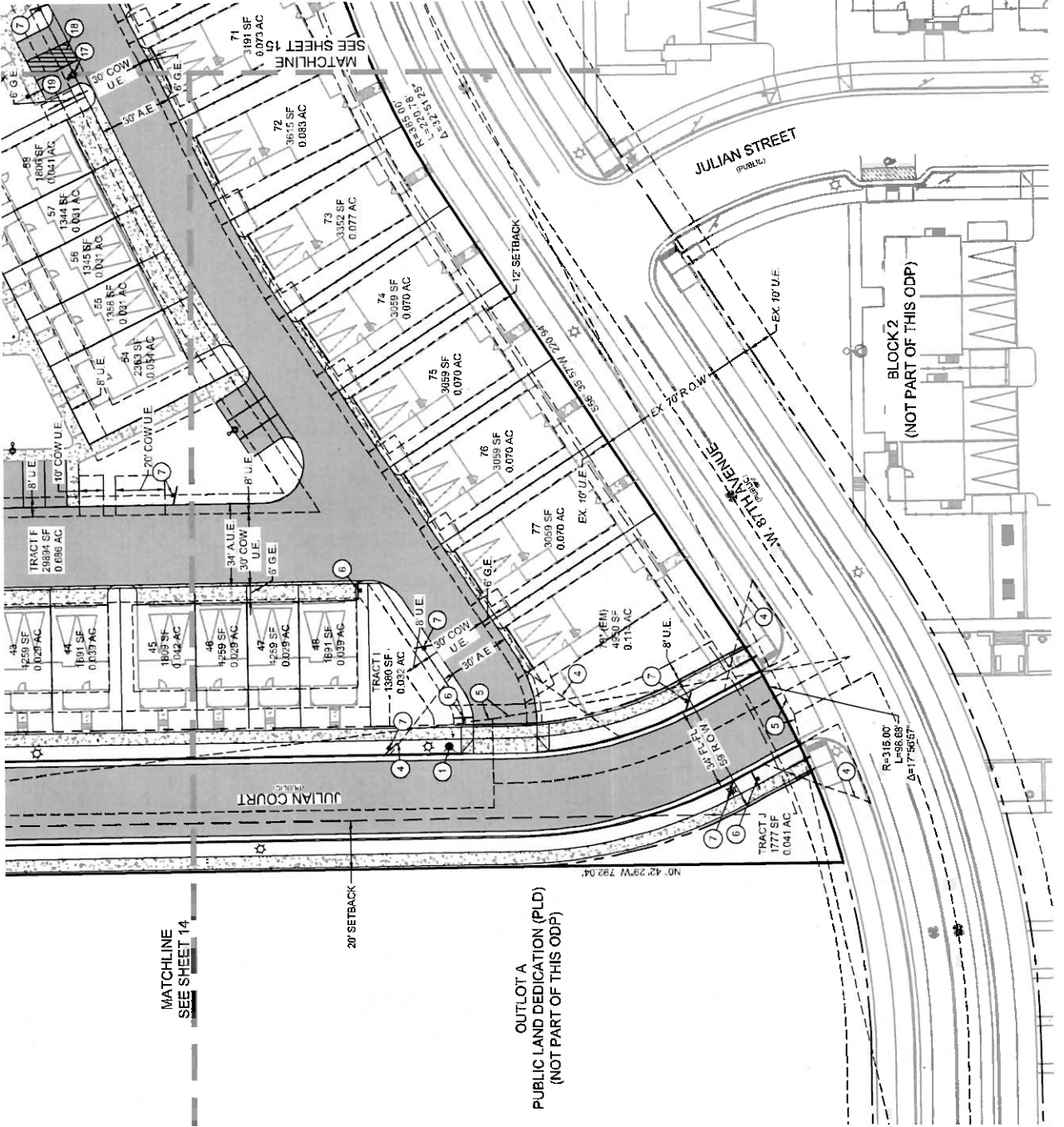
OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 16 OF 120



**LEGEND:**  
PROPERTY LINE  
REQUIRED SETBACK  
EDGE OF CONCRETE  
RIGHT OF WAY  
EASEMENT LINE  
LOT LINE  
WALL RAILING  
(LOTF) - ENHANCED ELEVATION  
(LOTF) (EM) - ENHANCED SIDE MASONRY  
AT SFD  
UNIT WITH REAR UPPER STORY STEP  
BACK TO ACCOMMODATE FIRE  
ACCESS

**KEYNOTE LEGEND:**  
1 PR. FIRE HYDRANT  
2 CURB RAMP  
3 MSE RETAINING WALL (SEE NOTE 3  
& DETAIL ON SHEET 17)  
4 LANDSCAPE TRIANGLE  
5 SIGHT TRIANGLE  
6 STOP SIGN  
7 NO PARKING/  
FIRE LANE SIGN  
8 MONUMENT SIGN  
9 BIKE RACK  
10 MAIL BOX  
11 BENCH  
12 UMBRELLA TABLE  
13 SHADE PAVILION  
14 PICNIC TABLE  
15 RAISED GARDEN BEDS  
16 GARDEN FENCE  
17 ACCESSIBLE PARKING SYMBOL  
PER MUTCD FIGURE 3E.22  
18 ACCESSIBLE PARKING STRIPING  
(45" 4" YELLOW STRIPING AT 2' O.C.)  
19 ACCESSIBLE PARKING SIGN

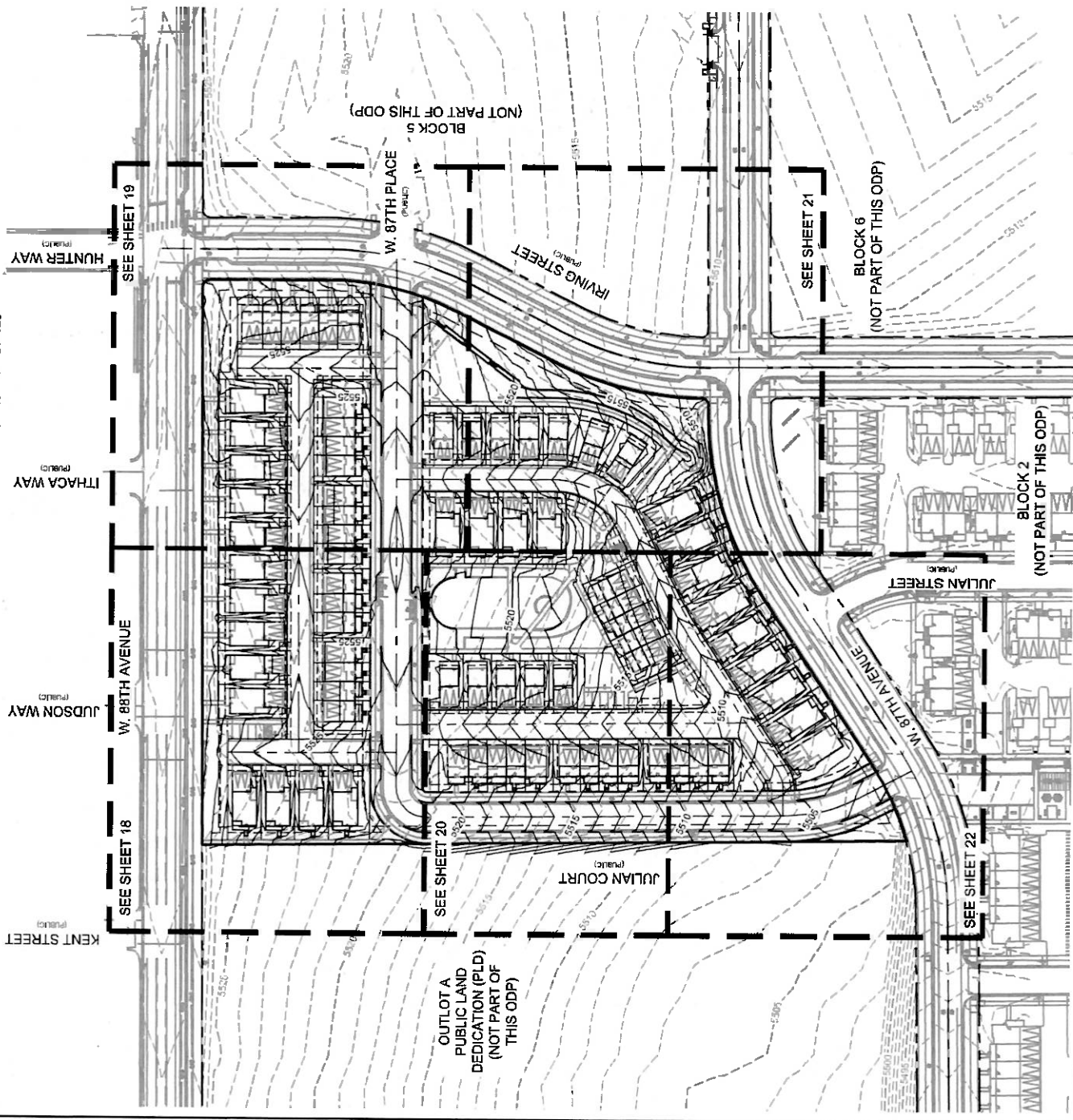
**NOTES:**  
1. ALL PROPOSED PUBLIC SIDEWALKS  
ARE 5' UNLESS OTHERWISE NOTED  
2. ALL PRIVATE WALKS TO SFD AND  
SFA ARE 4'  
3. ALL PROPOSED CURB & GUTTER IS  
6" VERTICAL CURB BUILDING AND LOT  
TYPICALS FOR CRITICAL  
PARAMETERS OF BUILDING  
FOOTPRINTS CHANGES WITHIN  
THESE PARAMETERS MAY BE  
ALLOWED PER THE FUTURE HOME  
BUYER.  
4. UPLANDS HOA WILL BE  
RESPONSIBLE FOR MAINTENANCE  
OF PARKS  
5. ALL LIGHTS LOCATED IN ROW OR  
PUBLIC ACCESS EASEMENT ARE  
PUBLIC ACCESS EASEMENT ARE  
6. PUBLIC RAILING LOCATIONS AND  
EXTENTS MAY BE ADJUSTED TO  
ENSURE THAT THEY ARE PROVIDED  
ON ALL WALLS OVER 36" IN HEIGHT.  
7. ALTHOUGH THE WODP AND POP  
SHOW A CONSOLIDATED WALK FOR  
UNITS ALONG W. 88TH AVE.,  
INDIVIDUAL WALKS HAVE BEEN  
COORDINATED WITH THE CITY TO  
LIMIT "TRAMPLING OF VEGETATION."  
8. SEE PAGE 46 FOR PEDESTRIAN  
CIRCULATION PLAN.



**UPLANDS**  
DATE: 05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

PREPARED: 10.27.2023	16 OF 120
REVISIONS	SITE PLAN
SUB 01: 10.27.2023	
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SUB 02: 04.26.2024	
SUB 04: 05.31.2024	



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 18 OF 120

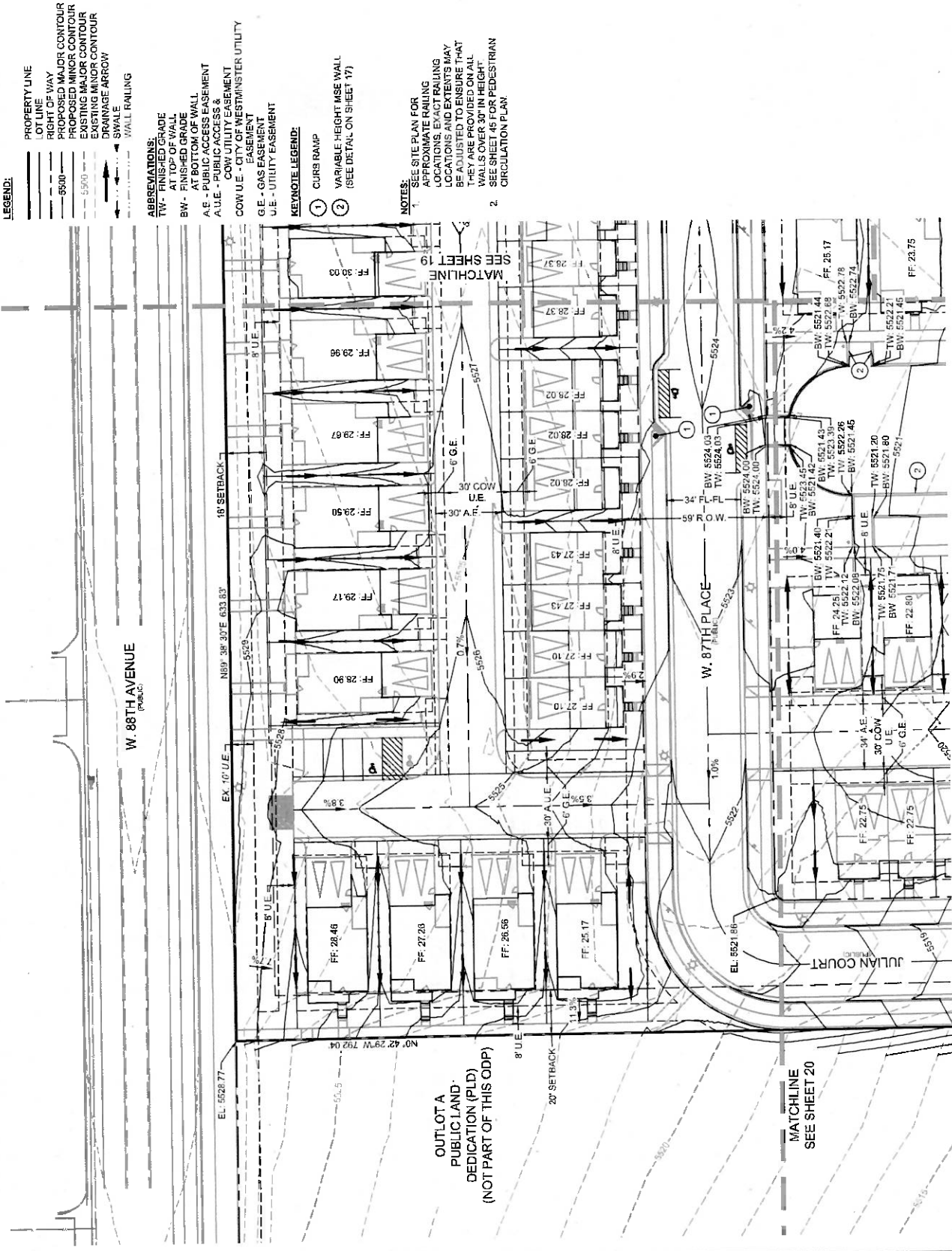


UPLANDS  
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

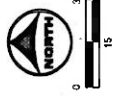
OFFICIAL DEVELOPMENT PLAN	
PREPARED: 10.27.2023	REVISIONS
SUB 01: 10.27.2023	SUB 02: 02.29.2024
SUB 03: 04.26.2024	SUB 04: 05.31.2024

18 OF 120  
GRADING PLAN





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 19 OF 120

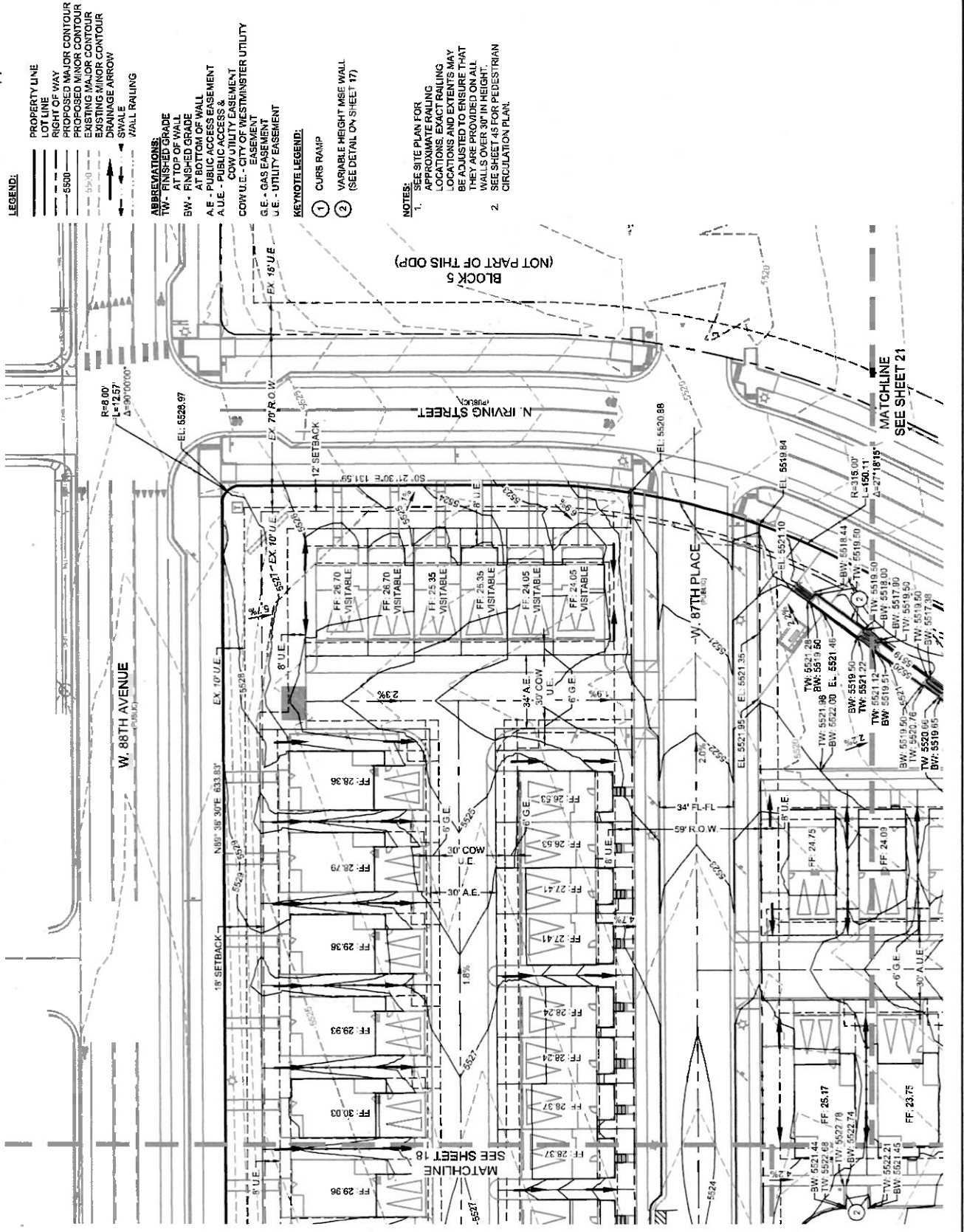


**UPLANDS**

DATE: 05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

19 OF 120
GRADING PLAN
OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
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SUB 02: 04.26.2024
SUB 04: 05.31.2024



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE ARROW
- SHALL
- SHALL RAILING

**ABBREVIATIONS:**

- TW - FINISHED GRADE AT TOP OF WALL
- BW - FINISHED GRADE AT BOTTOM OF WALL
- A/E - PUBLIC ACCESS EASEMENT
- A/U.E. - PUBLIC ACCESS & COW U.E. - CITY OF WESTMINSTER UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**NOTES:**

- SEE SITE PLAN FOR LOCATIONS OF EXISTING AND PROPOSED EXACT RAILINGS. LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT. SEE SHEET 45 FOR PEDESTRIAN CIRCULATION PLAN.
- 

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

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- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

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- 1 CURS RAMP
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- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

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- 1 CURS RAMP
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- 1 CURS RAMP
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- 1 CURS RAMP
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**KEYNOTE LEGEND:**

- 1 CURS RAMP
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- 1 CURS RAMP
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- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)

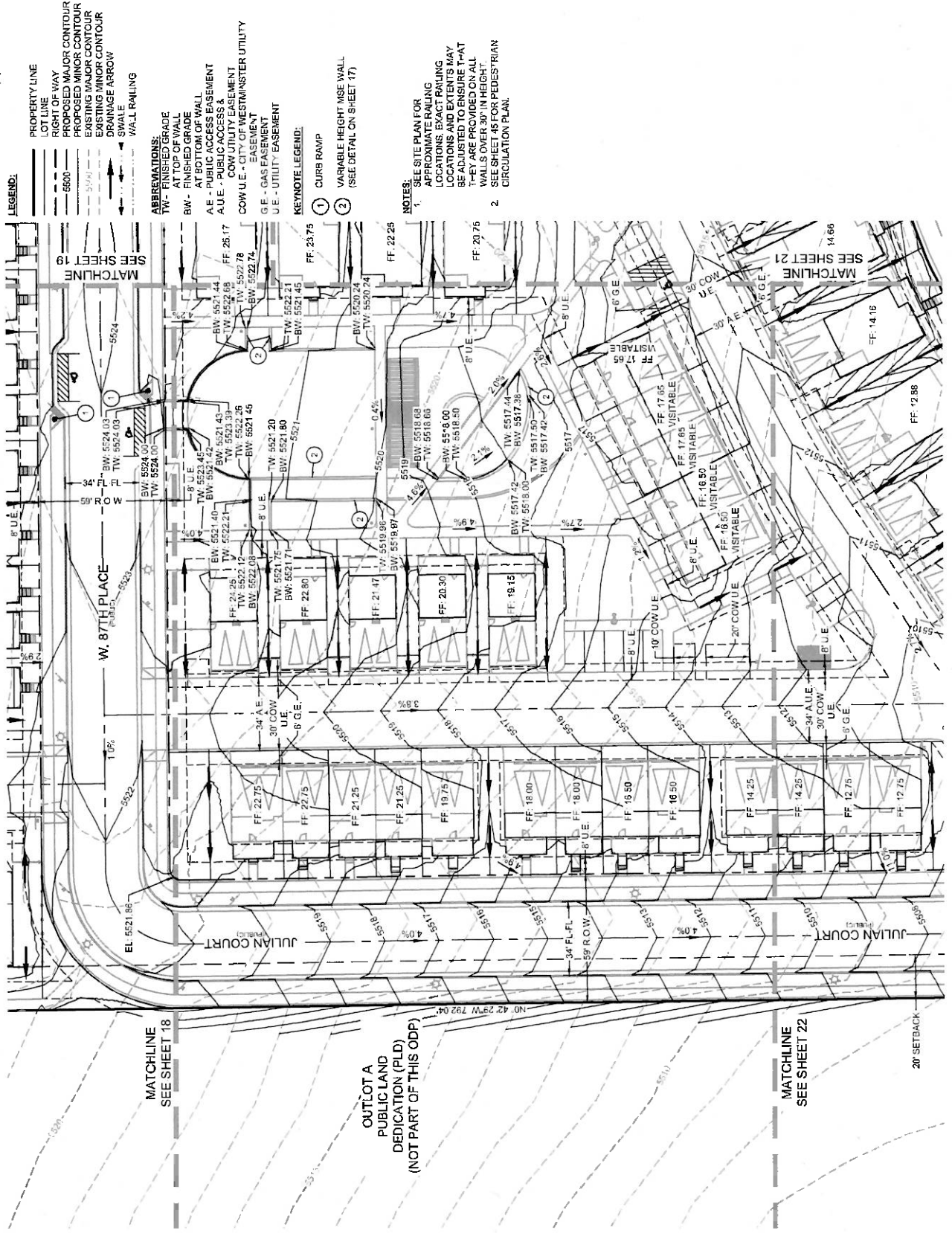
**KEYNOTE LEGEND:**

- 1 CURS RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 17)





OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 20 OF 120



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 21 OF 120



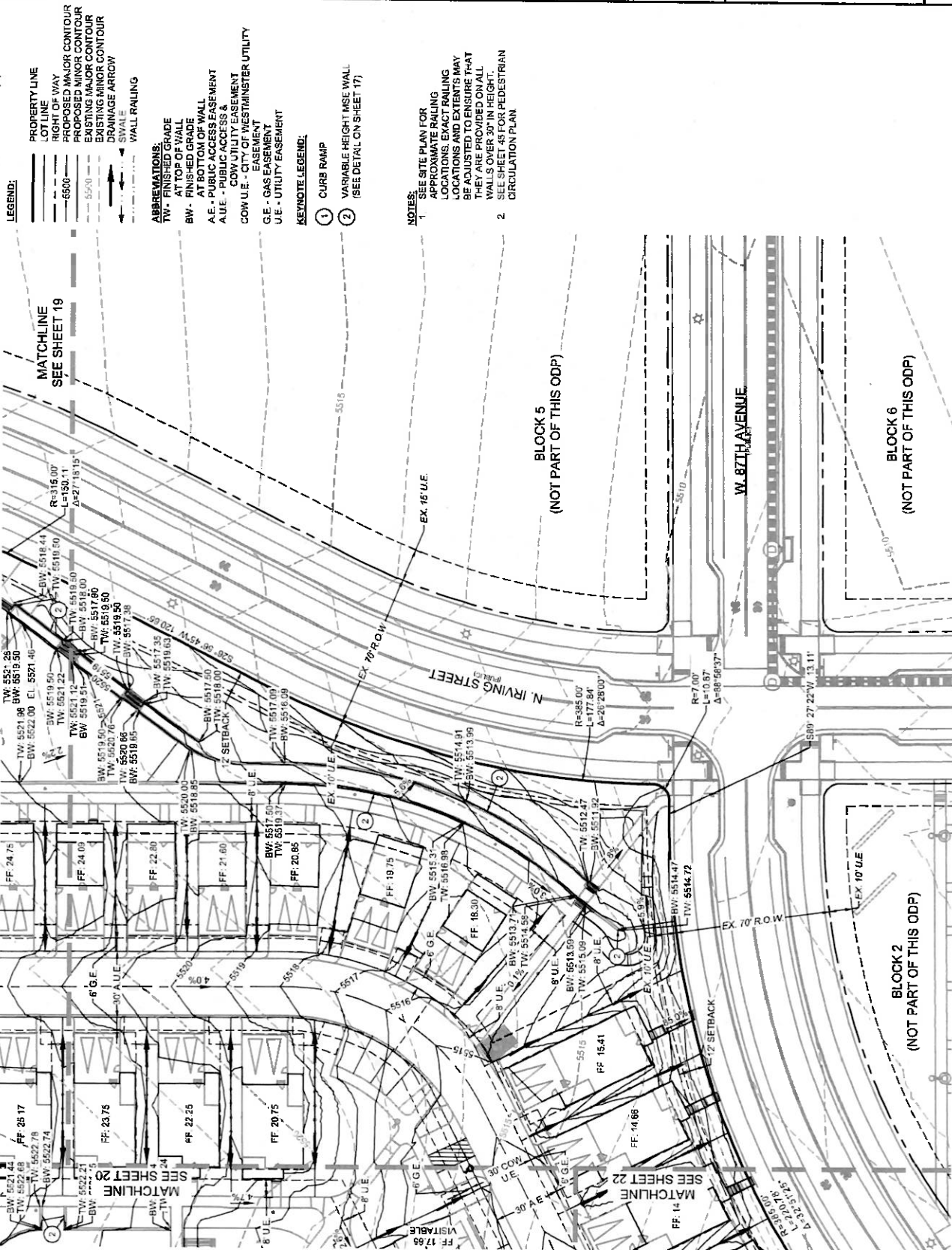
UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 02: 04.26.2024
SUB 04: 05.31.2024

21 OF 120  
GRADING PLAN





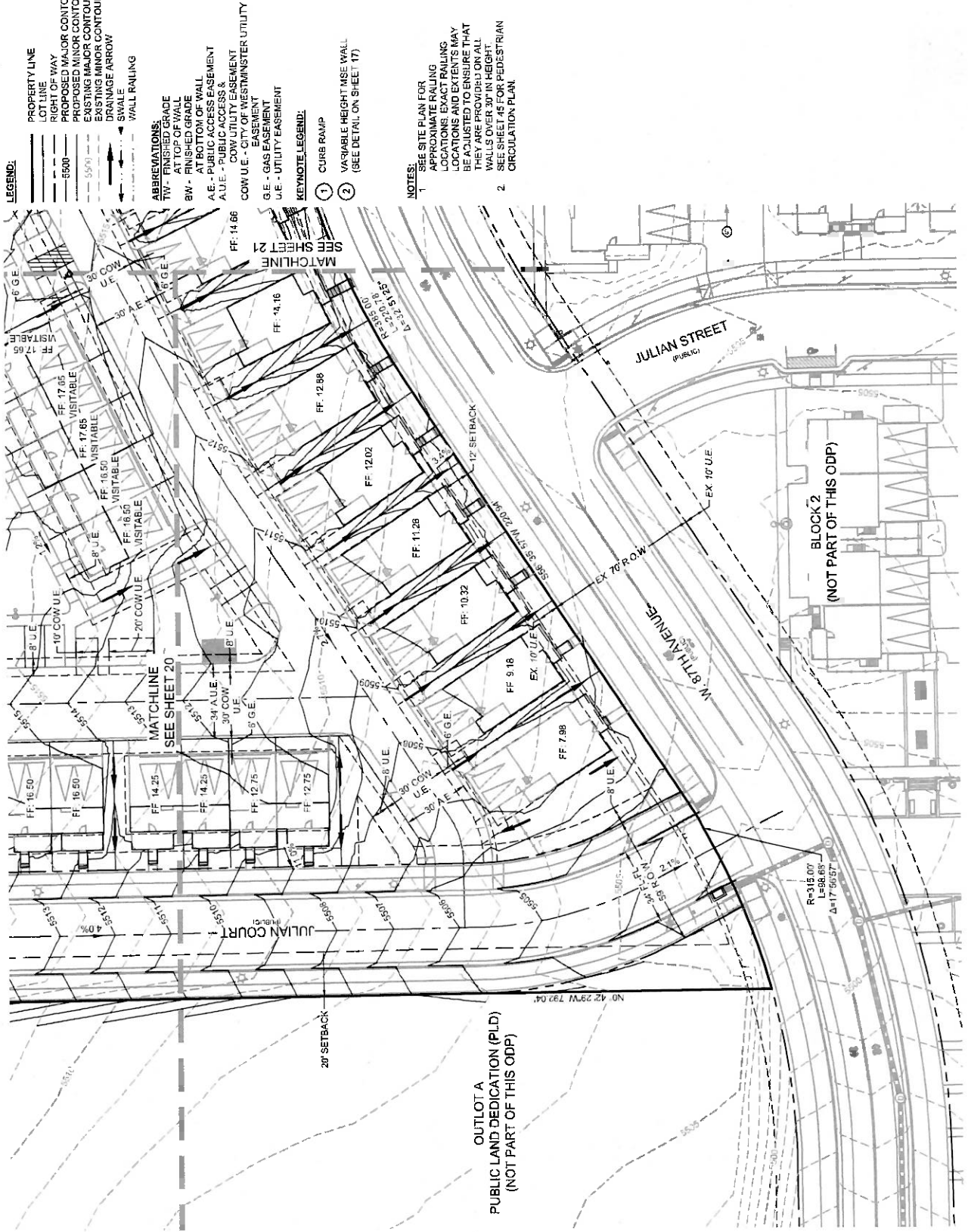
SONLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 10.27.2023	REVISIONS
SUB 01: 10.27.2023	SUB 04: 05.31.2024
SUB 02: 02.29.2024	SUB 02: 04.26.2024

22 OF 120  
GRADING PLAN



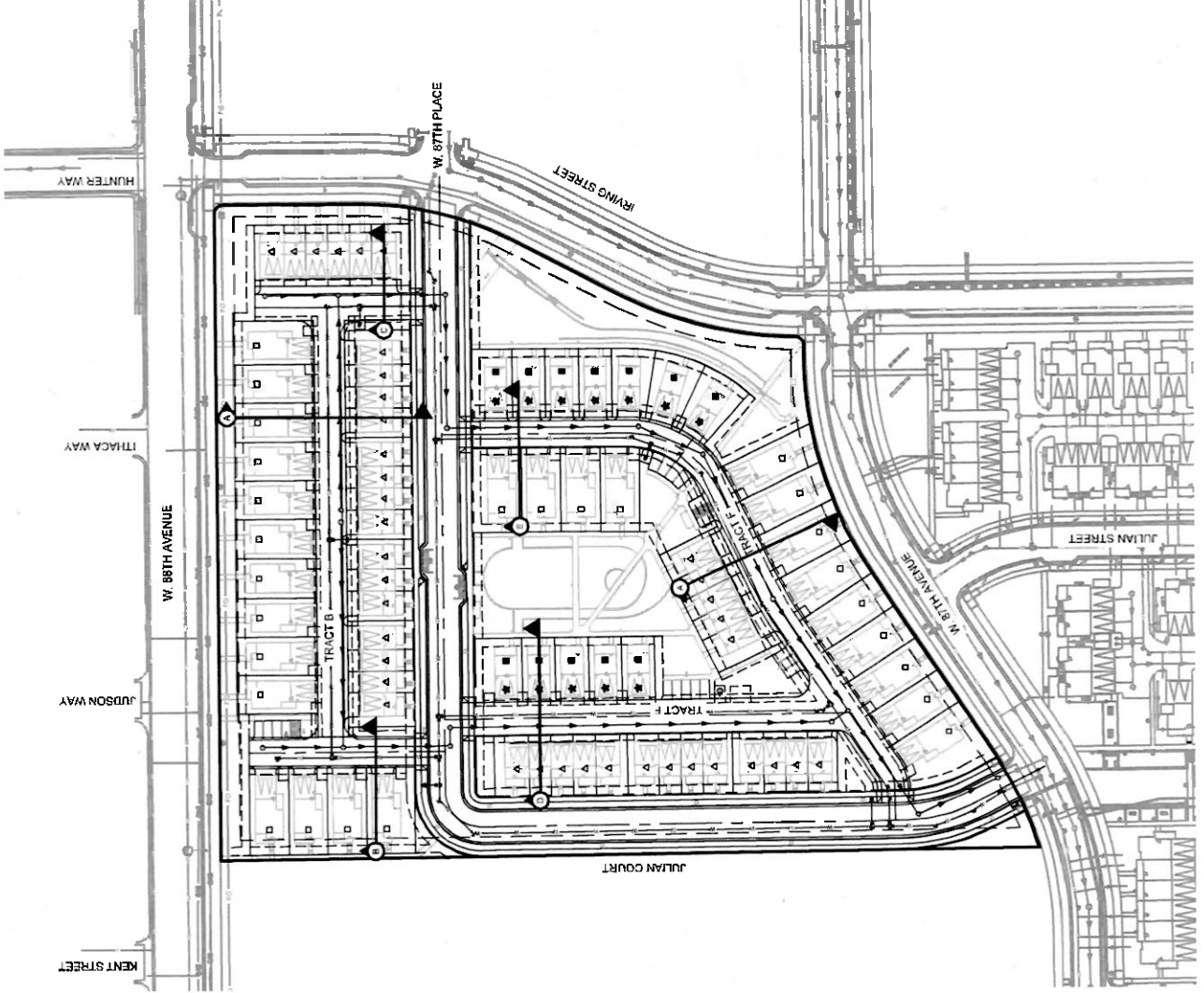
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 23 OF 120



LEGEND

- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- △ TOWNHOME (3-STORY)
- ★ UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS
- WATER MAIN
- SANITARY SEWER MAIN

NOTE:  
PROPOSED ALLEY SECTION SYMBOLS SHOWN  
ON THIS KEYMAP REFLECT THE ALLEY  
SECTIONS SHOWN ON SHEETS 24 - 26.



UPLANDS

DATE:

05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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TYPICAL SECTIONS KEYMAP

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UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 24 OF 120



UPLANDS

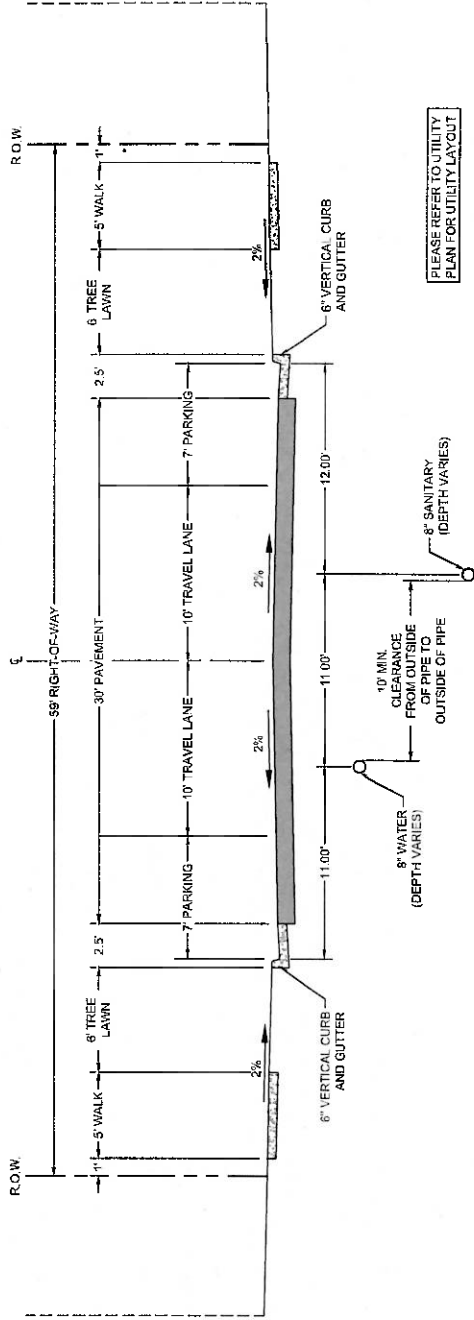
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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24 OF 120  
TYPICAL SECTIONS

LOCAL W/ DETACHED WALK  
JULIAN COURT, W. 87TH PLACE  
W/ PARKING (59' ROW)





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 25 OF 120



UPLANDS

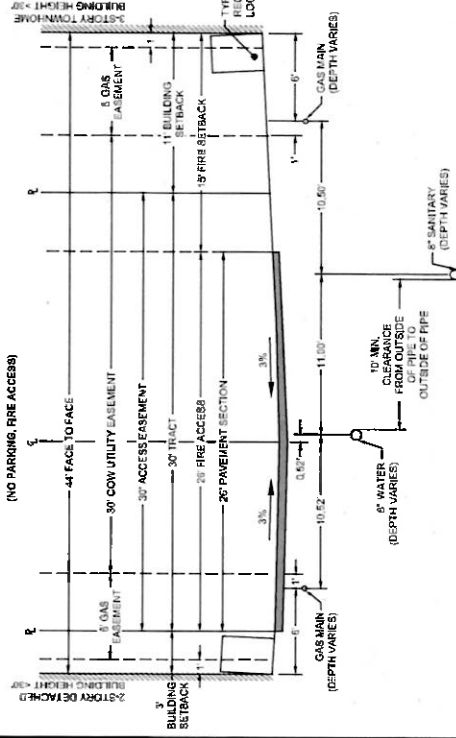
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

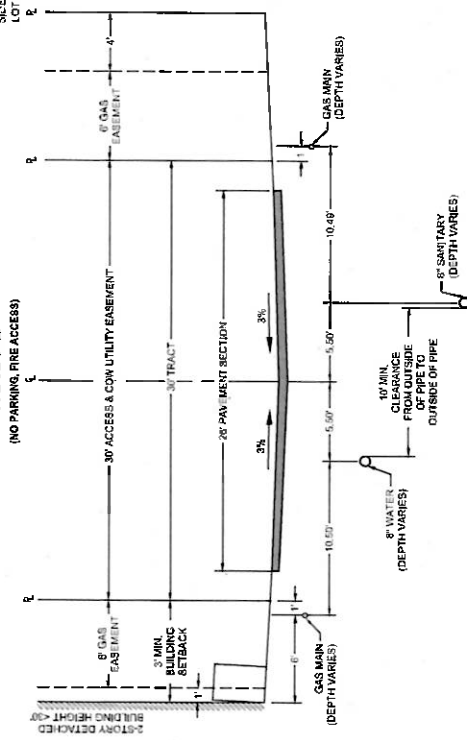
OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 02: 04.26.2024
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25 OF 120  
TYPICAL SECTIONS

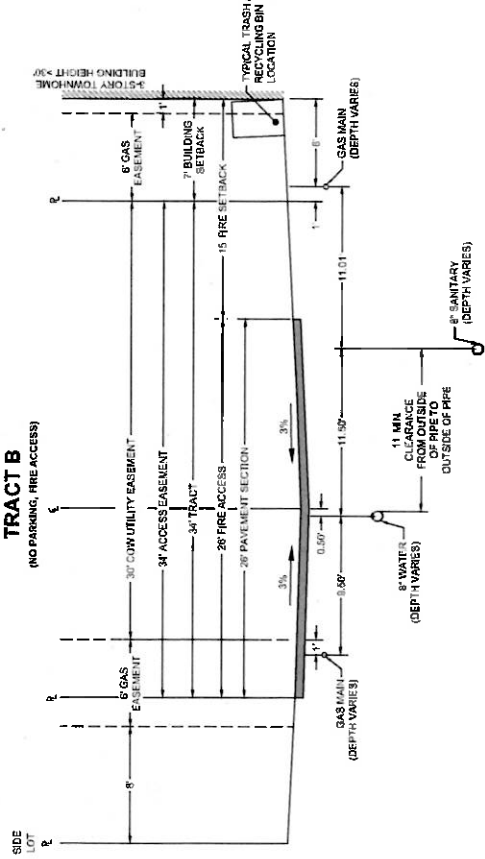
ALLEY SECTION A  
2 UTILITY  
TRACT B  
(NO PARKING, FIRE ACCESS)



ALLEY SECTION B  
2 UTILITY  
TRACT B  
(NO PARKING, FIRE ACCESS)



ALLEY SECTION C  
2 UTILITY  
TRACT B  
(NO PARKING, FIRE ACCESS)



- NOTES.
1. AN ADDITIONAL 5.00 SETBACK IS PROVIDED ON THE 2ND AND 3RD STORIES OF THE 3-STORY DETACHED HOMES TO ACCOMMODATE FIRE AERIAL APPARATUS REQUIREMENTS. SEE SHEETS 93 - 36 FOR FIRE SECTIONS.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 27 OF 120



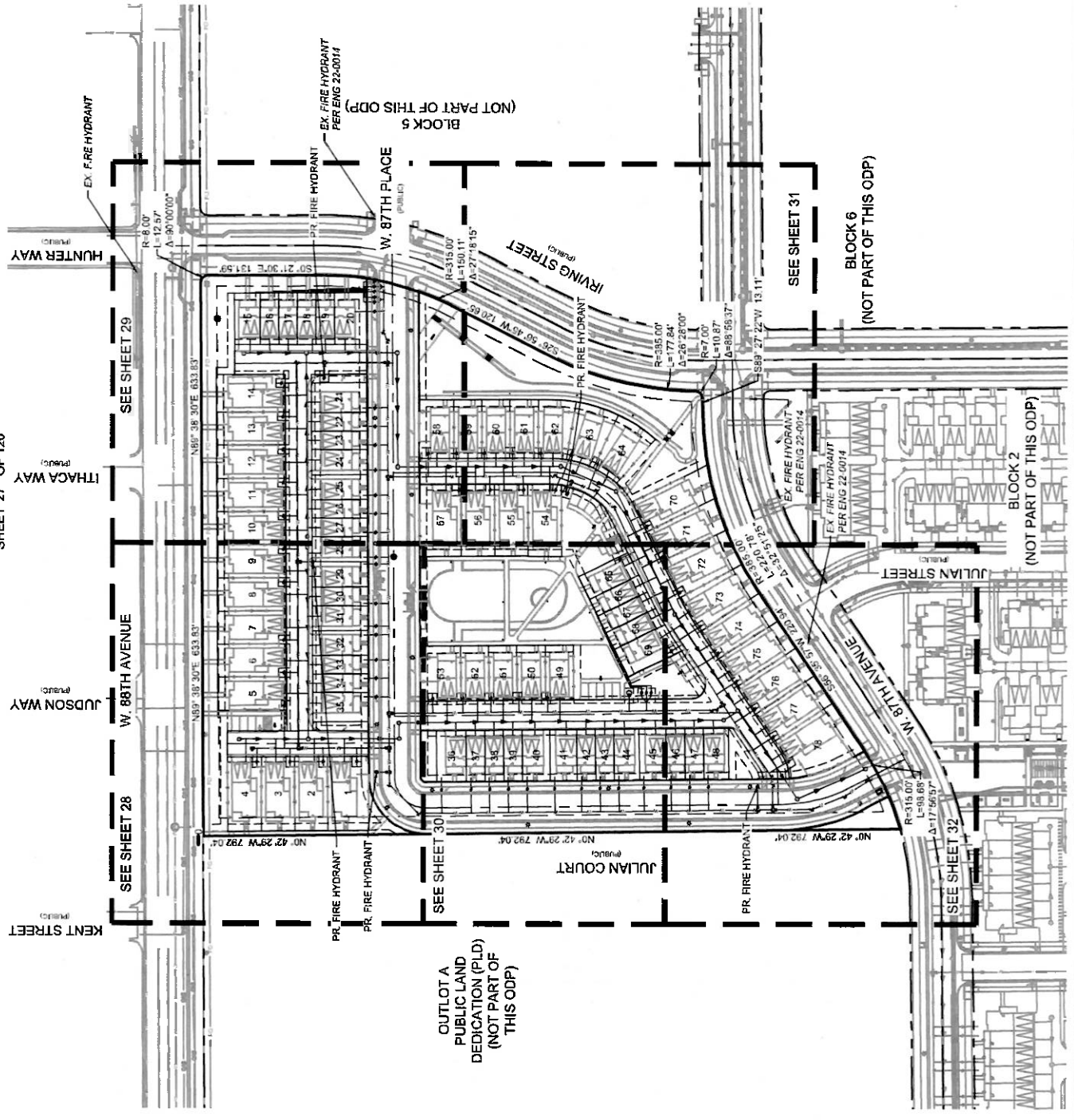
**UPLANDS**

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 10.27.2023	REVISIONS
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SUB 02: 02.29.2024	SUB 02: 04.26.2024
SUB 04: 05.31.2024	

27 OF 120  
OVERALL UTILITY PLAN



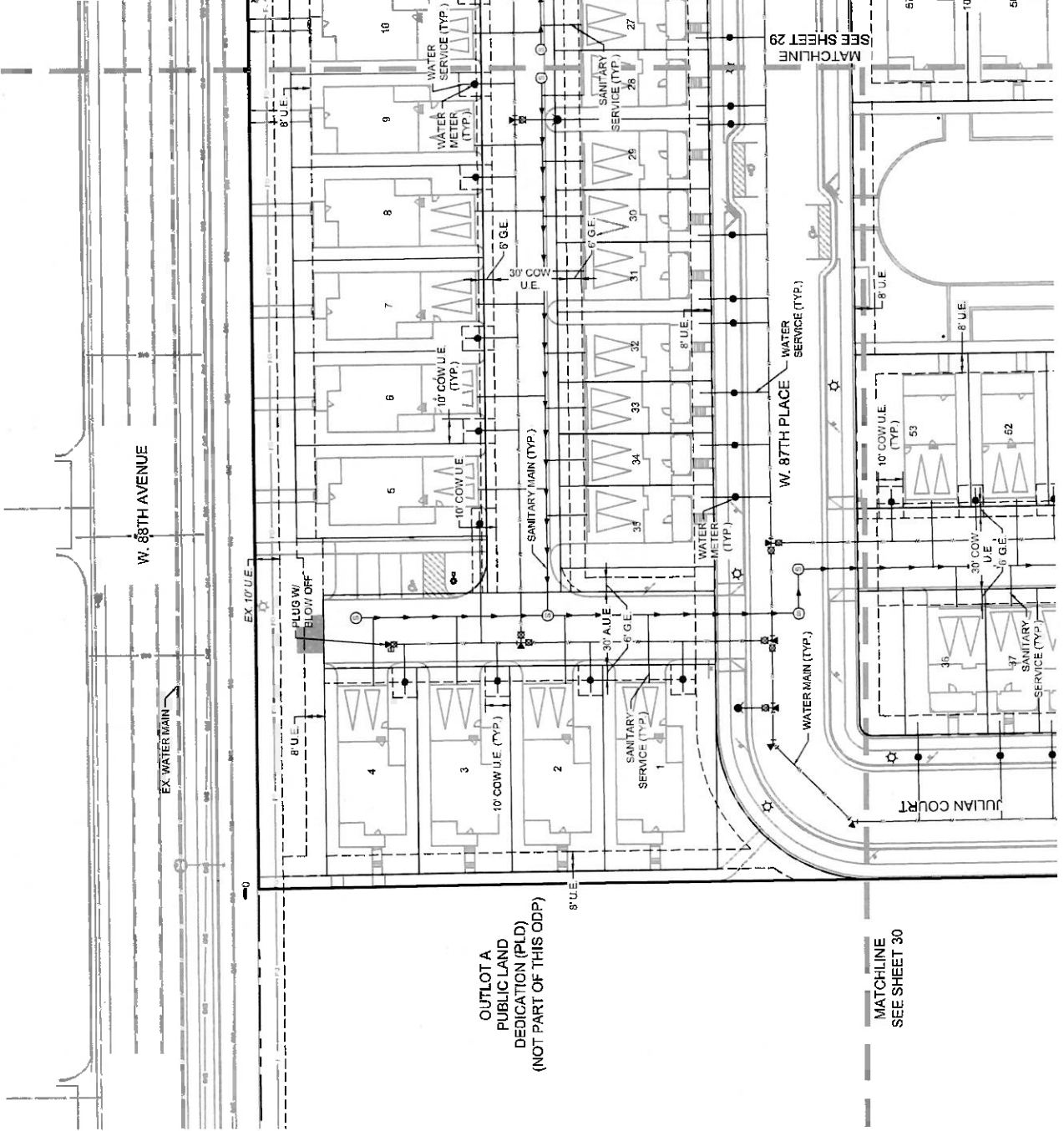
ABBREVIATIONS:  
A.E. PUBLIC ACCESS EASEMENT  
A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT  
COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
G.E. GAS EASEMENT  
S.W. SIDEWALK  
U.E. UTILITY EASEMENT  
PR PRIVATE LIGHT POLE  
PR PUBLIC LIGHT POLE  
PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 28 OF 120



- LEGEND:
- PROPERTY LINE
  - LOT LINE
  - RIGHT OF WAY
  - PR. SANITARY SEWER
  - EX. SANITARY SEWER
  - PR. SANITARY MANHOLE
  - EX. SANITARY MANHOLE
  - PR. WATER LINE
  - PR. WATER SERV. & METER
  - PR. FIRE HYDRANT
  - EX. WATER LINE
  - EX. FIRE HYDRANT
  - PR. STORM SEWER
  - PR. STORM MANHOLE
  - PR. STORM INLET
  - EX. STORM SEWER
  - EX. STORM MANHOLE
  - EX. STORM INLET

NOTES:  
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



OUTLOT A  
PUBLIC LAND  
DEDICATION (PLD)  
(NOT PART OF THIS ODP)

MATCHLINE  
SEE SHEET 30

MATCHLINE  
SEE SHEET 29

UPLANDS  
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
REVISIONS	SUB 01: 10.27.2023
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	SUB 02: 04.26.2024
	SUB 04: 05.31.2024
28 OF 120	UTILITY PLAN



UPLANDS

DATE:

05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10/27/2023
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SUB 01: 10/27/2023	
SUB 02: 02/29/2024	
SUB 02: 04/26/2024	
SUB 04: 05/31/2024	

29 OF 120  
UTILITY PLAN

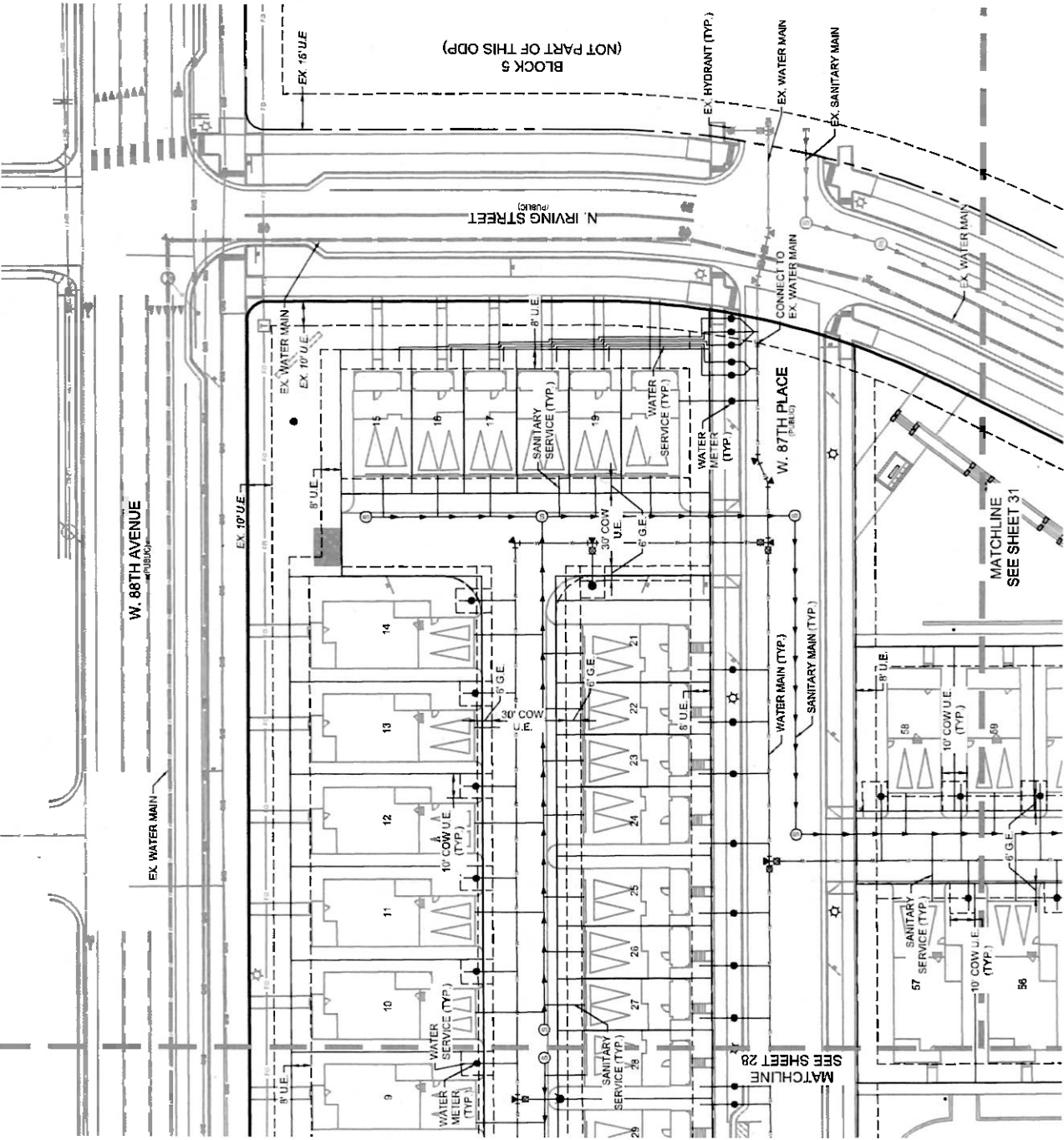


OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 29 OF 120

- ABBREVIATIONS:
- PR: PRIVATE ACCESS EASEMENT
  - A/E: PUBLIC ACCESS & COMM UTILITY EASEMENT
  - COV U/E: CITY OF WESTMINSTER UTILITY EASEMENT
  - G/E: GAS EASEMENT
  - SW: SIDEWALK
  - U/E: UTILITY EASEMENT
  - PR: PRIVATE LIGHT POLE
  - PR: PUBLIC LIGHT POLE
  - PR: PUBLIC LIGHT POLE PER ENG 22-0014

- LEGEND:
- PROPERTY LINE
  - LOT LINE
  - RIGHT OF WAY
  - PR SANITARY SEWER
  - PR SANITARY MANHOLE
  - EX SANITARY SEWER
  - EX SANITARY MANHOLE
  - PR WATER LINE
  - PR FIRE HYDRANT
  - EX WATER LINE
  - EX FIRE HYDRANT
  - PR STORM SEWER
  - PR STORM MANHOLE
  - PR STORM INLET
  - EX STORM SEWER
  - EX STORM MANHOLE
  - EX STORM INLET

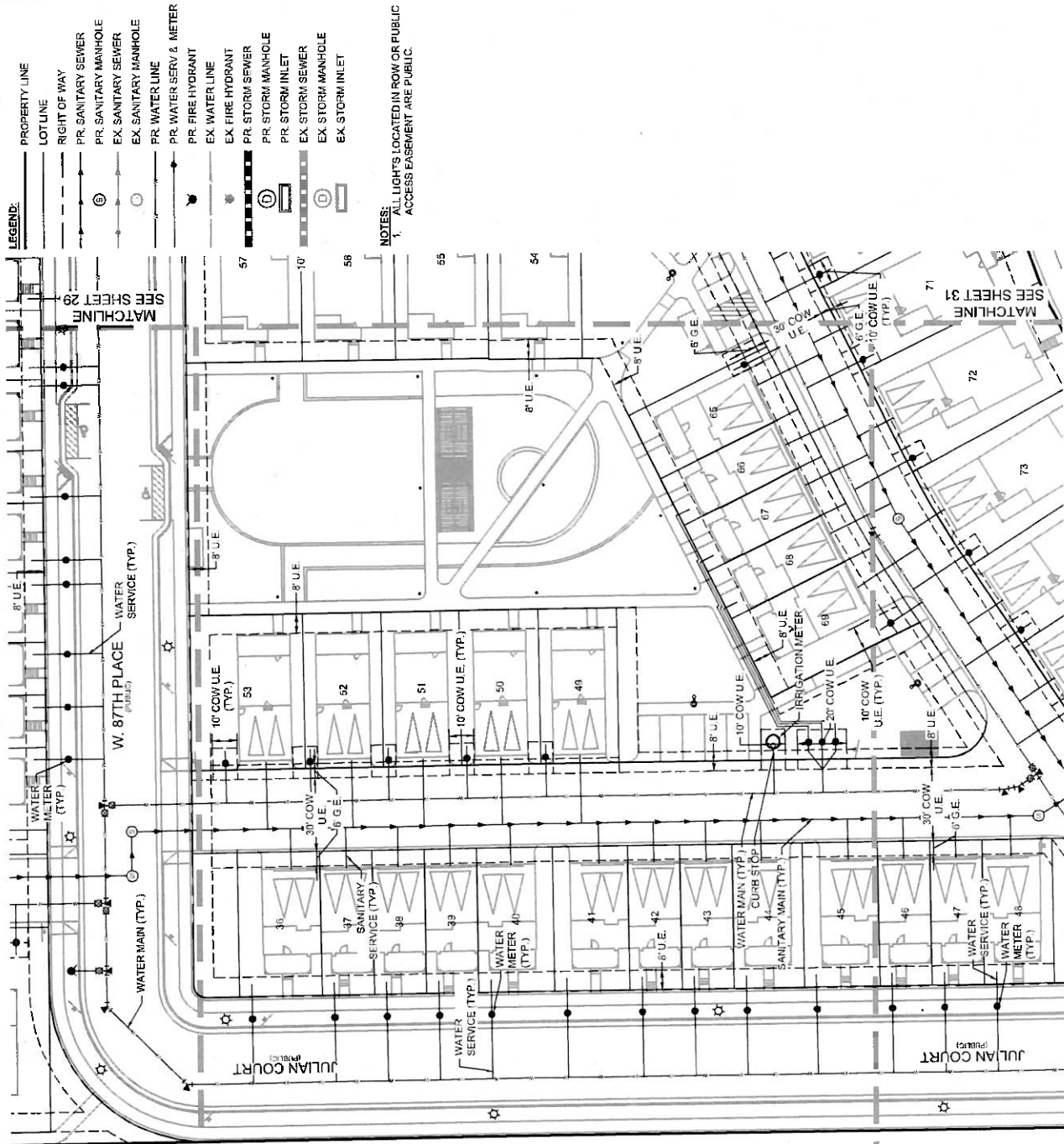
NOTES:  
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC





**ABBREVIATIONS:**  
A.E. PUBLIC ACCESS EASEMENT  
A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT  
COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
G.E. GAS EASEMENT  
SW SIDEWALK  
U.E. UTILITY EASEMENT  
PR PRIVATE LIGHT POLE  
PLD PUBLIC LIGHT POLE  
PER PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 30 OF 120



**UPLANDS**  
DATE: 05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 04: 10.27.2023
SUB 02: 02.29.2024
SUB 02: 04.26.2024
SUB 04: 05.31.2024

30 OF 120  
UTILITY PLAN

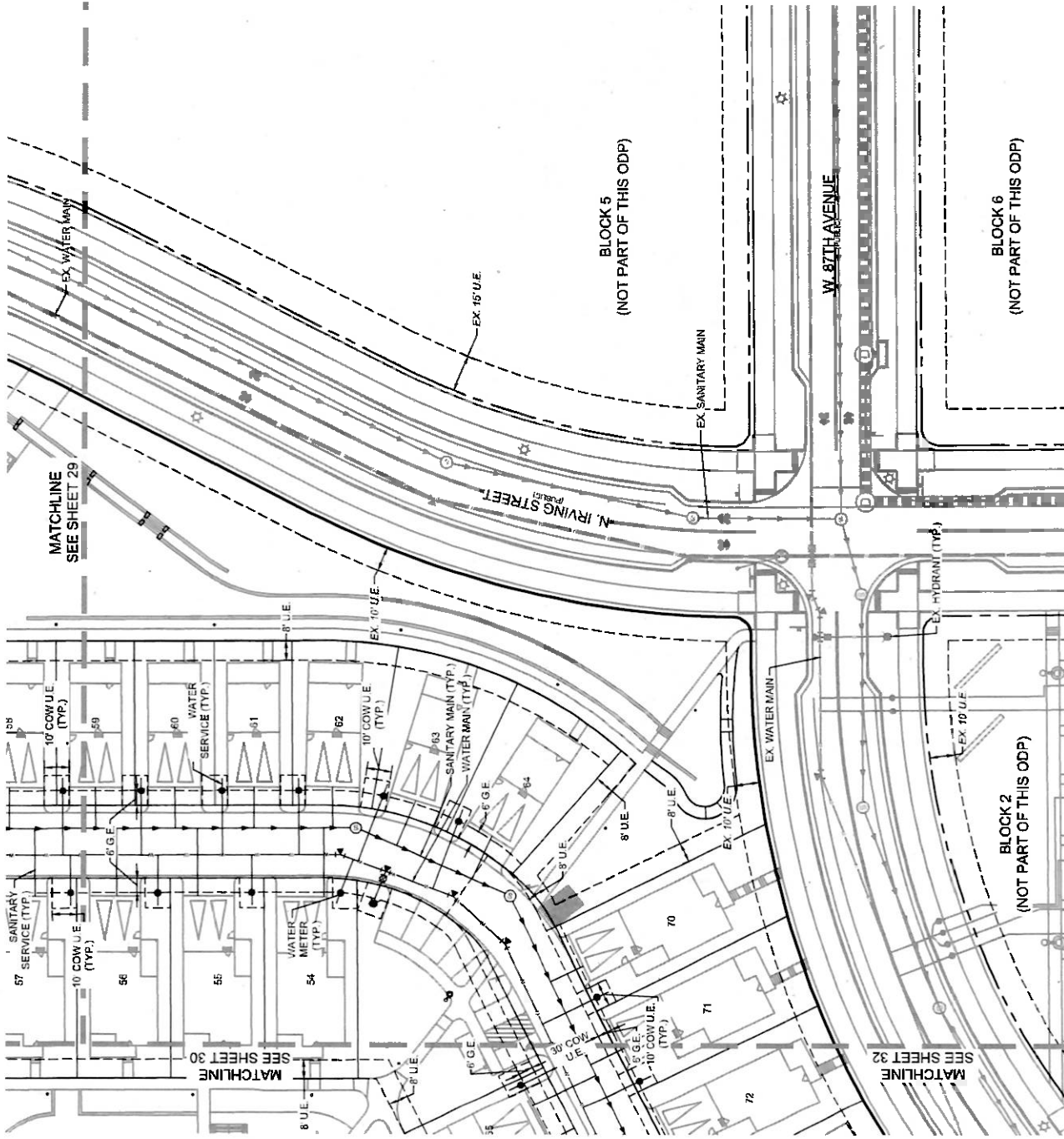
- ABBREVIATIONS:**
- PUBLIC ACCESS EASEMENT
  - A.E. PUBLIC ACCESS & COW UTILITY EASEMENT
  - A.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
  - G.E. GAS EASEMENT
  - SW SIDEWALK
  - UTILITY EASEMENT
  - PR. PRIVATE LIGHT POLE
  - PR. PUBLIC LIGHT POLE
  - PR. PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 31 OF 120



- LEGEND:**
- PROPERTY LINE
  - LOT LINE
  - RIGHT OF WAY
  - PR. SANITARY SEWER
  - EX. SANITARY SEWER
  - PR. SANITARY MANHOLE
  - EX. SANITARY MANHOLE
  - PR. WATER LINE
  - PR. WATER SERV. & METER
  - PR. FIRE HYDRANT
  - EX. FIRE HYDRANT
  - PR. STORM SEWER
  - EX. STORM SEWER
  - PR. STORM MANHOLE
  - PR. STORM INLET
  - EX. STORM MANHOLE
  - EX. STORM INLET

**NOTES:**  
ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



**UPLANDS**

DATE: 05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 02: 04.26.2024
SUB 04: 05.31.2024

**ABBREVIATIONS:**  
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COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT  
G.E. GAS EASEMENT  
S.W. SIDEWALK  
U.E. UTILITY EASEMENT  
PR PRIVATE LIGHT POLE  
PLR PUBLIC LIGHT POLE  
PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 32 OF 120

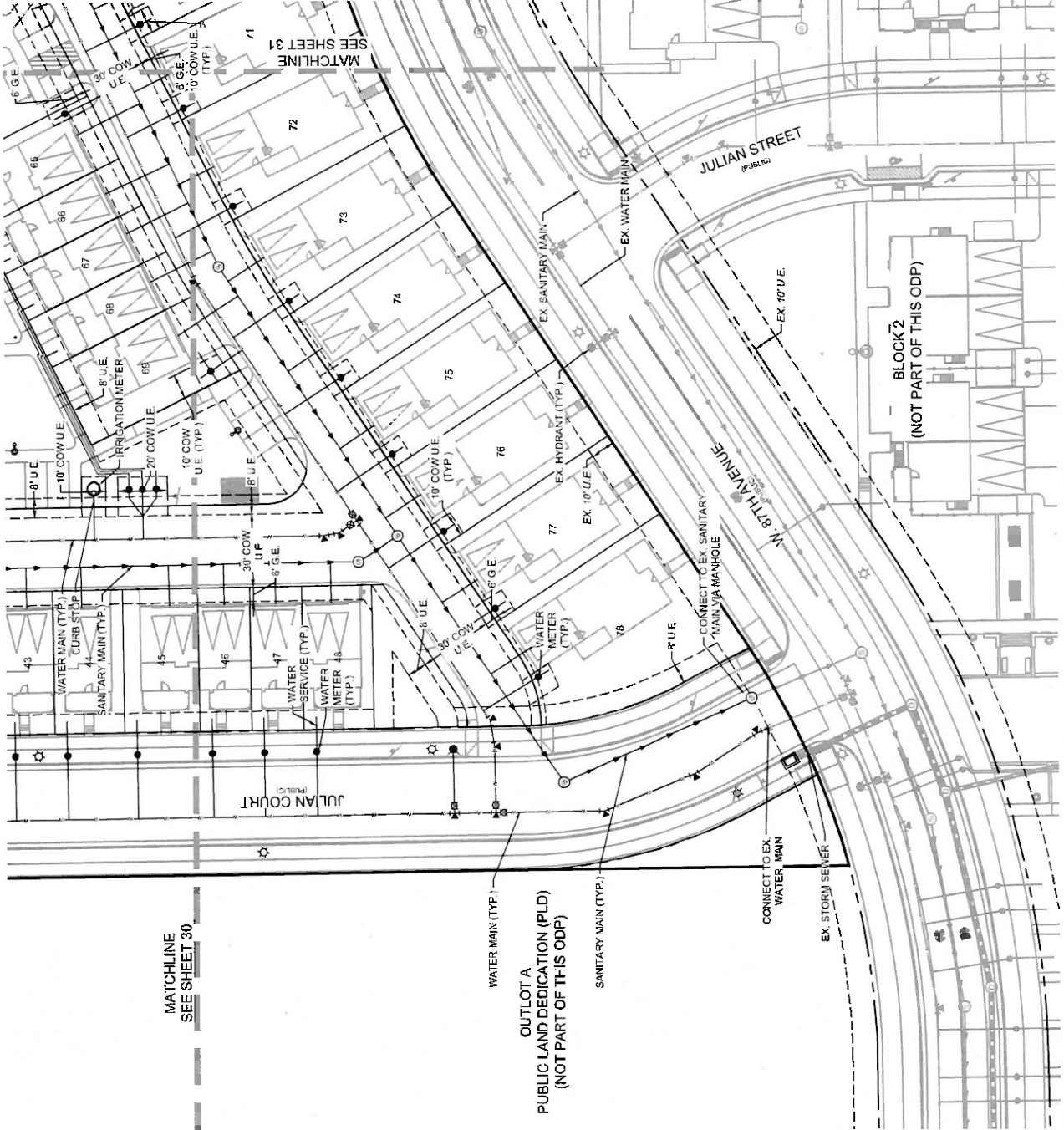


**UPLANDS**

DATE: 05.31.2024

- LEGEND:**
- PROPERTY LINE
  - LOT LINE
  - RIGHT OF WAY
  - PR. SANITARY SEWER
  - EX. SANITARY SEWER
  - PR. SANITARY MANHOLE
  - EX. SANITARY MANHOLE
  - PR. WATER LINE
  - EX. WATER LINE
  - PR. FIRE HYDRANT
  - EX. FIRE HYDRANT
  - PR. FIRE SERV. & METER
  - EX. FIRE SERV. & METER
  - PR. STORM SEWER
  - EX. STORM SEWER
  - PR. STORM INLET
  - EX. STORM INLET
  - PR. STORM MANHOLE
  - EX. STORM MANHOLE
  - PR. STORM INLET
  - EX. STORM INLET

**NOTES:**  
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
**REVISIONS**  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
SUB 02: 04.26.2024  
SUB 04: 05.31.2024

**32 OF 120**  
UTILITY PLAN

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 33 OF 120



LEGEND

- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- △ TOWNHOME (3-STORY)
- ★ UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS
- ASPHALT PAVEMENT



**UPLANDS**

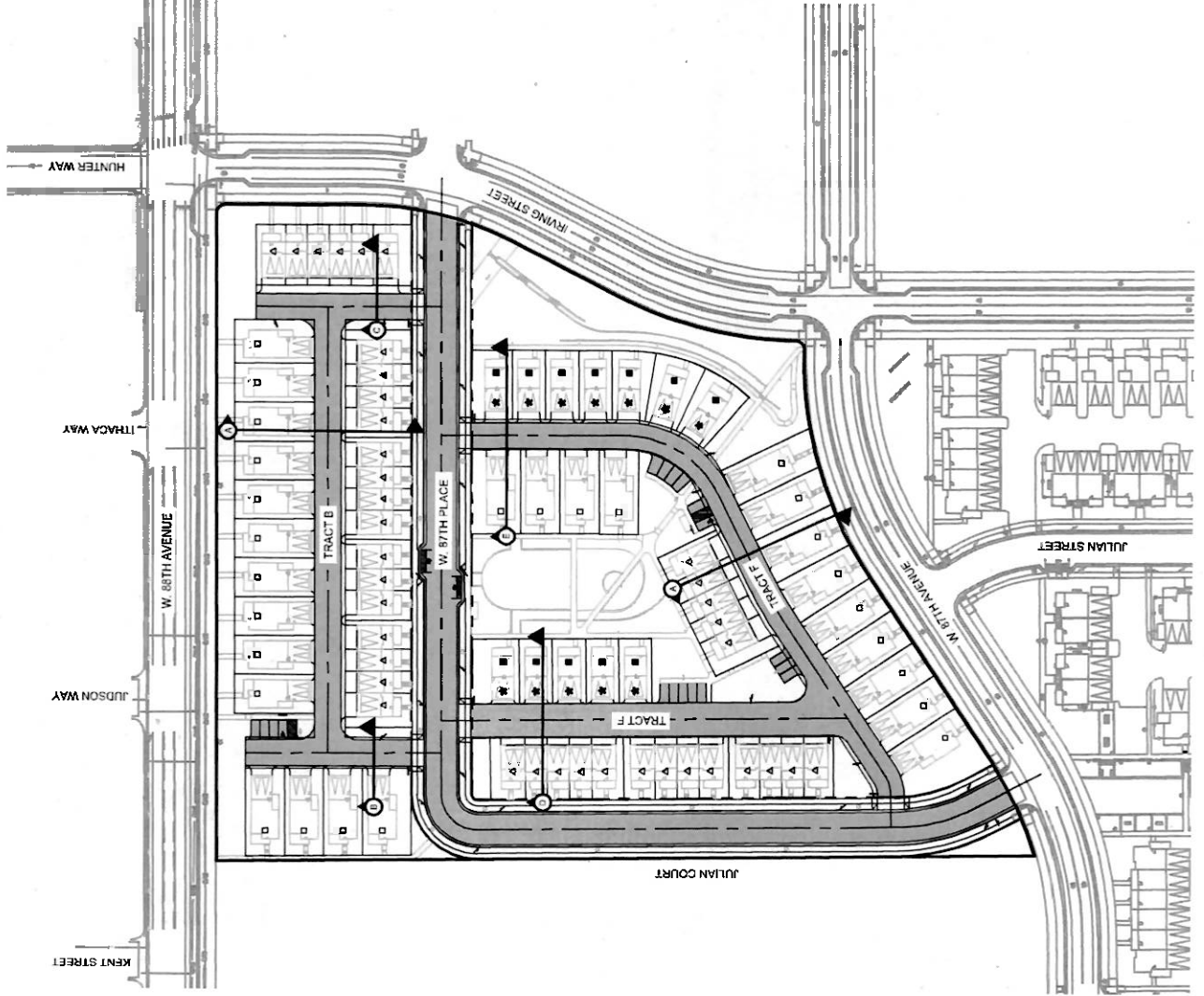
DATE:

05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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**33 OF 120**  
OVERALL FIRE CROSS  
SECTION



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UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 34 OF 120



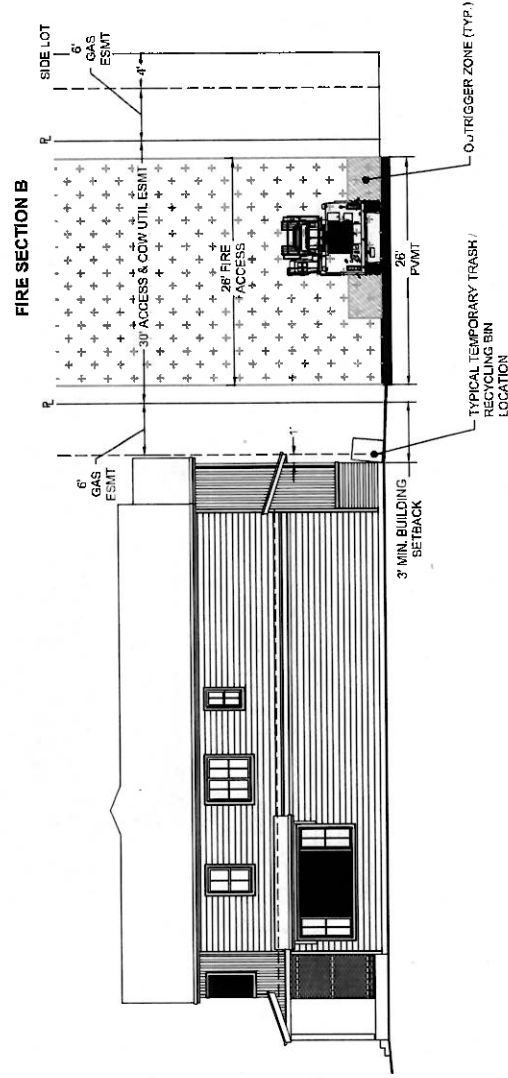
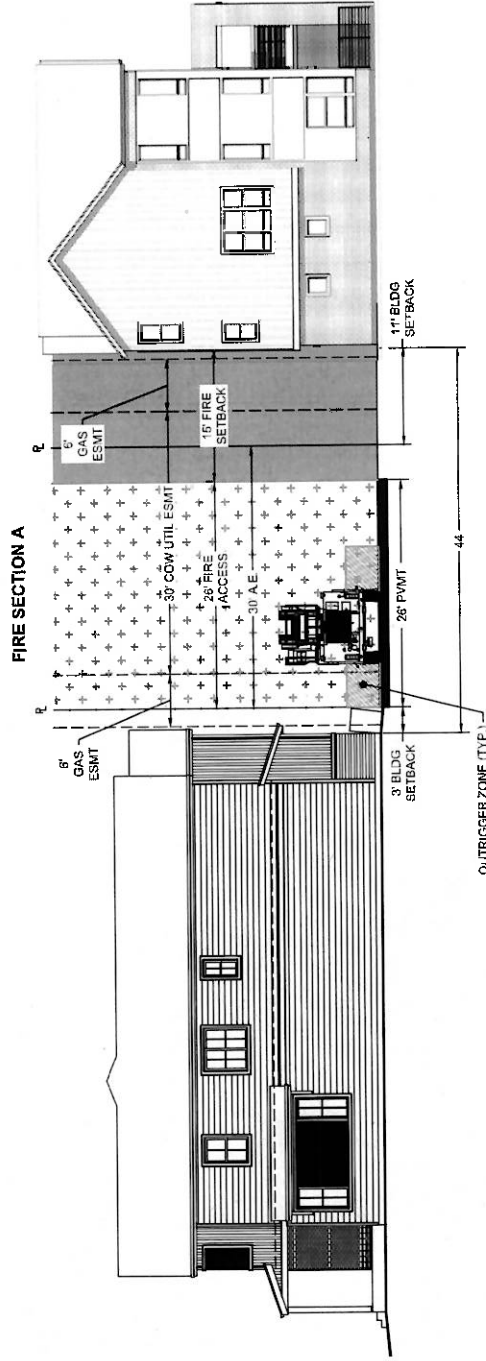
UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

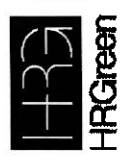
OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 02: 04.26.2024
SUB 04: 05.31.2024

34 OF 120  
FIRE CROSS SECTION





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 35 OF 120



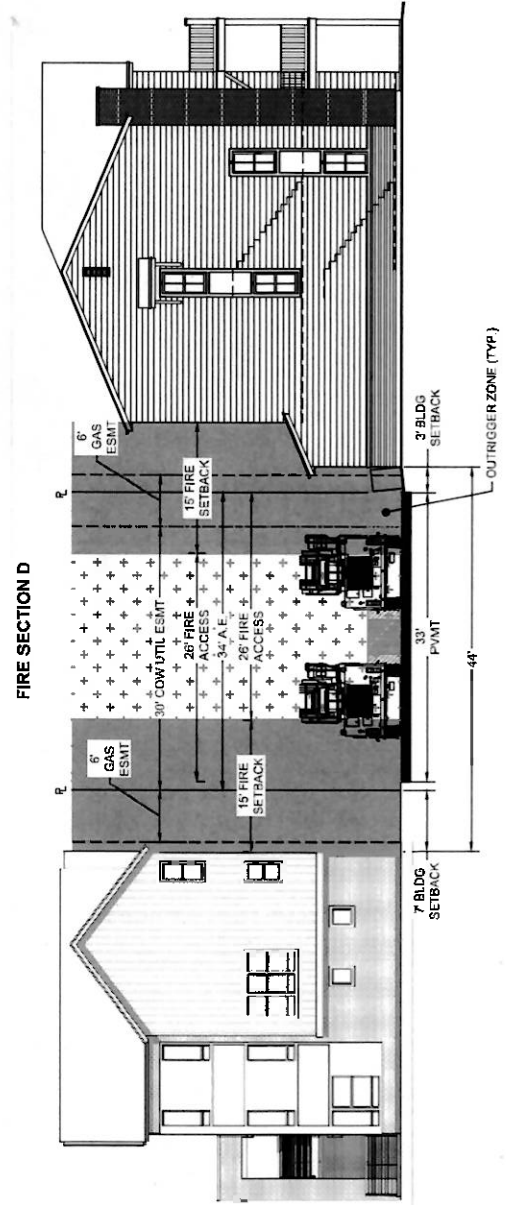
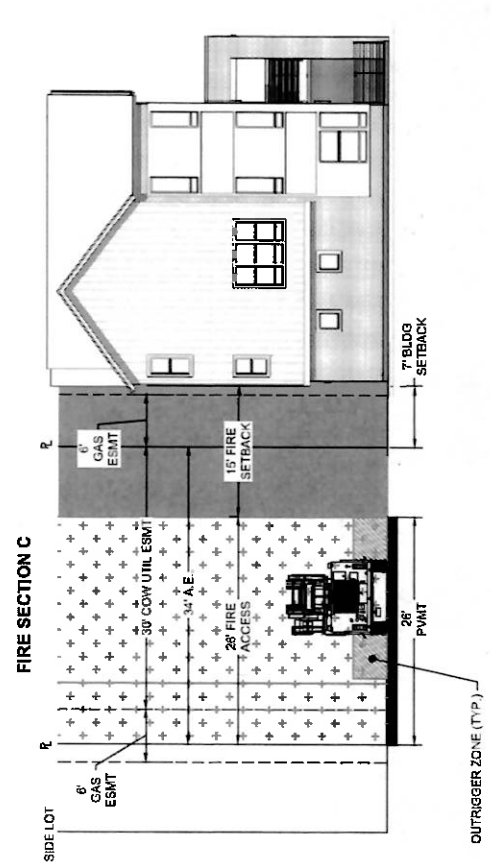
UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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FIRE CROSS SECTION



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
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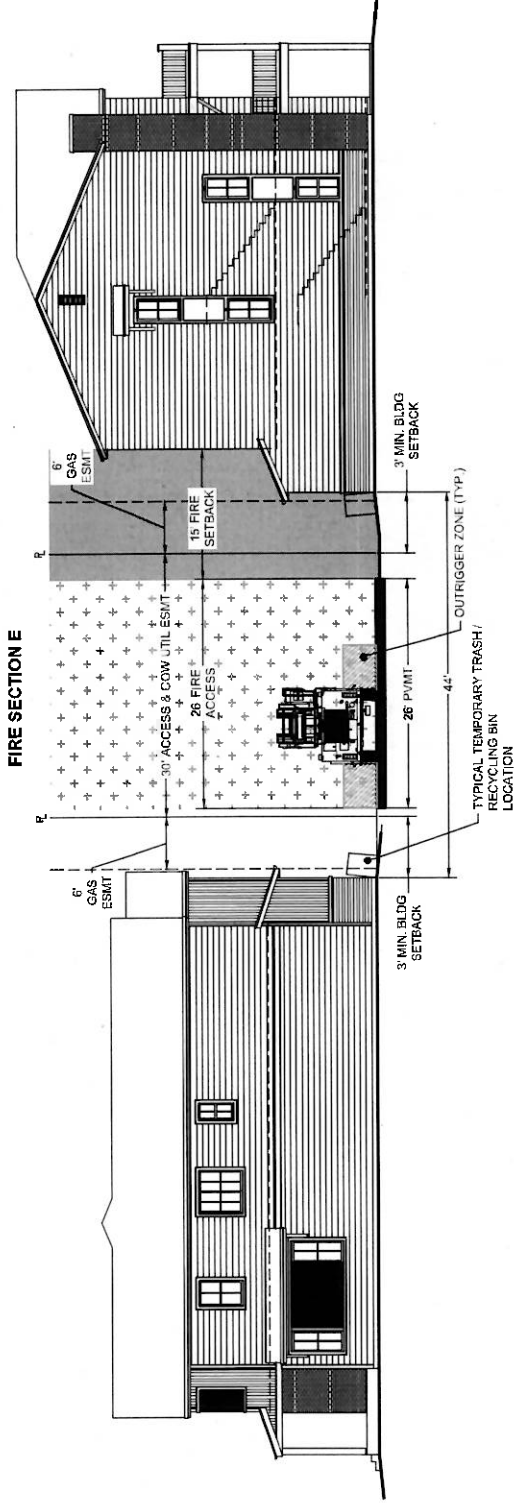
UPLANDS

DATE: 05.31.2024

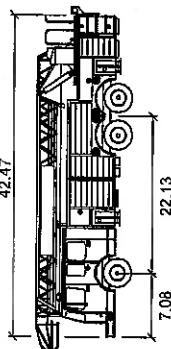
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BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
REVISIONS	SUB 01: 10.27.2023
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	SUB 02: 04.26.2024
	SUB 04: 05.31.2024

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FIRE CROSS SECTION



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 37 OF 120



Westminister Fire Truck

- feet
- Width : 8.33
  - Track : 6.91
  - Lock to Lock Time : 8.0
  - Steering Angle : 37.1
  - Inside Cramp Angle : 40.0



LEGEND

- FRONT TIRES
- WHEEL TIRES
- VEHICLE BODY
- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- TOWNHOME (3-STORY)
- UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS



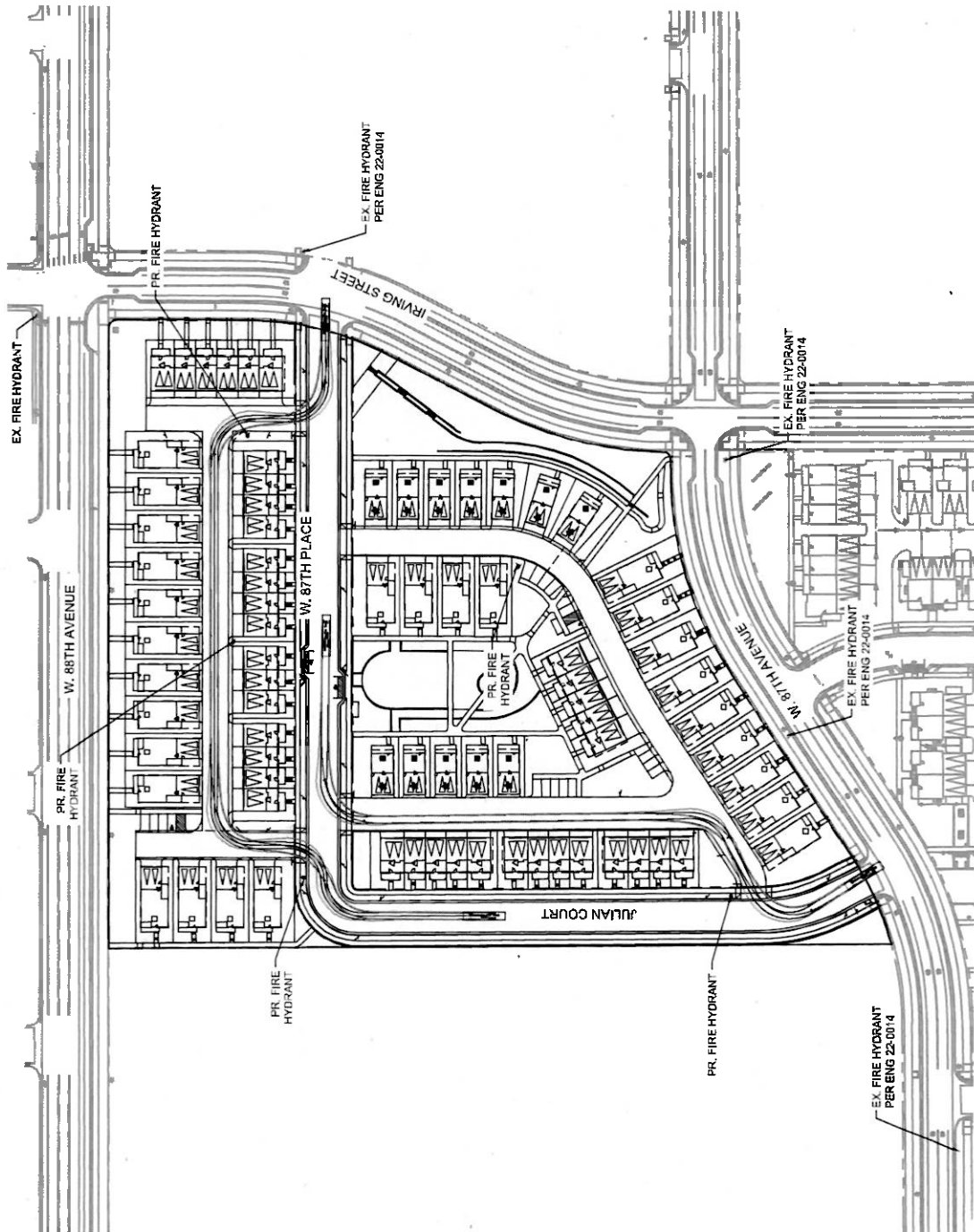
UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 02: 04.26.2024
SUB 04: 05.31.2024

37 OF 120  
FIRE TRUCK TURNING  
MOVEMENT





# UPLANDS

## UPLANDS FILING NO. 1 BLOCK 1 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

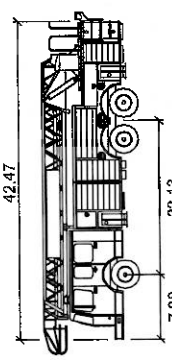
OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
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38 OF 120  
FIRE TRUCK TURNING  
MOVEMENT

- LEGEND
- FRONT TIRES
  - WHEEL TIRES
  - VEHICLE BODY
  - SINGLE FAMILY DETACHED (3-STORY)
  - SINGLE FAMILY DETACHED (2-STORY)
  - TOWNHOME (3-STORY)
  - UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS

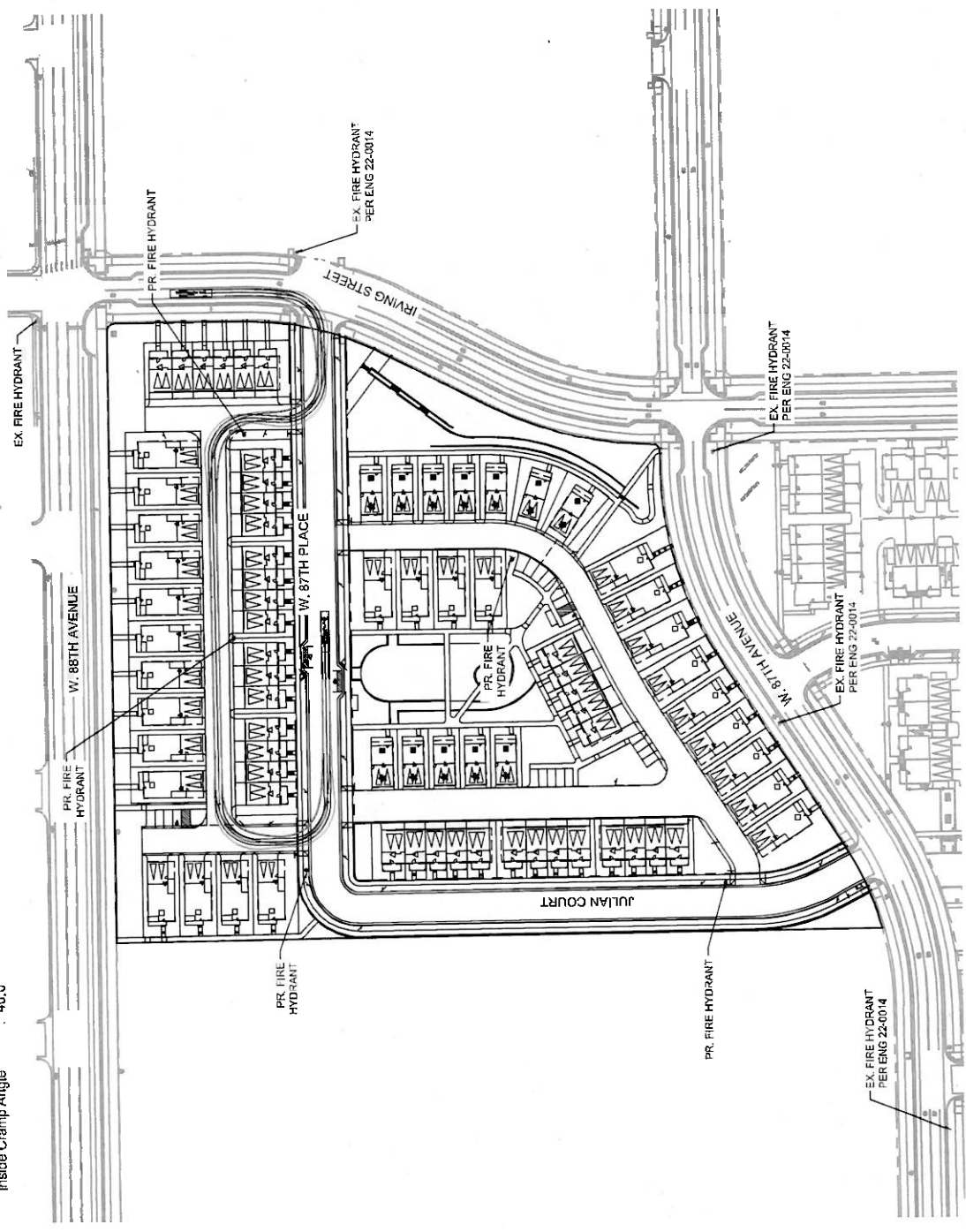


### OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 1 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 38 OF 120

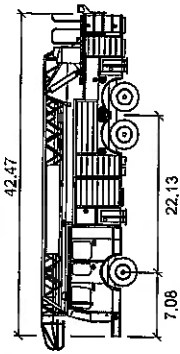


#### Westminster Fire Truck

- feet
- Width : 8.33
  - Track : 6.91
  - Lock to Lock Time : 6.0
  - Steering Angle : 37.1
  - Inside Cramp Angle : 40.0



OFFICIAL DEVELOPMENT PLAN  
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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 39 OF 120



**Westminister Fire Truck**

	feet
Width	: 8.33
Track	: 6.91
Lock to Lock Time	: 6.0
Sleeper Angle	: 37.1
Inside Camp Angle	: 40.0

LEGEND

- FRONT TIRES
- WHEEL TIRES
- VEHICLE BODY
- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- TOWNHOME (3-STORY)
- UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS



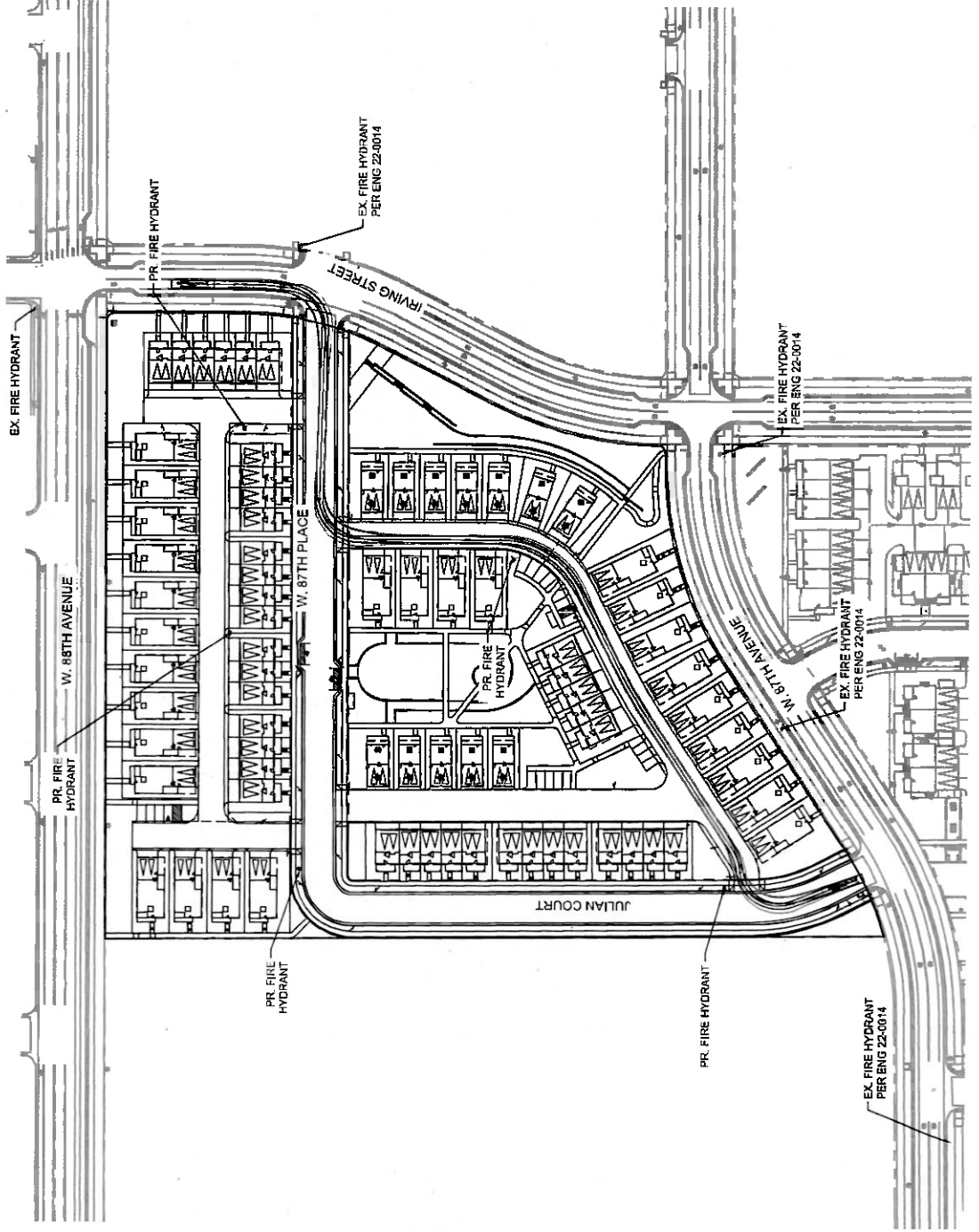
**UPLANDS**

DATE: 05.31.2024

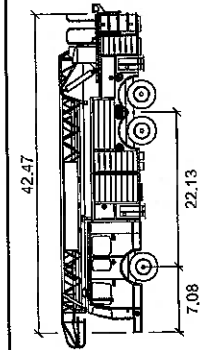
**UPLANDS FILING NO. 1**  
**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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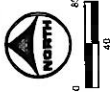
**39 OF 120**  
FIRE TRUCK TURNING MOVEMENT







OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 40 OF 120



### LEGEND

- FRONT TIRES
- WHEEL TIRES
- VEHICLE BODY
- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- △ TOWNHOME (3-STORY)
- ★ UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS



SONLANDS

05.31.2024

**DATE:**

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 10/27/2023		REVISIONS	
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FIRE TRUCK TURNING  
MOVEMENT

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 41 OF 120

WESTMINSTER STANDARD STATEMENTS

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPT THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. ROCK MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC. NO WEED FABRIC IS REQUIRED UNDER WOOD MULCH FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAN.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

LANDSCAPE MATERIAL SCHEDULE A(1)

CODE	DESCRIPTION	QTY	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
M-01	ROCK MULCH	59,930 SF	3/4" BRECKEN GOLD LANDSCAPE ROCK	PIONEER SAND OR APPROVED EQUAL	BRECKEN GOLD	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-03	CRUSHER FINES	4,529 SF	CRUSHER FINES	PIONEER SAND COMPANY OR APPROVED EQUAL	TAN OR APPROVED EQUAL	LESS THAN 3/8"	SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH.
M-05	PLAY SAFETY SURFACING	1,293 SF	ENGINEERED WOOD FIBER	RECREATION PLUS LTD. OR APPROVED EQUAL	NATURAL	SEE PLAN FOR DIMENSIONS	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-06	STEEL EDGING	1,511 LF	INTERLOCKING ROLLED TOP EDGER	RYERSON OR APPROVED EQUAL	BLACK	6" X 14" GAUGE	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-07	RETAINING WALL STONE		AB ASHLAR PATTERN WITH CAP	ALLAN BLOCK OR APPROVED EQUAL	TAN BLEND	8" X 12" D X 18" L	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-10	LANDSCAPE BOULDER - SIZE A	14	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-12	LANDSCAPE BOULDER - SIZE C	16	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-14	WOOD MULCH	8,100 SF	GORILLA HAIR CEDAR WOOD MULCH	PIONEER SAND OR APPROVED EQUAL	GORILLA HAIR CEDAR MULCH	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-15	SEATING BOULDER SIZE A	4	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL 74	SEE PLAN FOR LOCATION
M-16	SEATING BOULDER SIZE B	8	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL 74	SEE PLAN FOR LOCATION
M-17	ENHANCED CONCRETE - STANDARD GREY	3,101 SF	CONCRETE COLOR PIGMENT	DAVIS COLORS OR APPROVED EQUAL	STANDARD GREY / ACID ETCH FINISH	SCORING PER PLAN	MIX AND INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 5' X 5' X 6" MOCKUP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

UPLANDS

DATE:

05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
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LANDSCAPE NOTES



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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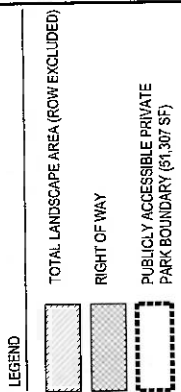
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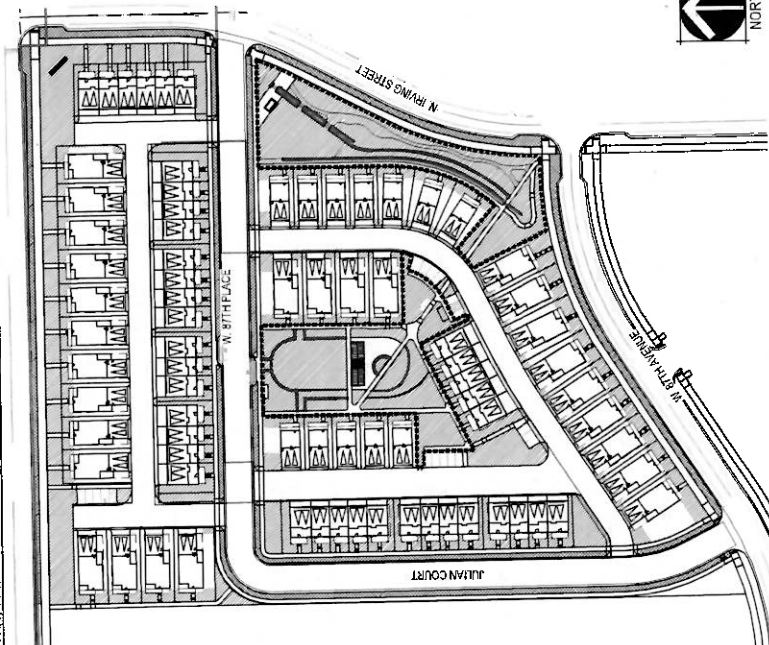
PUBLICLY ACCESSIBLE PRIVATE PARK (51,307 SF = 10.4%) (36,116 SF LANDSCAPE AREA)			
LANDSCAPE RATIO	# REQUIRED	# PROVIDED	
1 / 550 SF	66	73	
3 / 550 SF	197	350	

TOTAL COMMON AREA LANDSCAPE (COMMON AREA AND RIGHT-OF-WAY LANDSCAPE) (ON LOT EXCLUDED)		RIGHT-OF-WAY LANDSCAPE AREA (21,871 SF)		TOTAL LANDSCAPE AREA (ROW EXCLUDED)* (100,230 SF = 30.6%)	
LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
1 / 550 SF	149	196	1 / 550 SF	40	79
3 / 550 SF	460	1,032	3 / 550 SF	120	320

- NOTES:
- \*EXCLUDES PUD AND VIEW CORRIDOR AREAS, INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE, PARK AND ALL NON-ROW LANDSCAPE AREA.
  - \*\*INCLUDES REQUIRED 1 TREE AND 3 SHRUBS PER 550 SF FOR ALL FRONT YARD LANDSCAPES. PLEASE SEE LOT AND LANDSCAPE TYPICALS FOR CRITICAL PARAMETERS OF LANDSCAPE PLANS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PENDING FINAL PRODUCT CONFIGURATION.
  3. PROVIDED PLANT MATERIAL MEETS REQUIREMENTS FOR TOTAL COMMON AREA LANDSCAPE
  4. ALL LANDSCAPING SHOWN IN THE ROW, INCLUDING THE ROW ADJACENT TO THE PUD, SHALL BE MAINTAINED BY THE HOA.
  5. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH.



PA-A(1) TOTAL LANDSCAPE AREA EXHIBIT



LANDSCAPE QUANTITIES: HIGH WATER TURF AREA		
TOTAL LANDSCAPE AREA	MAX HIGH WATER TURF AREA (LESS THAN 20%)	PROVIDED HIGH WATER TURF AREA
100,230	< 20,046 SF	9,282 SF (9.3%)

SOIL AMENDMENT REQUIRED			
TOTAL LANDSCAPE AREA (EXCLUDING ROW)	X 5 YDS/1000 SF	501	CU. YDS.
RIGHT-OF-WAY AREA	X 5 YDS/1000 SF	109	CU. YDS.
TOTAL 122,101 SF		610	CU. YDS.

LANDSCAPE WATER BUDGET			
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL.)
HIGH	11.0	9,282	X 18 GAL = 167,076
MEDIUM	88.9	72,969	X 10 GAL = 729,690
LOW	0.0	0	X 3 GAL = 0
TOTAL ALL HYDROZONES:	100	82,251	TOTAL 896,766 GAL.
TOTAL GAL / TOTAL LANDSCAPED AREA =		10.9	GAL / SF
MEDIUM (PRIVATELY IRRIGATED AREA)*	100%	39,880	X 10 GAL = 398,800

NOTES:  
\*PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEETS 8 & 9 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.

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SITE AMENITY SCHEDULE

UPLANDS

DATE: 05.31.2024

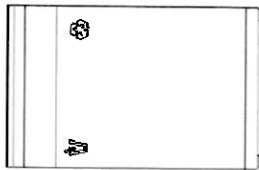
UPLANDS FILING NO. 1  
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LANDSCAPE SCHEDULES



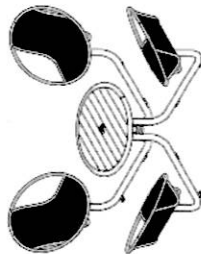
**S-01** DESCRIPTION: BIKE RACK  
MANUFACTURER: SITE PIECES  
MODEL: MONOLINE DUO BIKE RACK  
OR APPROVED EQUAL  
COLOR / FINISH: CAMPERE  
EMBERS POWDER COAT  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



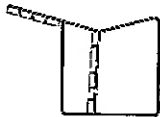
**S-02** DESCRIPTION: COMMON AREA  
LITTER RECEPTACLE  
MANUFACTURER: SITE PIECES  
MODEL: MONOLINE EDGE LITTER BIN  
OR APPROVED EQUAL  
COLOR / FINISH: MIDNIGHT POWDER COAT  
EXTERIOR: CAMPERE EMBERS SYMBOLS  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



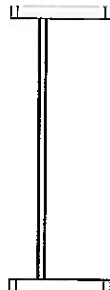
**S-03** DESCRIPTION: PET WASTE  
STATION  
MANUFACTURER: BARCOPRODUCTS.COM  
MODEL: HEADER BAG PET WASTE STATION  
OR APPROVED EQUAL  
COLOR / FINISH: BROWN OR APPROVED  
EQUAL  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



**S-04** DESCRIPTION: 4 TOP TABLE  
MANUFACTURER: LANDSCAPE FORMS  
MODEL: 4 SEATS HOOP OR APPROVED EQUAL  
COLOR / FINISH: WHITE FRAME, STEELHEAD  
WOOD TABLE TOP, HOOP SEAT, CASUAL  
HEIGHT  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



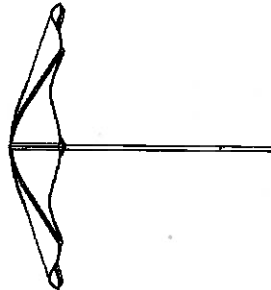
**S-05** DESCRIPTION: BACKED BENCH  
MANUFACTURER: SITE PIECES  
MODEL: MONOLINE BACKED BENCH  
#ML-BENCH-72 OR APPROVED EQUAL  
COLOR / FINISH: DARK CHERRY ALUMINUM  
SLATS / MIDNIGHT POWDER COAT FINISH  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



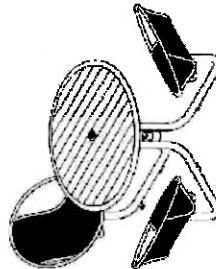
**S-06** DESCRIPTION: BACKLESS BENCH  
MANUFACTURER: SITE PIECES  
MODEL: MONOLINE FLAT BENCH  
#ML-FLAT-72 OR APPROVED EQUAL  
COLOR / FINISH: DARK CHERRY ALUMINUM  
SLATS / MIDNIGHT POWDER COAT FINISH  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



**S-08** DESCRIPTION: FARM TABLE  
MANUFACTURER: SITE PIECES  
MODEL: MONOLINE COMMUNITY TABLE OR  
APPROVED EQUAL  
COLOR / FINISH: DARK CHERRY ALUMINUM  
SLATS / MIDNIGHT POWDER COAT FINISH  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



**S-10** DESCRIPTION: UMBRELLA  
MANUFACTURER: LANDSCAPE FORMS  
MODEL: GYGEN SOL-STICE UMBRELLA OR  
APPROVED EQUAL  
COLOR / FINISH: BUTTERCUP  
POWDER COATED METAL  
NOTES: SECURE TO TABLE PER  
MANUFACTURER'S SPECIFICATIONS. NO  
SURFACE MOUNT STAND REQUIRED.



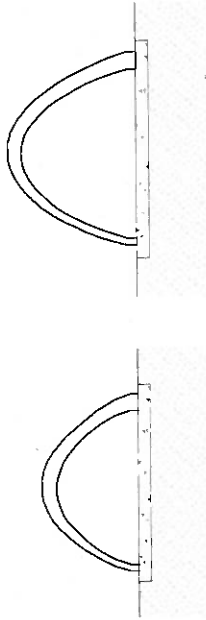
**S-11** DESCRIPTION: 3 TOP TABLE  
MANUFACTURER: LANDSCAPE FORMS  
MODEL: 3 SEATS CAROUSEL, HOOP OR  
APPROVED EQUAL  
COLOR / FINISH: LOUL NAVY BLUE FRAME,  
THERMALLY MODIFIED ASH WOODEN  
TABLE TOP, HOOP SEAT  
NOTES: SURFACE MOUNT PER  
MANUFACTURER'S SPECIFICATIONS.



**S-37** DESCRIPTION: SUNRISE VINE  
MANUFACTURER: ID SCULPTURE  
MODEL: AP024 OR APPROVED EQUAL  
COLOR / FINISH: NATURAL WOOD / VINE  
NOTES: INSTALL PER MANUFACTURER'S  
SPECIFICATIONS.

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SITE AMENITY SCHEDULE



**S-39** DESCRIPTION: GRASS BLADE SMALL  
MANUFACTURER: ID SCULPTURE  
MODEL: SC018 OR APPROVED EQUAL  
COLOR / FINISH: GREEN  
NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**S-38** DESCRIPTION: GRASS BLADE LARGE  
MANUFACTURER: ID SCULPTURE  
MODEL: SC018 OR APPROVED EQUAL  
COLOR / FINISH: GREEN  
NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS.



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LANDSCAPE SCHEDULES

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

DATE:

05.31.2024

UPLANDS

**NORRIS  
DESIGN**  
LANDSCAPE ARCHITECTS  
10000 E. 10TH AVE.  
DENVER, CO 80231  
TEL: 303.751.1111  
WWW.NORRISDESIGN.COM





# UPLANDS

DATE: 05.31.2024

## UPLANDS FILING NO. 1 BLOCK 1 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

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LANDSCAPE SCHEDULES

### OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 1 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 45 OF 120

#### PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
<b>DECIDUOUS TREES</b>								
ACPS	15	ACER PSEUDOPLATANUS	SYCAMORE MAPLE	B & B	2" CAL	MOD	40'-50'	30'-40'
CA SP	8	ACER SPECIOSA	NORTHERN CATALPA	B & B	2" CAL	LOW	40'-50'	25'-30'
CEOC	11	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL	VERY LOW	50'-60'	30'-40'
GYDI	9	GYMNOCALYPS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	3" CAL	VERY LOW	40'-50'	30'-40'
QUJA	12	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL	VERY LOW	50'-60'	40'-60'
QU MU	10	QUERCUS MUENCHENBERGII	CHINKAPIN OAK	B & B	2" CAL	LOW	40'-50'	40'-60'
UL PR	14	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3" CAL	MOD	50'-60'	40'-60'
UL MG	10	ULMUS X MORTON GLOSSY TM	TRIUMPH ELM	B & B	2" CAL	MOD	40'-50'	30'-40'
<b>EVERGREEN TREES</b>								
JU SP	10	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6" HEIGHT	LOW	15'-20'	4'-6"
JN ME	12	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	6" HEIGHT	VERY LOW	15'-20'	4'-6"
JN ME	7	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	8" HT.	VERY LOW	15'-20'	4'-6"
JU SK	10	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	B & B	6" HEIGHT	LOW	15'-20'	4'-6"
PI FU	4	PICEA PUNGENS	COLORADO SPRUCE	B & B	6" HEIGHT	VERY LOW	60'-80'	25'-30'
PI FA	8	PICEA PUNGENS 'FASTIGIATA'	FASTIGIATE COLORADO SPRUCE	B & B	6" HEIGHT	MOD	20'-25'	4'-6"
PI ED	5	PINUS EDULIS	PINON PINE	B & B	6" HT.	VERY LOW	20'-25'	10'-15'
PI ME	3	PINUS MUEHLERII	BOSNIAN PINE	B & B	6" HEIGHT	MOD	25'-30'	10'-15'
<b>ORNAMENTAL TREES</b>								
AM AB	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6" CLUMP	MOD	20'-25'	15'-20'
CR IN	4	CRATAEGUS CRUS GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	B & B	2" CAL	LOW	20'-25'	15'-20'
KO PA	16	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	B & B	2" CAL	VERY LOW	25'-30'	25'-30'
MA SS	11	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2" CAL	LOW	20'-25'	20'-25'
MA TH	6	MALUS X 'THUNDERCHILD'	THUNDERCHILD CRAB APPLE	B & B	2" CAL	LOW	15'-20'	10'-15'
PY CA	7	PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	B & B	2" CAL	MOD	25'-30'	15'-20'
<b>DECIDUOUS SHRUBS</b>								
BETA	15	BERBERIS X TAVARA	EMERALD CAROUSEL BARBERRY	CONT.	#5	LOW	5'-6"	5'-6"
BUDA	4	RUDOLPHIA DAVID	BUTTERFLY BUSH	CONT.	#5	LOW	5'-6"	4'-5"
CABM	12	CARYOPTERIS X CLANDONENSIS BLUE MIST	BLUE MIST BLUEBEARD	CONT.	#5	LOW	2'-3"	2'-3"
CH MI	38	CHAMAEBATARIA MILLEFOLIUM	FERNBUSH	CONT.	#5	VERY LOW	4'-5"	5'-6"
CH MN	3	CHRYSOTHAMNUS NAUSEOSUS	BABY BLUE RABBITBRUSH	CONT.	#5	LOW	2'-3"	5'-6"
CO IS	19	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	CONT.	#5	MOD	4'-5"	5'-6"
CO KE	7	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	CONT.	#5	MOD	2'-3"	2'-3"
ER NA	30	ERICAMERIA NAUSEOSA	RUBBER RABBITBRUSH	CONT.	#5	VERY LOW	5'-6"	4'-5"
ER AI	84	ERICAMERIA NAUSEOSA NAUSEOSA	DWARF BLUE RABBITBRUSH	CONT.	#5	VERY LOW	2'-3"	2'-3"
EU CO	28	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	MOD	5'-6"	5'-6"
FA FA	6	FALLUGIA PARADOXA	APACHE PLUME	CONT.	#5	VERY LOW	5'-6"	5'-6"
FO AR	6	FORSYTHIA X 'ARNOLD'S DWARF'	ARNOLD'S DWARF FORSYTHIA	CONT.	#5	LOW	2'-3"	5'-6"
FO SP	11	FORSYTHIA X 'INTERMEDIA' SPRING GLORY	SPRING GLORY FORSYTHIA	CONT.	#5	LOW	7'-8"	4'-5"
PE AT	171	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	#5	VERY LOW	3'-4"	3'-4"
PE LS	20	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	#5	VERY LOW	2'-3"	2'-3"
PH SE	14	PHYSOCARPUS OPULIFOLIUS 'SEWARD' TM	SEWARD NINEBARK	CONT.	#5	MOD	4'-5"	3'-4"
PO DR	21	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3"	2'-3"
PO MC	78	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3"	2'-3"
PR BS	13	PRUNUS BESSEYI	WESTERN SAND CHERRY	CONT.	#5	VERY LOW	5'-6"	5'-6"
PR PB	82	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	CONT.	#5	VERY LOW	5'-6"	5'-6"
RH GR	43	RHUS AROMATICA 'GROLOW'	GROLOW FRAGRANT SUMAC	CONT.	#5	LOW	2'-3"	7'-8"
RH AU	1	RHUS TRILOBATA	AUTUMN AMBER SUMAC	CONT.	#5	VERY LOW	1'-2"	7'-8"
RI OD	17	RIBES ODORATUM	GOLDEN CURRANT	CONT.	#5	LOW	5'-6"	5'-6"
RO DO	9	ROSA X 'DOUBLE KNOCKOUT'	DOUBLE KNOCKOUT ROSE	CONT.	#5	MOD	3'-4"	3'-4"
RO FL	87	ROSA X 'FLOWER CARPET CORAL'	CORAL FLOWER CARPET ROSE	CONT.	#5	MOD	2'-3"	3'-4"
RO NW	19	ROSA X 'NEARLY WILD'	NEARLY WILD FLORIBUNDA ROSE	CONT.	#5	LOW	2'-3"	2'-3"
SP BR	3	SPRAEAE PRUNIFOLIA 'BRIDAL WREATH'	BRIDAL WREATH SPIREA	CONT.	#5	MOD	5'-6"	5'-6"
SY MI	21	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	CONT.	#5	VERY LOW	4'-5"	4'-5"
VICA	7	VIBURNUM CARLESI	KOREANSPICE VIBURNUM	CONT.	#5	MOD	5'-6"	7'-8"



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SHEET 47 OF 120



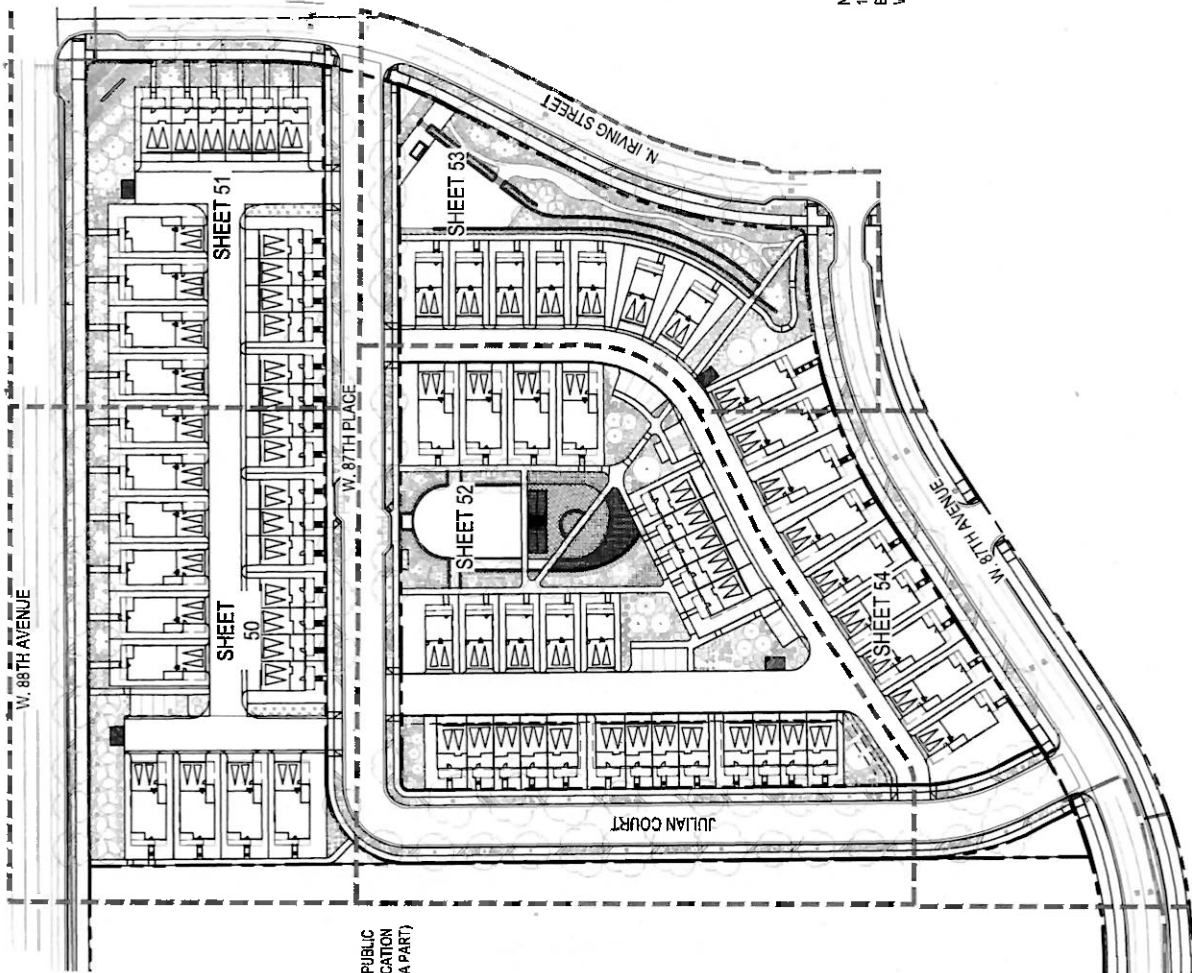
**UPLANDS**

DATE: 05.31.2024

**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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**47 OF 120**  
OVERALL LANDSCAPE  
PLAN



**LEGEND**

- SHOW STORAGE LOCATIONS
- MATCH LINE
- PROPERTY LINE

NOTE:  
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH



SCALE: 1" = 70'  
NORTH

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 48 OF 120

**NORRIS**  
**DESIGN**  
1700 S. W. 10TH AVE.  
SUITE 100  
WESTMINSTER, CO 80057  
781.388.1100  
WWW.NORRISDESIGN.COM

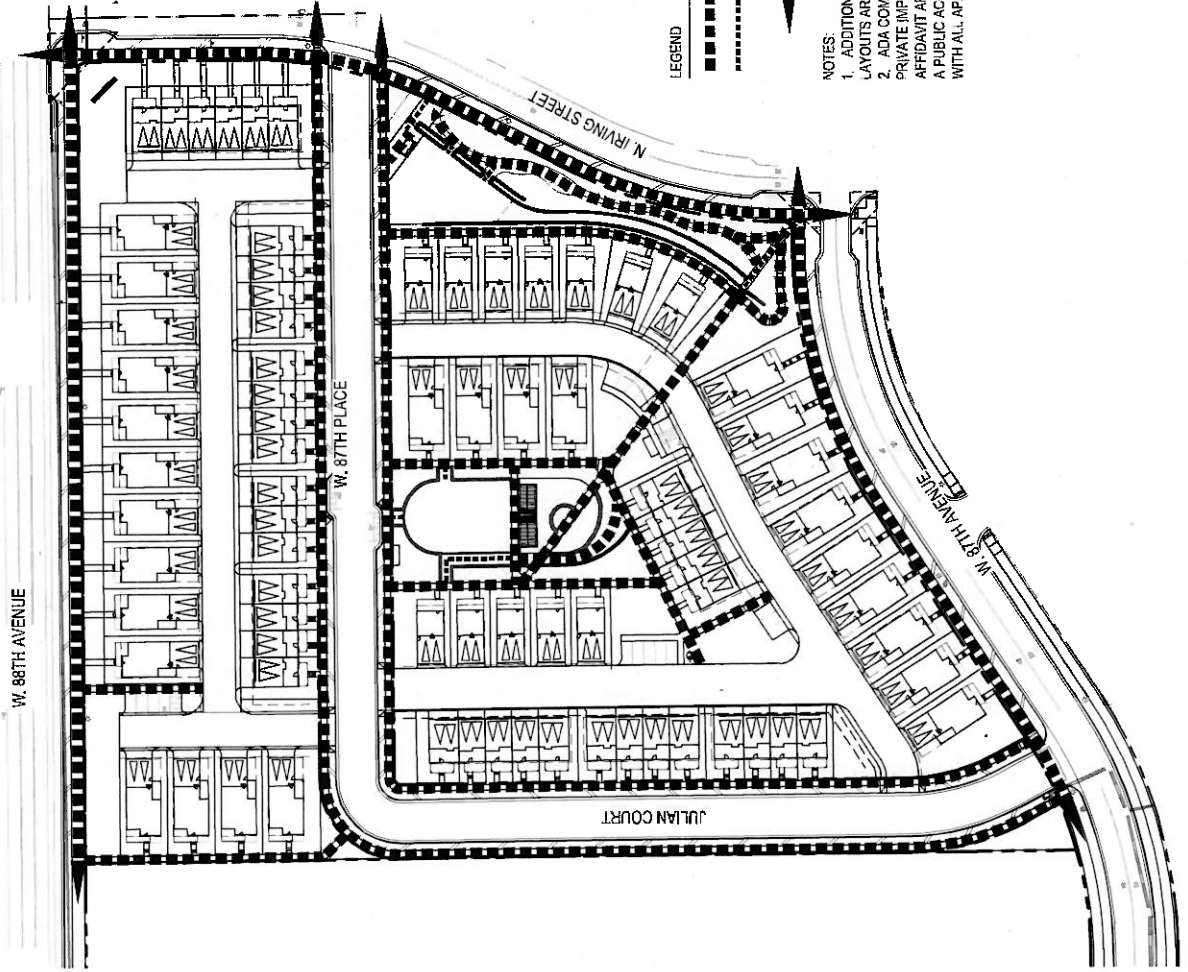
**UPLANDS**

DATE: 05.31.2024

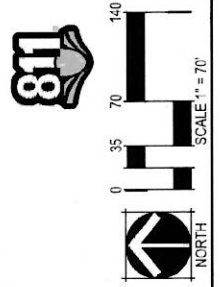
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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PEDESTRIAN CIRCULATION  
PLAN



NOTES:  
1. ADDITIONAL CROSSINGS MAY BE PROVIDED ONCE ADJACENT NEIGHBORHOOD LAYOUTS ARE DETERMINED TO PROMOTE SAFE PEDESTRIAN CROSSING.  
2. ADA COMPLIANCE: PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE ADA REGULATIONS.



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UPLANDS FILING NO. 1  
BLOCK 1  
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WESTMINSTER, COLORADO

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HYDROZONE PLAN

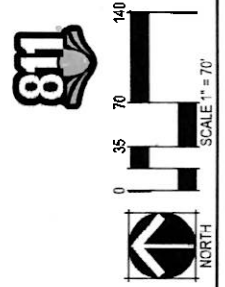
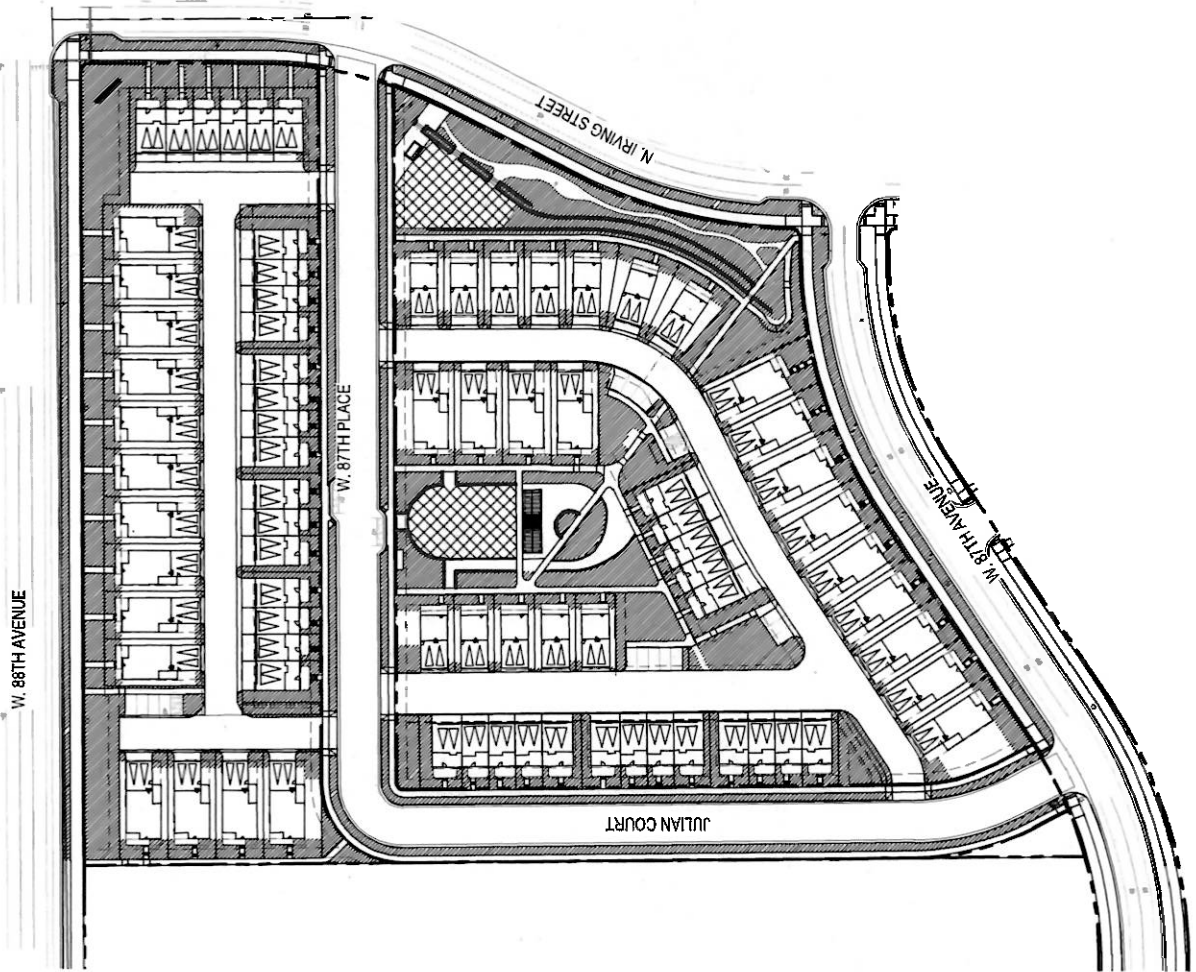
LEGEND

Moderate Water Use  
High Water Use  
Property Line

NOTES:  
1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.  
2. TOTAL LANDSCAPE AREA EXCLUDES SFD LOTS.  
3. ALL IRRIGATION USES A POTABLE WATER SOURCE.  
4. ROCK MULCH AS SPECIFIED IN MATERIALS SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES EXCEPT WHERE NOTED.  
5. HOSE BIBS WILL BE PROVIDED FOR INDIVIDUAL HOMEOWNER USE ON ALL SFD AND PAIRED HOMES.

NOTES:  
\* PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEET 8 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA

LANDSCAPE WATER BUDGET				
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)	
HIGH	11.0	9,282	X 18 GAL =	167,076
MEDIUM	88.9	72,968	X 10 GAL =	729,680
LOW	0.0	0	X 3 GAL =	0
TOTAL ALL HYDROZONES:	100	82,251	TOTAL	896,766
TOTAL GAL / TOTAL LANDSCAPED AREA =			10.9	GAL / SF
MEDIUM (PRIVATELY IRRIGATED AREA)	100%	39,680	X 10 GAL =	396,800





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SHEET 50 OF 120



UPLANDS

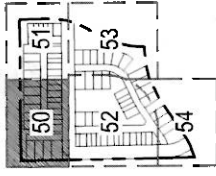
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

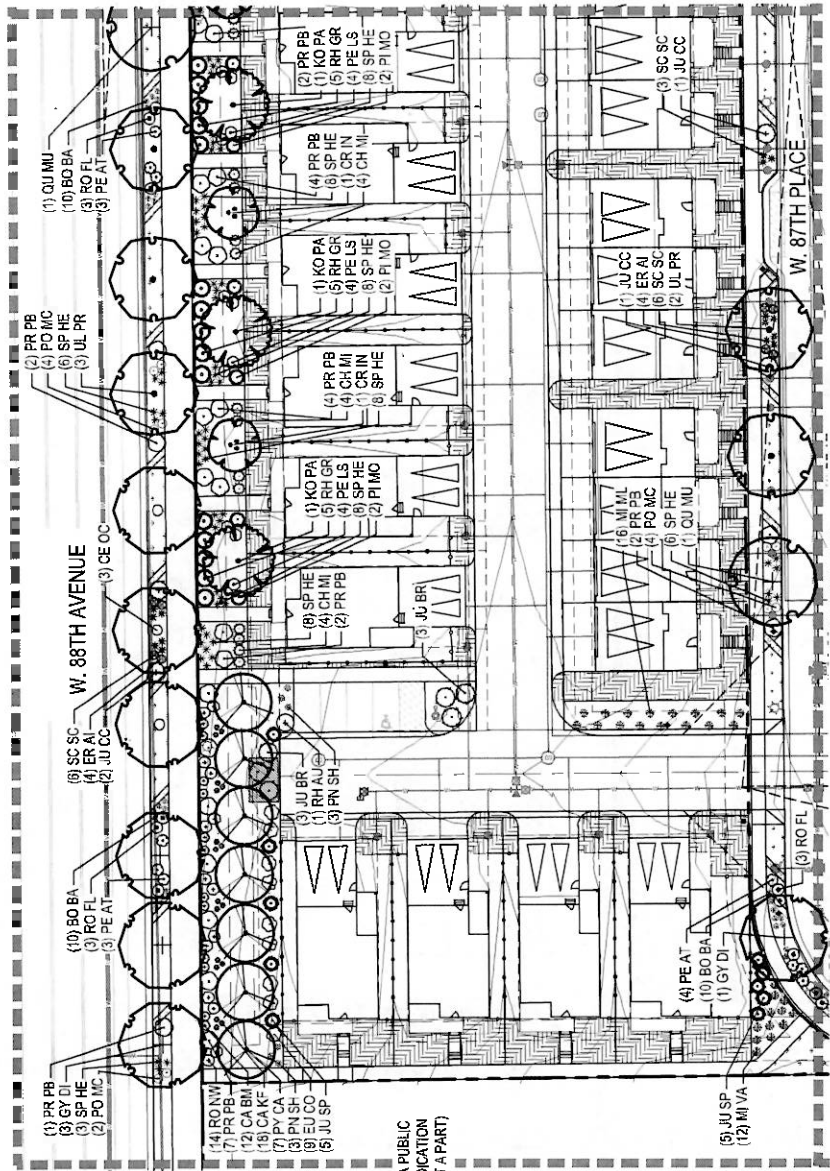
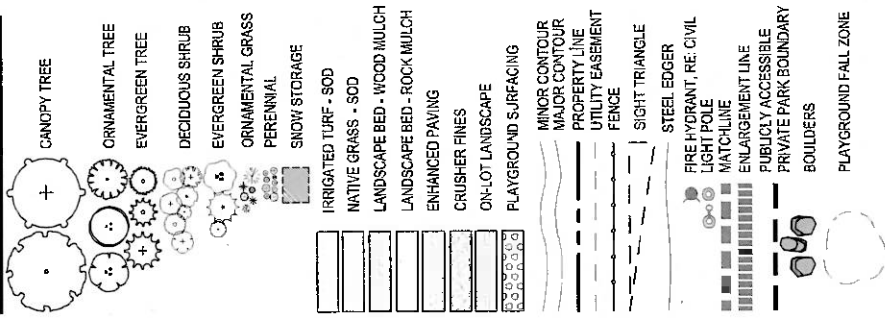
OFFICIAL DEVELOPMENT PLAN
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LANDSCAPE PLAN

KEY MAP PA-A(1)

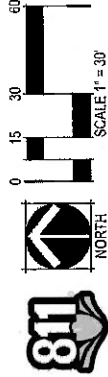


LEGEND



OUTLOT A PUBLIC  
LAND DEDICATION  
(P.L.D.) (NOT A PART)

NOTE:  
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS  
WOOD MULCH



OFFICIAL DEVELOPMENT PLAN  
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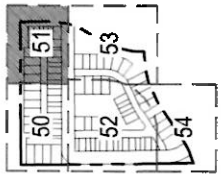
UPLANDS  
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

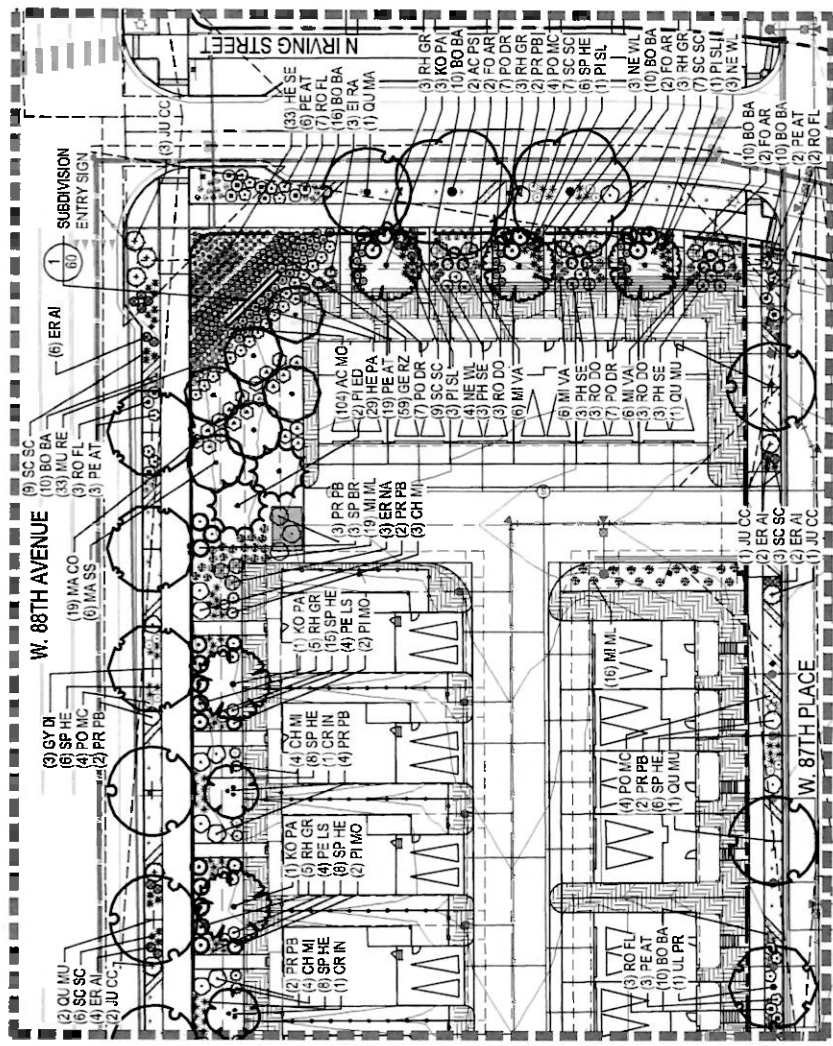
OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
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LANDSCAPE PLAN

KEY MAP PA-A(1)



- LEGEND
- CANOPY TREE
  - ORNAMENTAL TREE
  - EVERGREEN TREE
  - DECIDUOUS SHRUB
  - EVERGREEN SHRUB
  - ORNAMENTAL GRASS
  - PERENNIAL
  - SNOW STORAGE
  - IRRIGATED TURF - SOD
  - NATIVE GRASS - SOD
  - LANDSCAPE BED - WOOD MULCH
  - LANDSCAPE BED - ROCK MULCH
  - ENHANCED PAVING
  - CRUSHER FINES
  - ON-LOT LANDSCAPE
  - PLAYGROUND SURFACING
  - MINOR CONTOUR
  - MAJOR CONTOUR
  - PROPERTY LINE
  - UTILITY EASEMENT
  - FENCE
  - SIGHT TRIANGLE
  - STEEL EDGER
  - FIRE HYDRANT, RE. CIVIL
  - LIGHT POLE
  - WATCHLINE
  - ENLARGEMENT LINE
  - PUBLICLY ACCESSIBLE
  - PRIVATE PARK BOUNDARY
  - BOULDERS
  - PLAYGROUND FALL ZONE



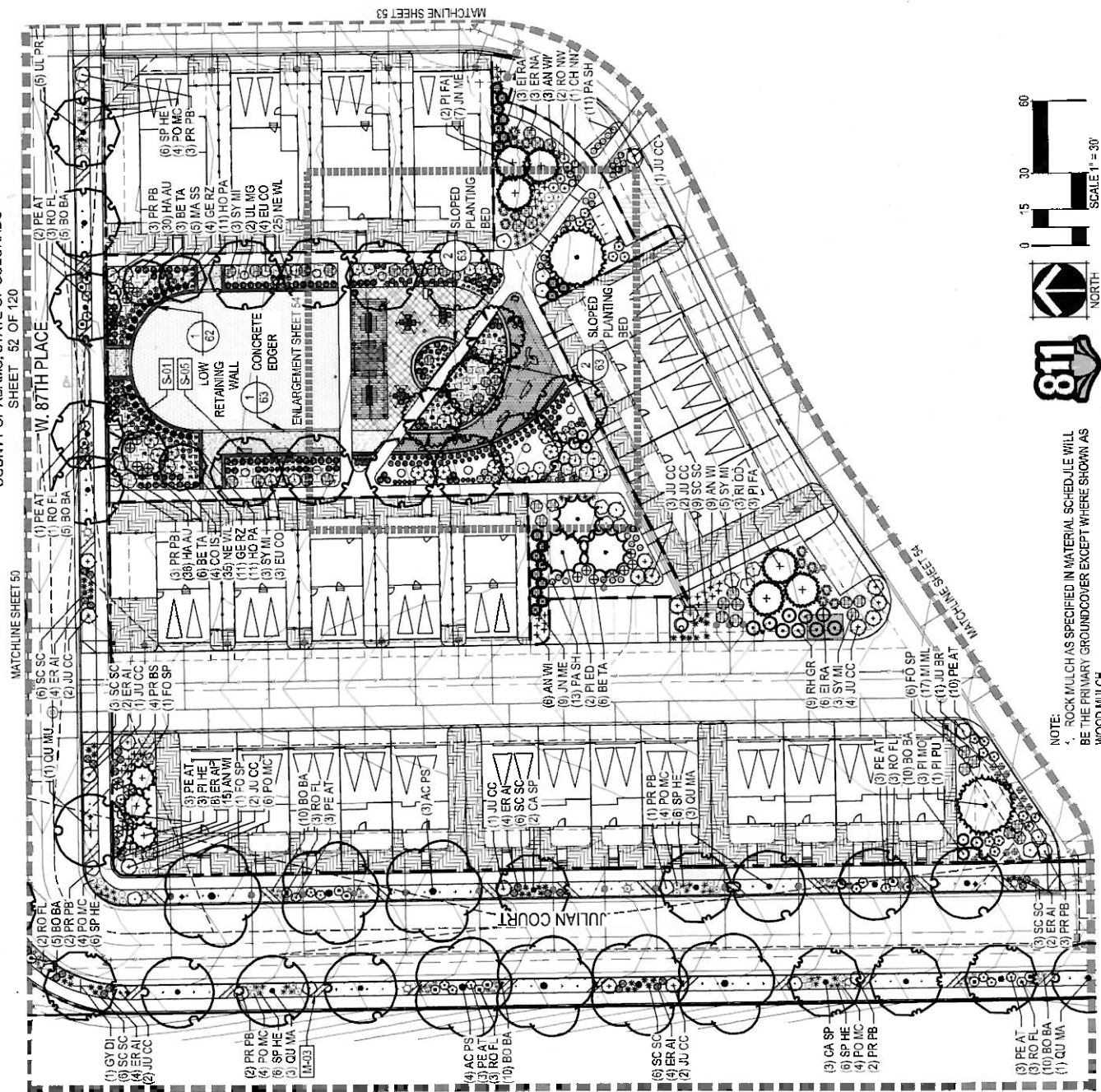
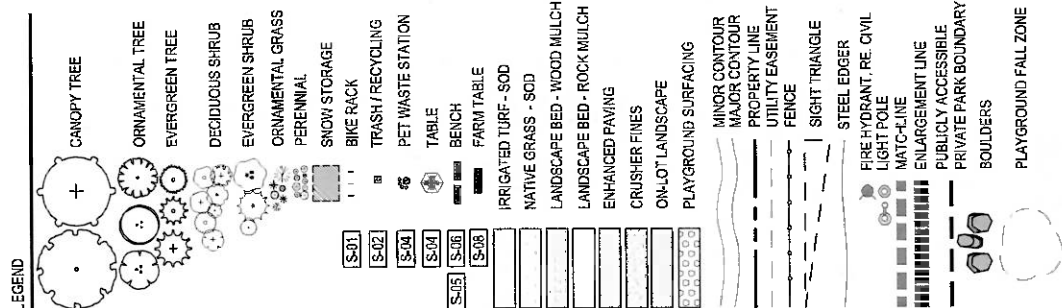
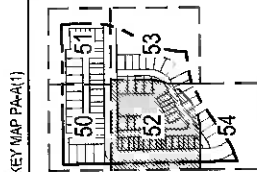
MATCHLINE SHEET 50

MATCHLINE SHEET 53



NOTE:  
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS  
WOOD MULCH

OFFICIAL DEVELOPMENT PLAN  
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NOTE: ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH

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DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
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WESTMINSTER, COLORADO

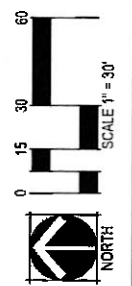
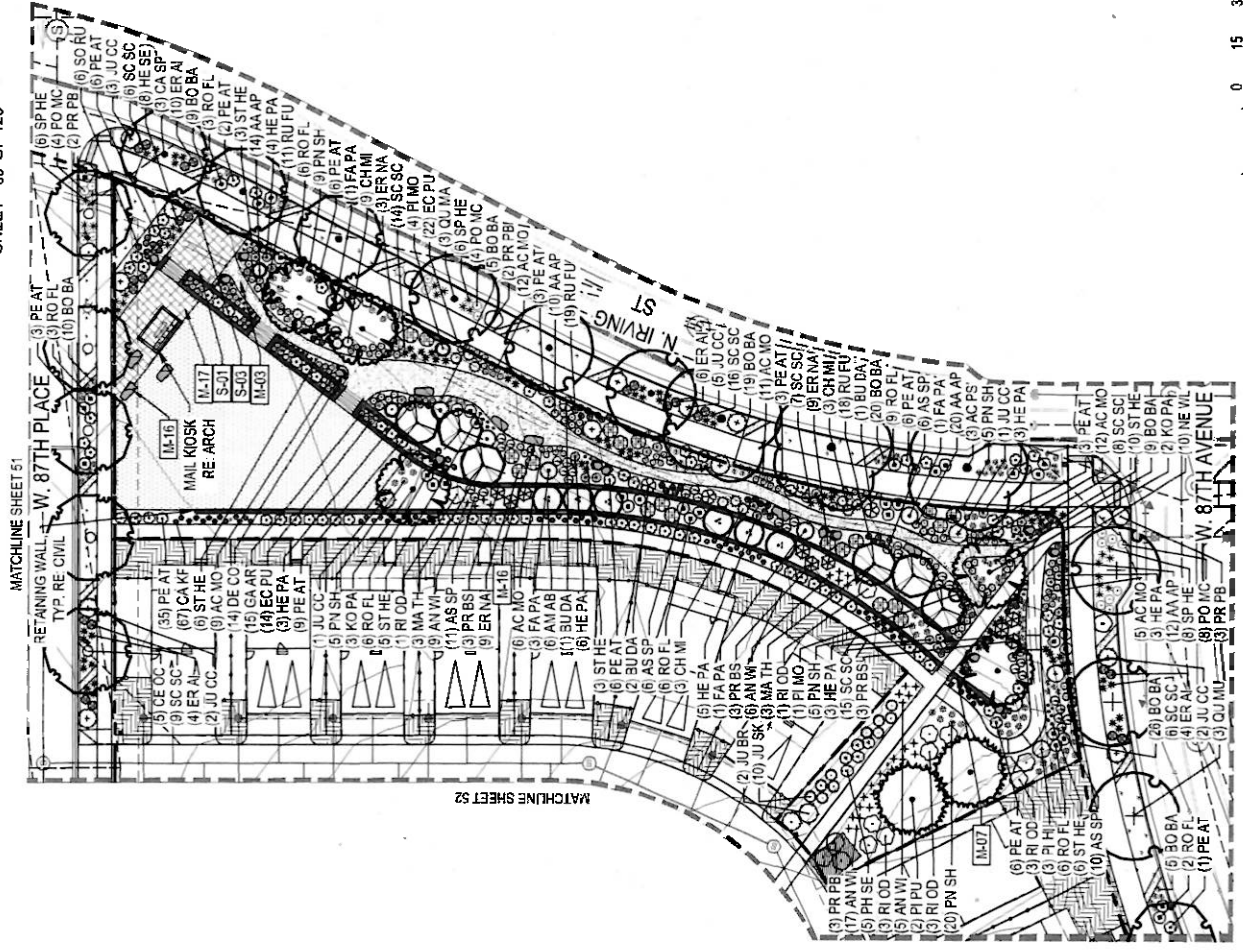
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
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PREPARED: 10.27.2023
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LANDSCAPE PLAN

KEY MAP PA-A(1)

LEGEND

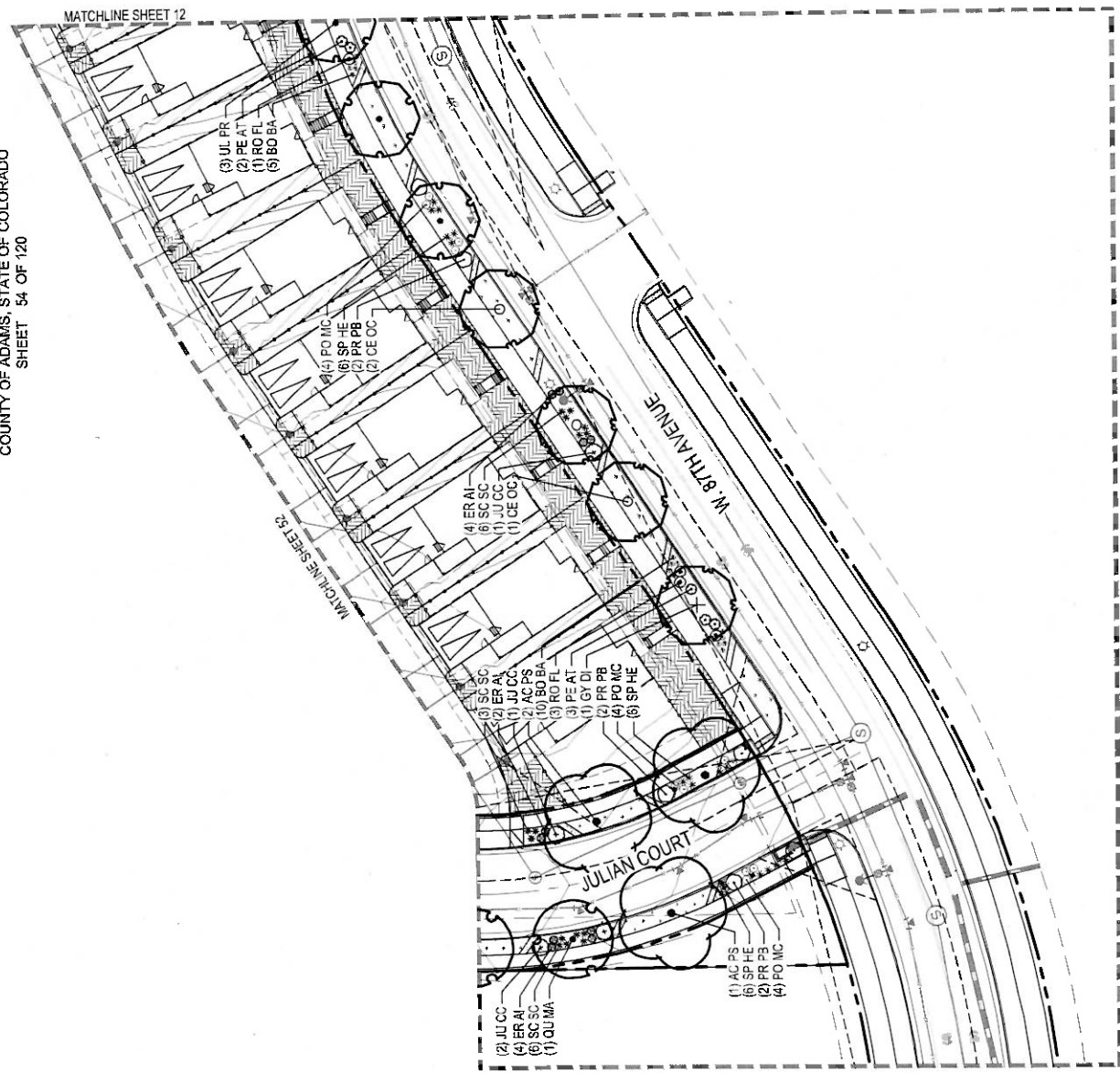
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- PET WASTE STATION
- SEATING BOULDER B
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- LANDSCAPE BED - WOOD MULCH
- LANDSCAPE BED - ROCK MULCH
- ENHANCED PAVING
- CRUSHER FINES
- ON-LOT LANDSCAPE
- PLAYGROUND SURFACING
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- FIRE HYDRANT, RE. CIVIL
- LIGHT POLE
- MATCHLINE
- ENLARGEMENT LINE
- PUBLICLY ACCESSIBLE
- PRIVATE PARK BOUNDARY
- BOULDERS
- PLAYGROUND FALL ZONE



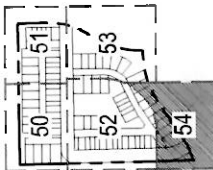
NOTE:  
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS  
WOOD MULCH



OFFICIAL DEVELOPMENT PLAN  
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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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KEY MAP P4-A(1)



- LEGEND
- CANOPY TREE
  - ORNAMENTAL TREE
  - EVERGREEN TREE
  - DECIDUOUS SHRUB
  - EVERGREEN SHRUB
  - ORNAMENTAL GRASS
  - PERENNIAL
  - SNOW STORAGE
  - IRRIGATED TURF - SOD
  - NATIVE GRASS - SOD
  - LANDSCAPE BED - WOOD MULCH
  - LANDSCAPE BED - ROCK MULCH
  - ENHANCED PAVING
  - CRUSHER FINES
  - ON-LOT LANDSCAPE
  - PLAYGROUND SURFACING
  - MINOR CONTOUR
  - MAJOR CONTOUR
  - PROPERTY LINE
  - UTILITY EASEMENT
  - FENCE
  - SIGHT TRIANGLE
  - STEEL EDGER
  - FIRE HYDRANT, RE. CIVIL
  - LIGHT POLE
  - MATCHLINE
  - ENLARGEMENT LINE
  - PUBLICLY ACCESSIBLE
  - PRIVATE PARK BOUNDARY
  - BOULDERS
  - PLAYGROUND FALL ZONE

UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023

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SUB 01: 10.27.2023
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SUB 04: 05.31.2024

NOTE:  
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS  
WOOD MULCH

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
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**NORRIS DESIGN**  
LANDSCAPE ARCHITECTS  
1415 W. 10TH AVE. SUITE 100  
DENVER, CO 80202  
(303) 733-1111  
www.norrisdesign.com

**UPLANDS**

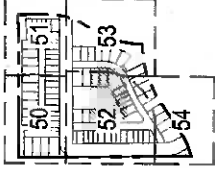
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**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

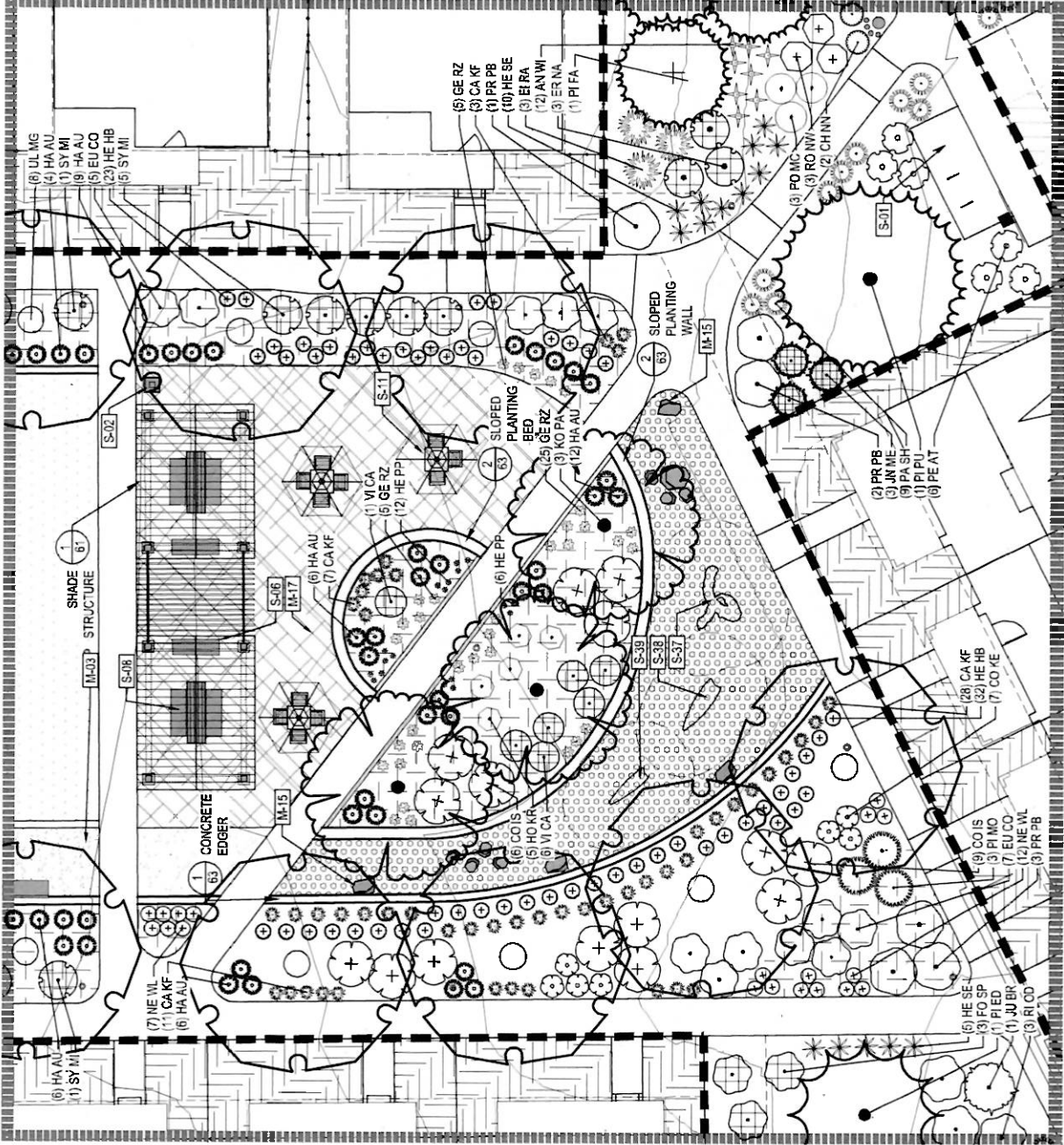
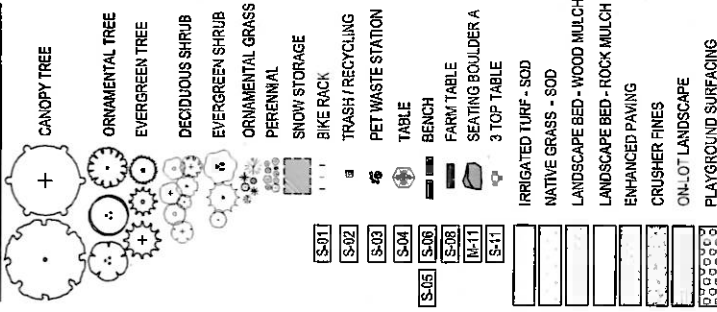
OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
**REVISIONS**  
SUB 01: 10.27.2023  
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LANDSCAPE  
ENLARGEMENT

KEY MAP PAA-1(1)



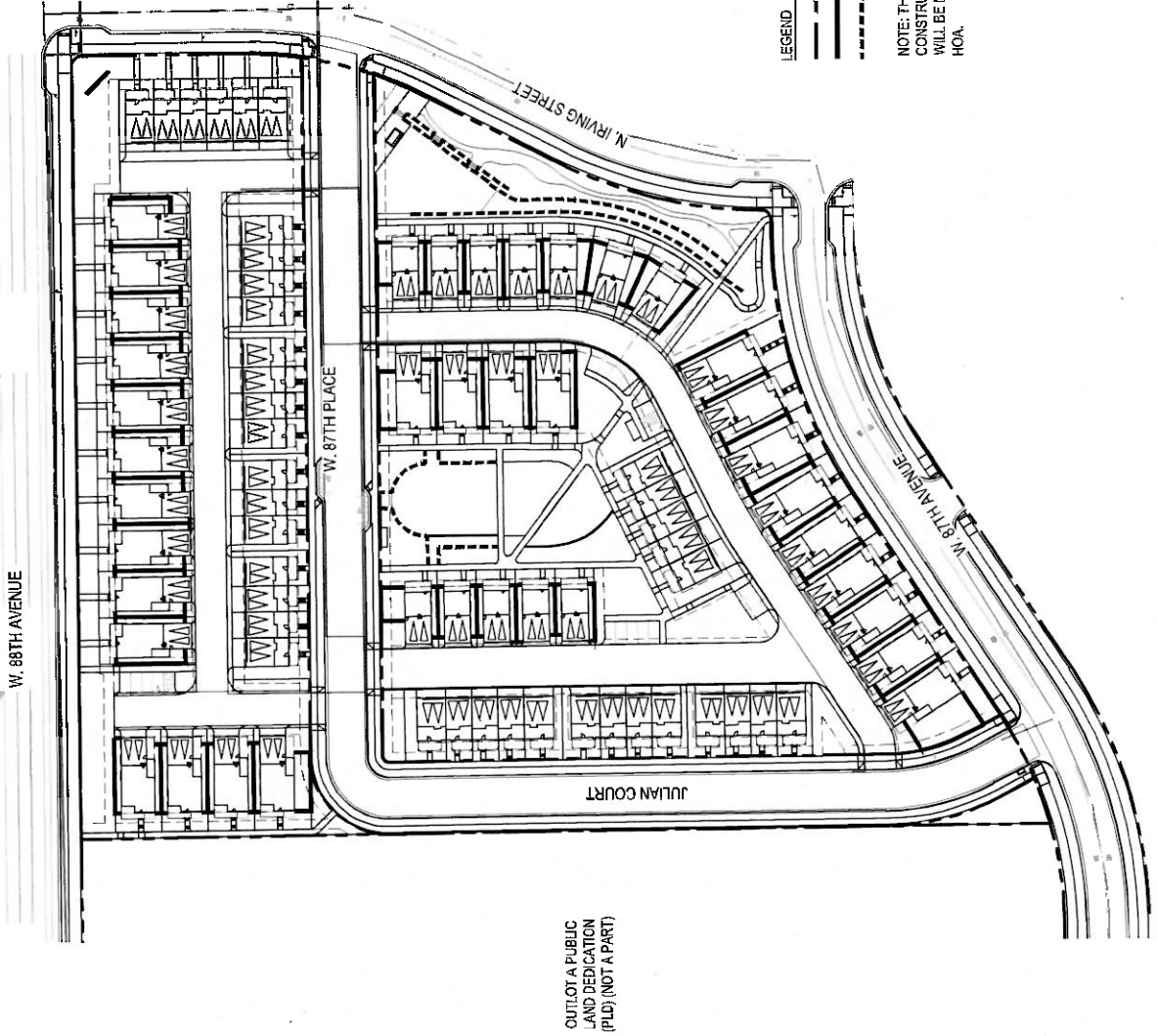
LEGEND



NOTE  
1: ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS  
WOOD MULCH



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
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IN THE CITY OF WESTMINSTER  
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OUTLOT A PUBLIC  
LAND DEDICATION  
(PLD) (NOT A PART)

LEGEND

- SITE BOUNDARY
- 8' PRIVACY FENCE (SEE DETAIL 1, SHEET 59)
- RETAINING WALLS, RE CIVIL GRADING SHEETS FOR HEIGHTS & CIVIL SHEET 18 FOR DETAIL
- NOTE: THE COMMON LOT FENCE WILL BE CONSTRUCTED BY THE HOME BUILDER AND WILL BE MAINTAINED / REPLACED BY THE HOA.



0 35 70 140  
SCALE: 1" = 70'  
NORTH

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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FENCING PLAN

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WESTMINSTER, COLORADO

DATE:

05.31.2024

UPLANDS

**NORRIS**  
**DESIGN**  
ARCHITECTS  
1000 PARK AVENUE, SUITE 100  
DENVER, CO 80202  
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WWW.NORRISDESIGN.COM

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 57 OF 120

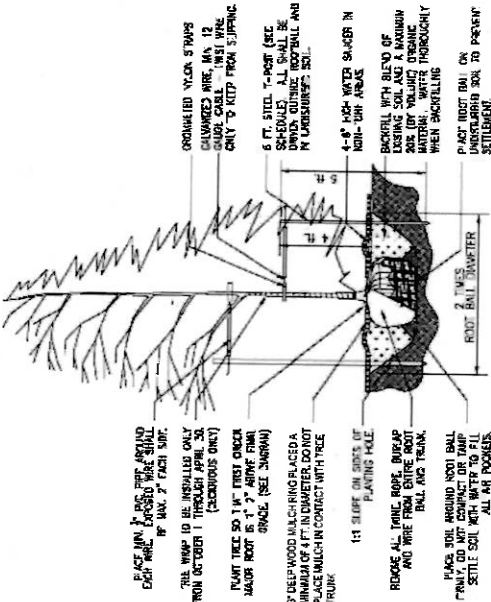
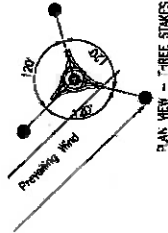
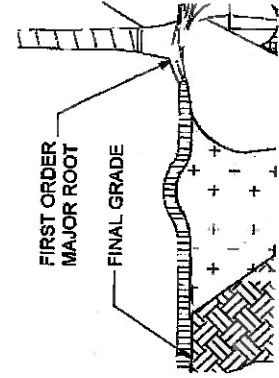
**NORRIS DESIGN**  
 1800 S. W. 10TH AVE.  
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 WESTMINSTER, CO 80057  
 303.426.1100  
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**UPLANDS**  
 DATE: 05.31.2024

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**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

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SUB 02: 02.29.2024	
SUB 03: 04.26.2024	
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 LANDSCAPE DETAILS



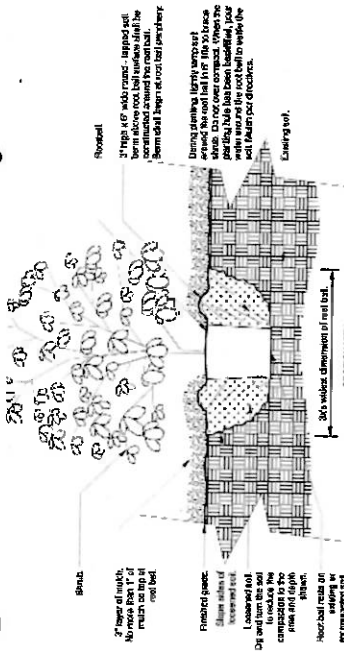
**STAKING NOTES:**

STAKE TREES PER FOLLOWING SCHEDULE. 1" IN REMOTE AT END OF FIRST GROWING SEASON FOLLOWS:  
 1" 3" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAL NO WIND (TYPICALLY N.W. SIDE)  
 ONE 3" 3" CALIPER SIZE - W.N. 2 STAKES - ONE ON N.W. S.E.  
 3" CALIPER SIZE AND JAWER - 3 STAKES PER QUADRAM  
 WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TENSION MOVEMENT. LEADER STAKES SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH AND BURY ALL BRANCHES FROM WIND.

**PLANTING NOTES:**

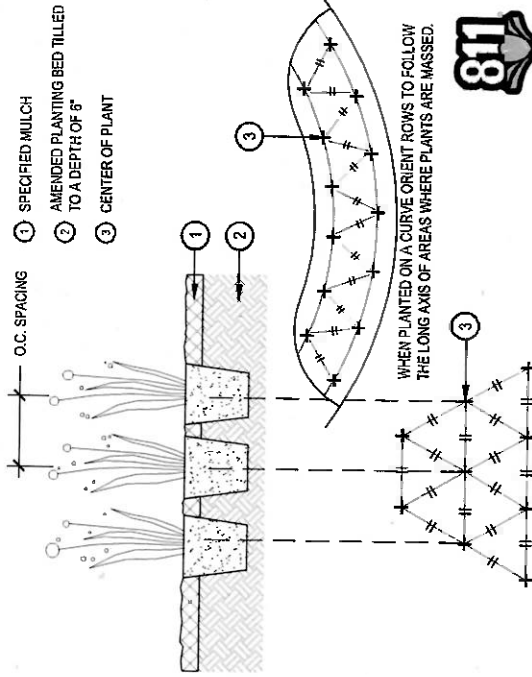
ALL PRUNING SHALL COMPLY WITH AND ASS SHOWN:  
 DO NOT PRUNE YOUNG TREES  
 AT PLANTING. PRUNE ONLY CROSSOVER LINES, CO-DOMINANT BRANCHES, BRANCHES THAT ARE STAKE INTERFERING BRANCHES. LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUD OF BRANCHES. BRANCHES SHOULD BE PRUNED TO THE EDGE OF THE CROWN.

**1 TREE PLANTING DETAIL**  
 NOT TO SCALE



**2 SHRUB PLANTING DETAIL**

NOTES:  
 1. Shrub and tree of quality per ANSI Standards 2.83.  
 2. Shrub and tree firm planting hole just has been previously modified to meet City requirements.



**3 PERENNIAL PLANT LAYOUT**

WESTMINSTER

SCALE 1" = 1'-0"

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UPLANDS

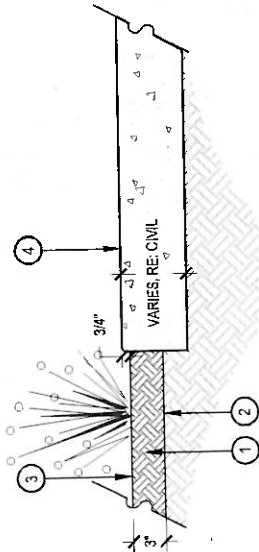
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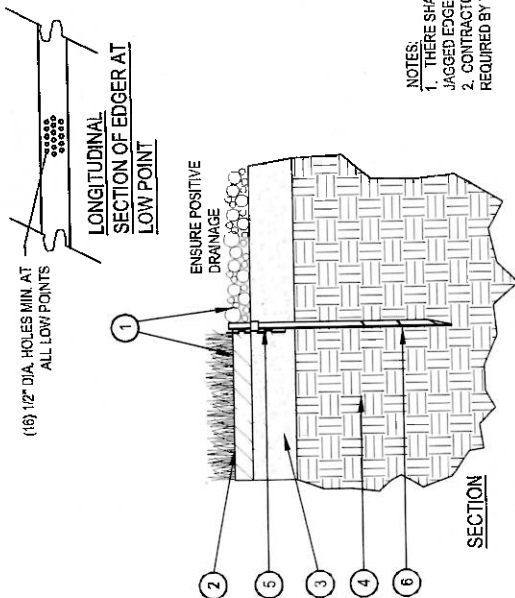
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LANDSCAPE DETAILS

1. SPECIFIED LANDSCAPE MULCH
2. FINISHED SOIL GRADE
3. FINISHED GRADE
4. CONCRETE FLATWORK, RE. CIVIL



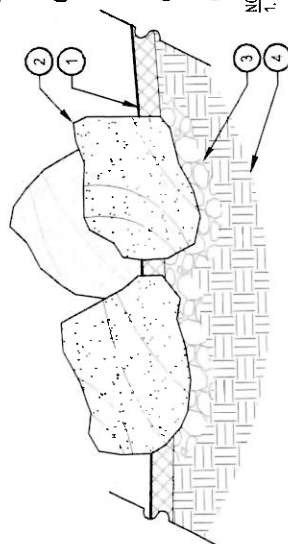
1. FINISHED GRADE - TOP OF SOD  
TATCH LAYER AND TOP OF  
MULCH SHALL BE FLUSH WITH  
TOP OF EDGER
2. TURF TATCH
3. AMENDED SOIL PER  
SPECIFICATIONS
4. SUBGRADE
5. STEEL EDGER - DRILL (16) 1/2" DIA.  
HOLES 1' O.C. MIN. AT ALL LOW  
POINTS OR POORLY DRAINING  
AREAS IN ORDER TO ENSURE  
ADEQUATE DRAINAGE
6. EDGER STAKE



NOTES:  
1. THERE SHALL BE NO EXPOSED SHARP /  
JAGGED EDGES.  
2. CONTRACTOR SHALL INSTALL STAKES AS  
REQUIRED BY THE MANUFACTURER.

2. TYPICAL CONCRETE TO PLANTING BED TRANSITION  
SCALE: 1 1/2" = 1'-0"

1. REFER TO LANDSCAPE PLAN FOR  
ABUTTING LANDSCAPE SURFACE, NO  
GAPS
2. NATURALLY SET SANDSTONE  
BOULDER SO THAT A MINIMUM 1/4 OF  
BOULDER IS BELOW FINISH GRADE.  
SUBMIT SMALL SAMPLE OR PHOTOS  
FOR APPROVAL
3. 3" MINIMUM COMPACTED  
AGGREGATE
4. UNDISTURBED GRADE



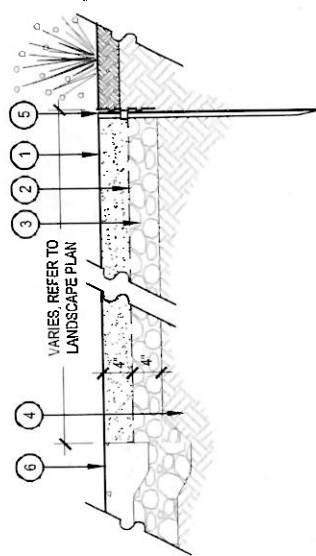
NOTES:  
1. REFER TO LANDSCAPE MATERIALS  
SCHEDULE FOR BOULDER SPECIFICATIONS  
AND ADDITIONAL NOTES.  
2. THE OWNERS REPRESENTATIVE SHALL  
APPROVE LOCATIONS AND SIZES OF ALL  
BOULDERS PRIOR TO PLACING.  
3. BOULDERS MUST BE INSTALLED AS THE  
APPROXIMATE WIDTHS SHOWN ON PLAN.

BOULDER SIZES		
QTY.	ITEM	SIZE
40%	A' SIZED BOULDER	24" - 30" DIAMETER X 18" MINIMUM DEPTH
30%	B' SIZED BOULDER	30" - 48" DIAMETER X 24" MINIMUM DEPTH
30%	C' SIZED BOULDER	48" - 60" DIAMETER X 32" MINIMUM DEPTH

SCALE: 1" = 1'-0"

1. STEEL EDGER  
SCALE: 1" = 1'-0"

1. 4" COMPACTED CRUSHER  
FINES WITH STABILIZER  
SOLUTIONS NATURALIZED  
DECOMPOSED GRANITE PATH  
STABILIZER OR ADA APPROVED  
EQUAL
2. GEOTEXTILE FABRIC (W/RAE)  
140 WS OR APPROVED EQUAL
3. COMPACTED CRUSHED STONE
4. COMPACTED SUBGRADE
5. EDGER AT ABUTTING  
LANDSCAPE. REFER TO  
LANDSCAPE PLAN
6. ABUTTING CONCRETE  
FLATWORK. REFER TO CIVIL  
PLAN



NOTES:  
1. ROLLER COMPACT DECOMPOSED GRANITE W/ET WITH STABILIZER PER MANUFACTURER SPECIFICATIONS. COMPACT IN 2"  
LIFTS  
2. PITCH TO DRAIN SURFACE AT 1-2% PER CIVIL GRADING PLAN.  
3. TOLERANCES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.  
4. REFER TO LANDSCAPE PLAN FOR ABUTTING CONDITIONS.  
5. HOA WILL MAINTAIN ALL LANDSCAPE AND CRUSHER FINES SURFACES ON A ROUTINE BASIS TO MAINTAIN COMPACTION AND  
CONTROL ANY POTENTIAL MATERIAL TRAVELING.

4. LANDSCAPE BOULDER  
SCALE: 1" = 1'-0"

3. CRUSHER FINES  
SCALE: 1" = 1'-0"



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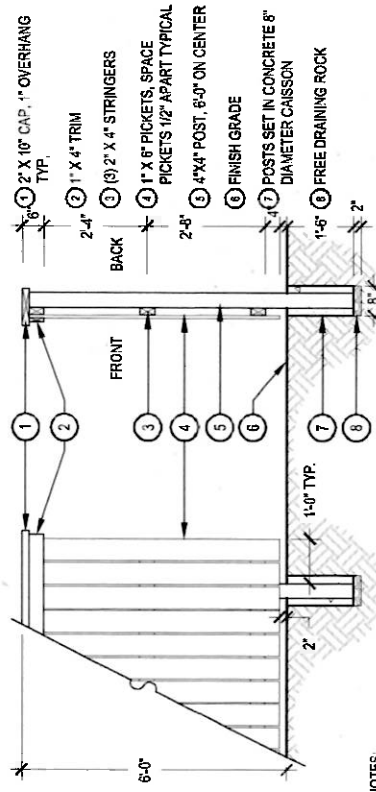
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UPLANDS

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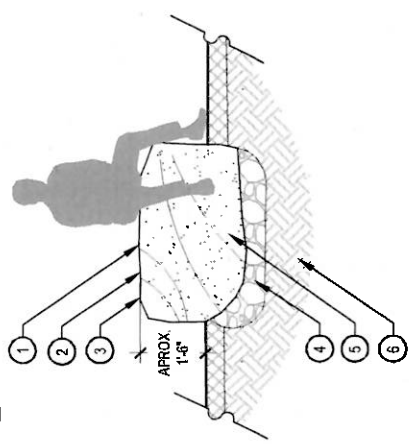


- NOTES
- UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE, FRONT AND REAR LOT
  - WING FENCING SHALL BE SET BACK TO THE FRONT AND BACK FACE OF BUILDING RESPECTIVELY AT A MINIMUM.
  - ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION. WOOD STAIN COLOR: BANYAN BROWN
  - ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
  - ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

6' PRIVACY FENCE

SCALE: 1/2" = 1'-0"

- FLAT TOPPED SANDSTONE BOULDER, TO BE SET LEVEL SIDE UP
- MULCH TO BOULDERS, NO GAPS
- APPROXIMATELY 3/4" OF BOULDER EXPOSED
- CRUSHER FINES FOR STABILITY AND LEVELING
- 1/4" OF BOULDER BURIED
- COMPACTED SUBGRADE

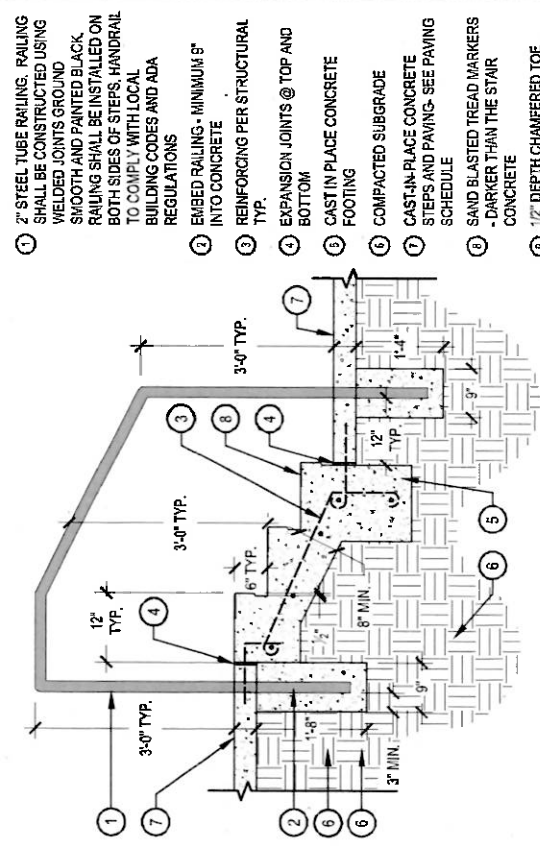


BOULDER SIZES	
QTY.	SIZE
4	A SIZED BOULDER APPROXIMATELY 24" X 36"
5	B SIZED BOULDER APPROXIMATELY 30" X 72"

- NOTES
- SIZE VARIES, SEE PLAN FOR LOCATION
  - REFER TO LANDSCAPE PLAN FOR SEATING BOULDER QUANTITY.
  - BOULDERS IN SEATING AREAS SHALL BE FLAT TOPPED.
  - THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS OF ALL BOULDERS PRIOR TO PLACING.
  - ALL DIMENSIONS ARE APPROXIMATE WITH A 2" MAX. HEIGHT ABOVE GRADE

SEATING BOULDER

SCALE: 1/2" = 1'-0"



STAIR WITH HANDRAIL

SCALE: 3/4" = 1'-0"

- 2" STEEL TUBE RAILING, RAILING SHALL BE CONSTRUCTED USING WELDED JOINTS GROUND SMOOTH AND PAINTED BLACK. RAILING SHALL BE INSTALLED ON BOTH SIDES OF STEPS, HANDRAIL TO COMPLY WITH LOCAL BUILDING CODES AND ADA REGULATIONS
- EMBED RAILING - MINIMUM 8" INTO CONCRETE
- REINFORCING PER STRUCTURAL TYP.
- EXPANSION JOINTS @ TOP AND BOTTOM
- CAST IN PLACE CONCRETE FOOTING
- COMPACTED SUBGRADE
- CAST IN PLACE CONCRETE STEPS AND PAVING- SEE PAVING SCHEDULE
- SAND BLASTED TREAD MARKERS - DARKER THAN THE STAIR CONCRETE
- 1/2" DEPTH CHAMFERED TOE KICK CHAMFER TO BE AT 30° ANGLE FROM HORIZONTAL

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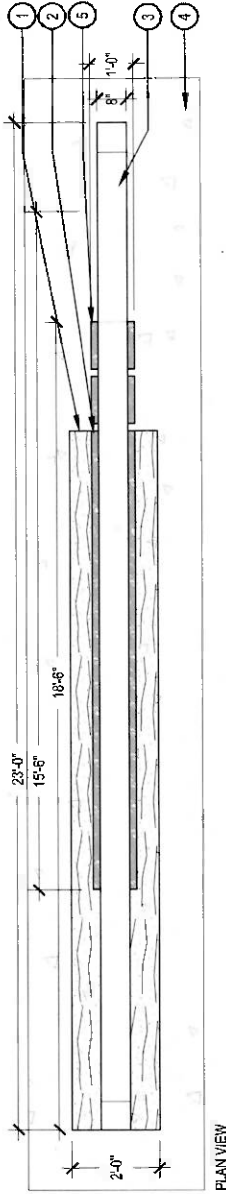
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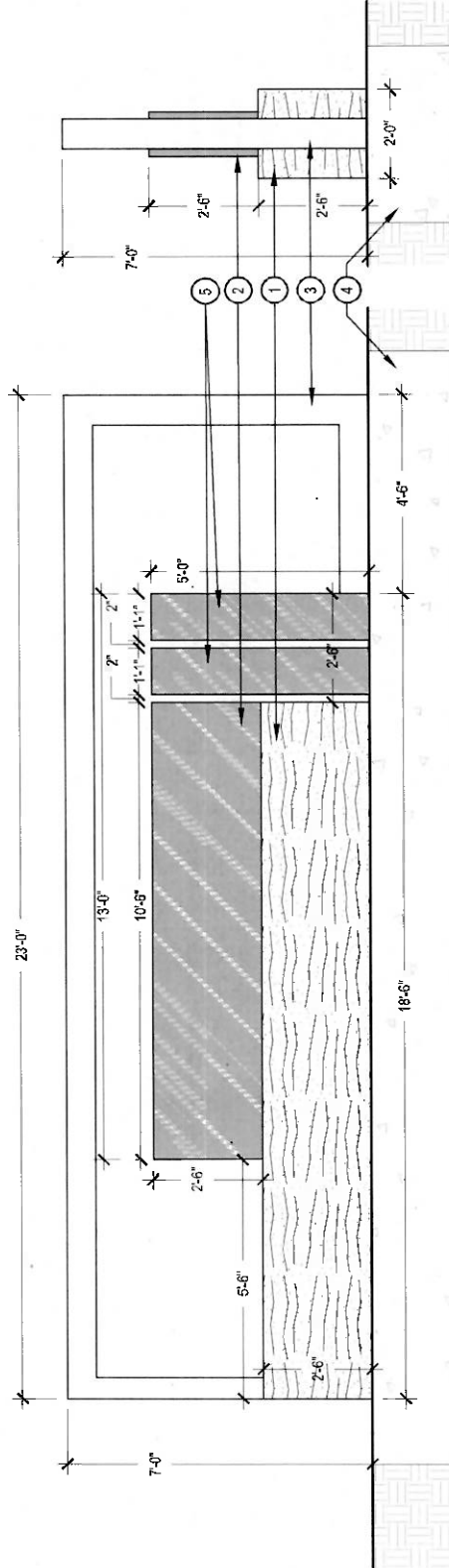
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LANDSCAPE DETAILS

1. CONCRETE MONUMENT WALL  
BASE WITH BOARD FORM FINISH,  
COLOR TBD
  2. SIGN FACE AREA: POWDER  
COATED STEEL CABINET WITH  
PIN MOUNTED LETTERS, COLORS  
TBD
  3. 8" SQUARE TUBE METAL "PICTURE  
FRAME"
  4. FOUNDATION WALL BASE  
(FINAL MATERIAL AND DEPTH TBD  
BY STRUCTURAL ENGINEER)
  5. POWDER COATED STEEL  
CABINET ACCENT PANELS,  
COLOR TBD
- NOTES:  
1. DETAIL PROVIDED FOR DESIGN  
INTENT ONLY. SHOP DRAWINGS  
REQUIRED.  
2. STRUCTURAL ENGINEER TO  
PROVIDE FOOTING DETAILS



PLAN VIEW



ELEVATION VIEW A

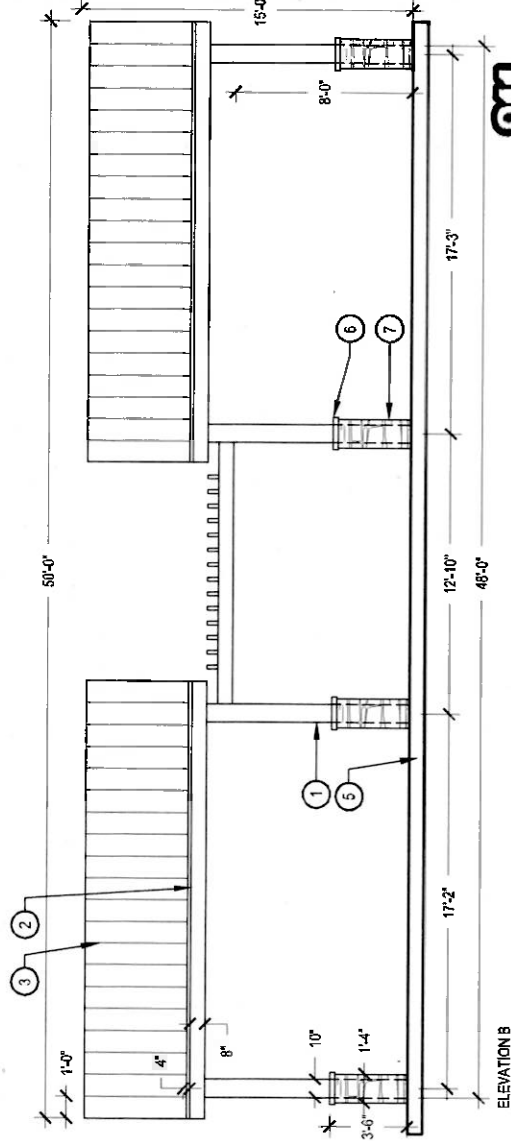
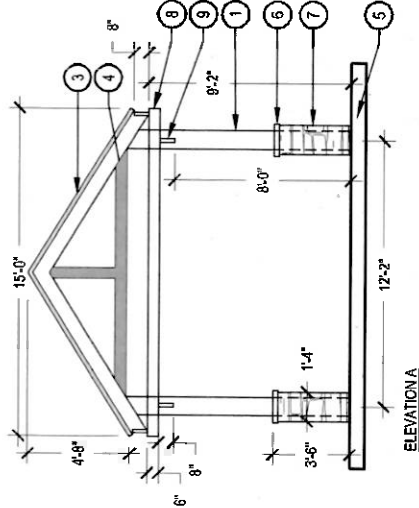
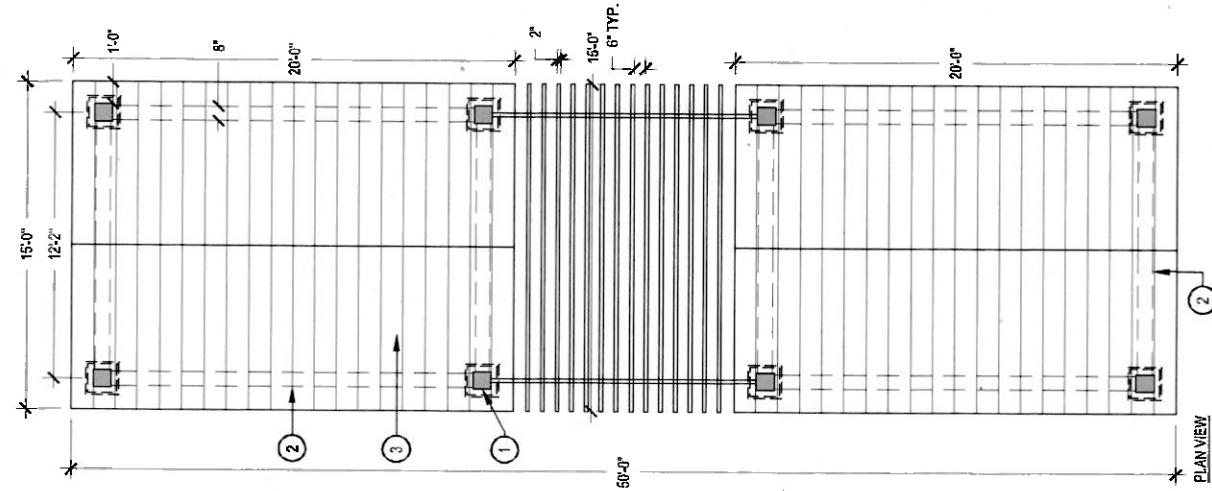
ELEVATION VIEW B



1 SUBDIVISION ENTRY SIGN

SCALE: 1/2" = 1'-0"

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SCALE: 1/4" = 1'-0"

- NOTES:
1. DETAIL PROVIDED FOR DESIGN INTENT ONLY. SHOP DRAWINGS REQUIRED.
  2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS
- 1 10 x 10" ROUGH SAWN CEDAR COLUMN, BEHR SEMI-TRANSPARENT STAIN COLOR BANYAN BROWN (OR APPROVED EQUAL).
  - 2 8x8" ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR BANYAN BROWN (OR APPROVED EQUAL).
  - 3 7x12" STANDING SEAM METAL ROOF TO MATCH MAIL KIOSK, RE: ARCH
  - 4 ROUGH-SAWN DECORATIVE DETAIL, TO MATCH MAIL KIOSK, RE: ARCH
  - 5 CONCRETE PAVING, RE: PLAN
  - 6 3" THICK PRECAST GREY CONCRETE CAP, 1" OVERHANG, TYP.
  - 7 STONE TO MATCH MAIL KIOSK, RE: ARCH
  - 8 2x8 ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR BANYAN BROWN (OR APPROVED EQUAL).
  - 9 2x8 ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR BANYAN BROWN (OR APPROVED EQUAL).

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1 PARK SHADE STRUCTURE



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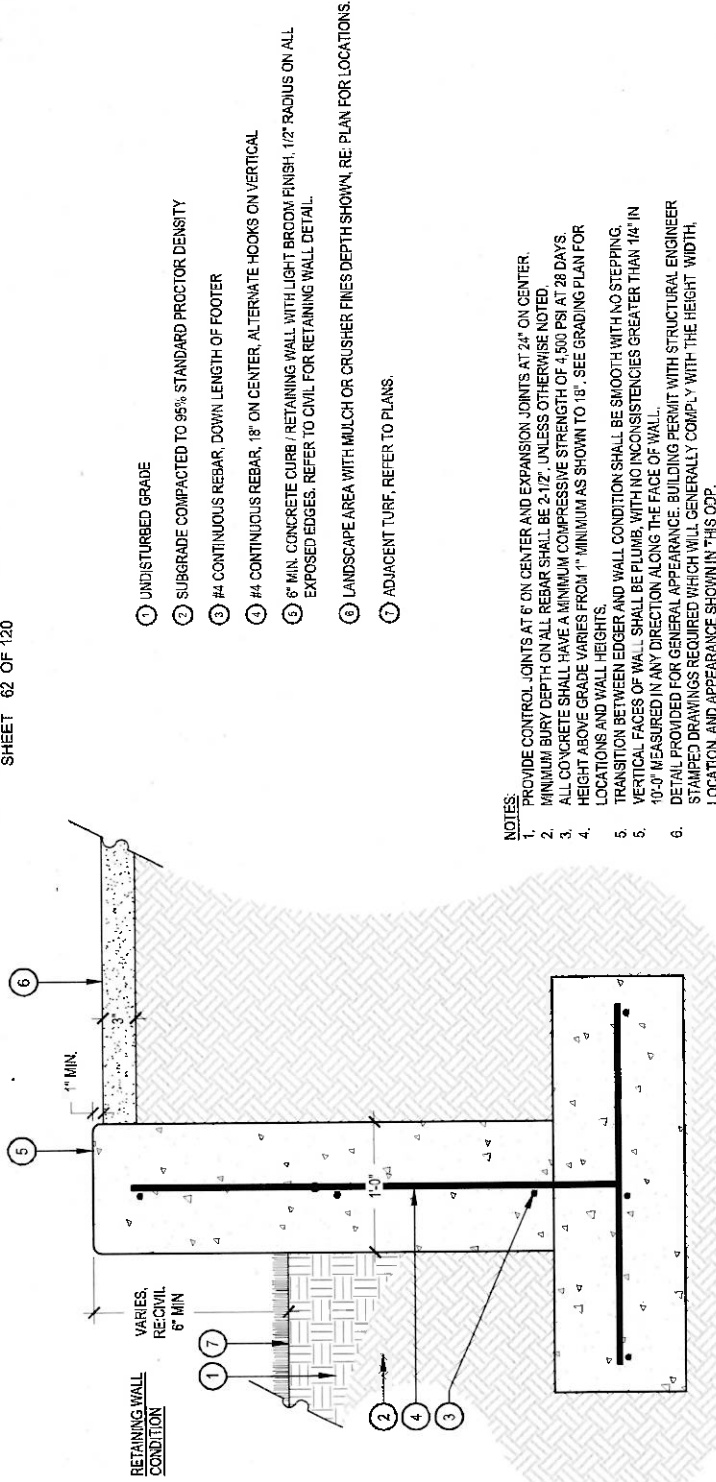
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1 LOW RETAINING WALL

SCALE: 1 1/2" = 1'-0"

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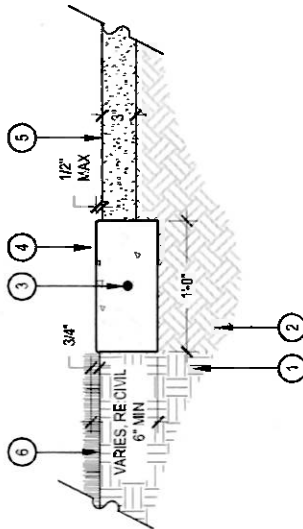
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- 1 UNDISTURBED GRADE
- 2 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 3 #4 CONTINUOUS REBAR, DOWN LENGTH OF FOOTER
- 4 8" MIN. CONCRETE CURB / RETAINING WALL WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES. REFER TO CIVIL FOR RETAINING WALL DETAIL.
- 5 LANDSCAPE AREA WITH MULCH OR CRUSHER FINES DEPTH SHOWN, RE: PLAN FOR LOCATIONS.
- 6 ADJACENT TURF, REFER TO PLANS.

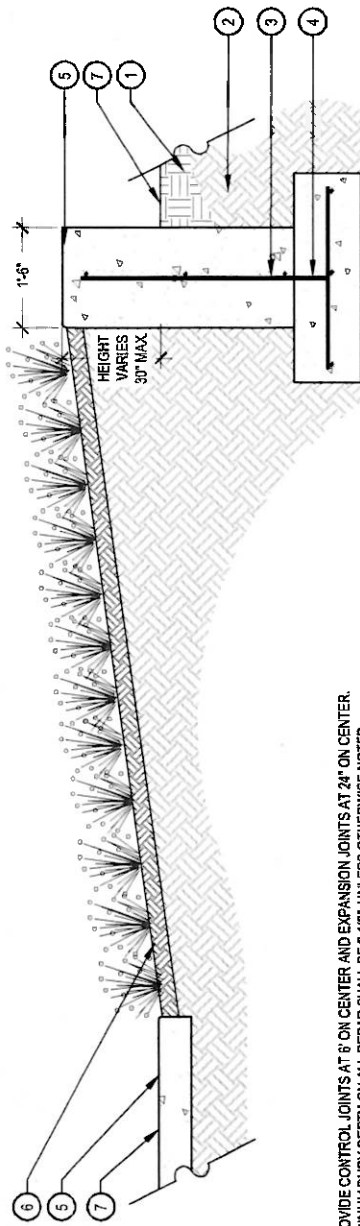


- NOTES:
1. PROVIDE CONTROL JOINTS AT 8' ON CENTER AND EXPANSION JOINTS AT 24' ON CENTER.
  2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2'-1/2", UNLESS OTHERWISE NOTED.
  3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

1 CONCRETE EDGER

SCALE: 1 1/2" = 1'-0"

- 1 UNDISTURBED GRADE
- 2 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 3 #4 CONTINUOUS REBAR, DOWN LENGTH OF FOOTER
- 4 #4 CONTINUOUS REBAR, 18" ON CENTER, ALTERNATE HOOKS ON VERTICAL
- 5 RETAINING WALL SEAT WALL WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES. REFER TO CIVIL FOR RETAINING WALL DETAIL.
- 6 LANDSCAPE AREA RE: PLAN FOR LOCATIONS
- 7 ADJACENT PLAZA OR PLAY SURFACING, RE: PLAN FOR LOCATIONS



- NOTES:
1. PROVIDE CONTROL JOINTS AT 8' ON CENTER AND EXPANSION JOINTS AT 24' ON CENTER.
  2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2'-1/2", UNLESS OTHERWISE NOTED.
  3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
  4. HEIGHT ABOVE GRADE VARIES FROM 1" MINIMUM AS SHOWN TO 18". SEE GRADING PLAN FOR LOCATIONS AND WALL HEIGHTS.
  5. TRANSITION BETWEEN EDGER AND WALL CONDITION SHALL BE SMOOTH WITH NO STEPPING.
  6. VERTICAL FACES OF WALL SHALL BE PLUMB, WITH NO INCONSISTENCIES GREATER THAN 1/4" IN 10'-0" MEASURED IN ANY DIRECTION ALONG THE FACE OF WALL.

2 SLOPED PLANTING BED

SCALE: 3/4" = 1'-0"

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SFA TOWNHOME - MODP ARCHITECTURAL CHARACTERISTICS TABLE

MODEL:	3-STORY ELEV. MOUNTAIN MODERN	3-STORY ELEV. MOD. BROWNSTONE	3-STORY ELEV. SCAN
(SFA STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X
(SFA STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE	NOTE: SEE EXCEPTIONS REQUEST ON SHEET 5		
(MODP MASONRY) 50%	NOTE: SEE EXCEPTIONS REQUEST ON SHEET 5		
AVERAGE ON ALL ELEVATIONS	X	X	X
(MODP STORIES) 3 STORIES MAX.	X	X	X
(MODP HEIGHT) 40' MAX.	X	NOTE: SEE EXCEPTION REQUEST ON SHEET 5	
(MODP PRIVATE OUTDOOR SPACE) REAR, SIDE, FRONT YARDS OR BALCONIES / PATIOS / PORCHES / DECKS	X	X	X
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X
(W.M.C 11-7.4 (B)(2)) OFF STREET PARKING, 2 SPACES PER UNIT, & 1 SPACE PER 3 UNITS FOR GUEST	NOTE: SEE EXCEPTIONS REQUEST ON SHEET 5		
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	X
(TMUND 2.4.1) ALLEY ACCESSED GARAGE	X	X	X
(TMUND 2.4.1) ENTRY PORCHES PROMINENT ARCHITECTURAL FEATURE	X	X	X
(TMUND 2.4.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X
(TMUND 2.4.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X
(TMUND 2.4.1) PRIVATE REAR YARD, FRONT YARD, OR BALCONY	X	X	X
(TMUND 2.4.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X

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SFA TOWNHOMES -  
C-CHARACTERISTICS TABLE

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 65 OF 120



UPLANDS

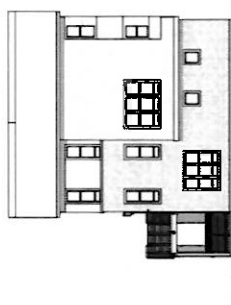
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

65 OF 120  
SFA TOWNHOMES -  
STREETSCAPE

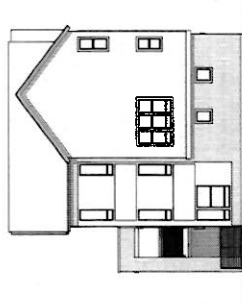
NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES



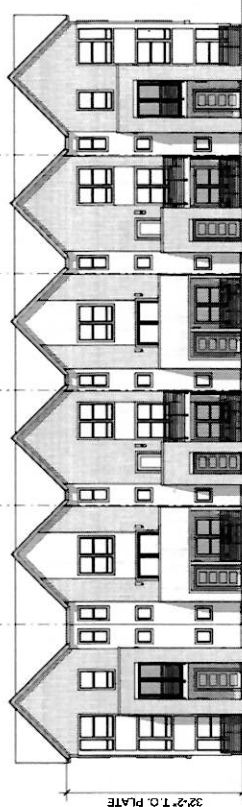
6 | 3-STORY- RIGHT ELEVATION- MOUNTAIN MODERN  
1/16" = 1'-0"



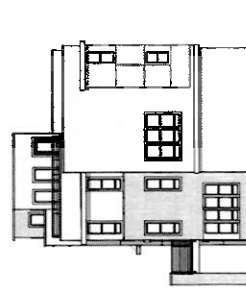
3 | 3-STORY- FRONT ELEVATION- MOUNTAIN MODERN  
1/16" = 1'-0"



5 | 3-STORY- RIGHT ELEVATION- SCANDANAVIAN  
1/16" = 1'-0"



2 | 3-STORY- FRONT ELEVATION- SCANDANAVIAN  
1/16" = 1'-0"

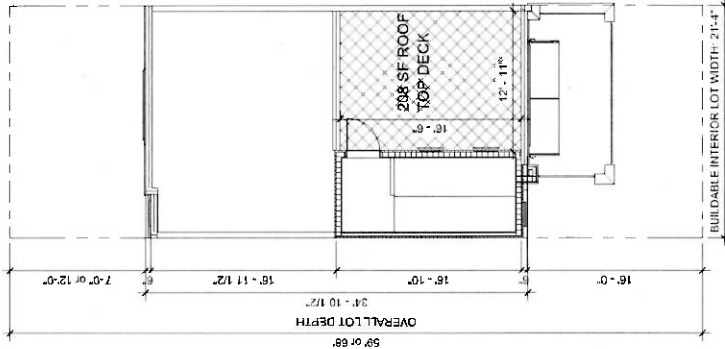


4 | 3-STORY- RIGHT ELEVATION- MODERN BROWNSTONE  
1/16" = 1'-0"

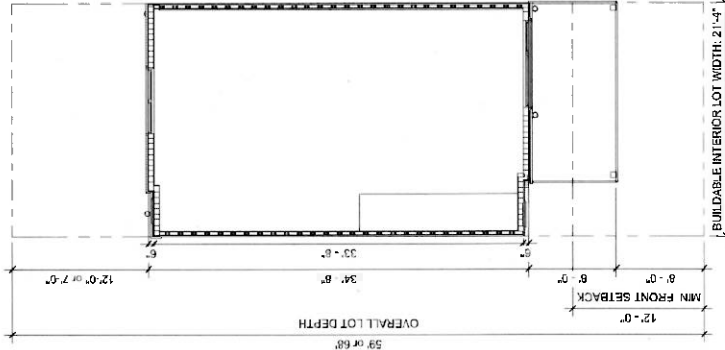


1 | 3-STORY- FRONT ELEVATION- MODERN BROWNSTONE  
1/16" = 1'-0"

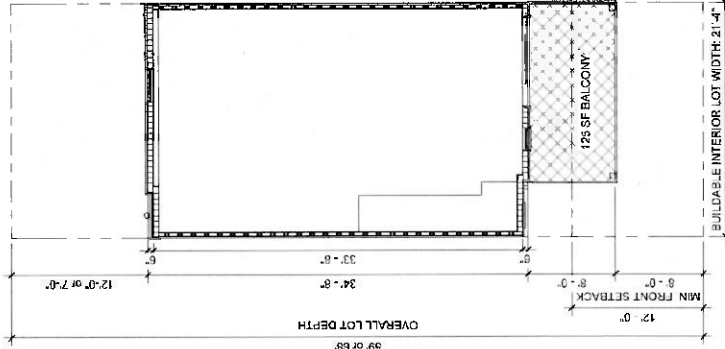
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
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SHEET 66 OF 120



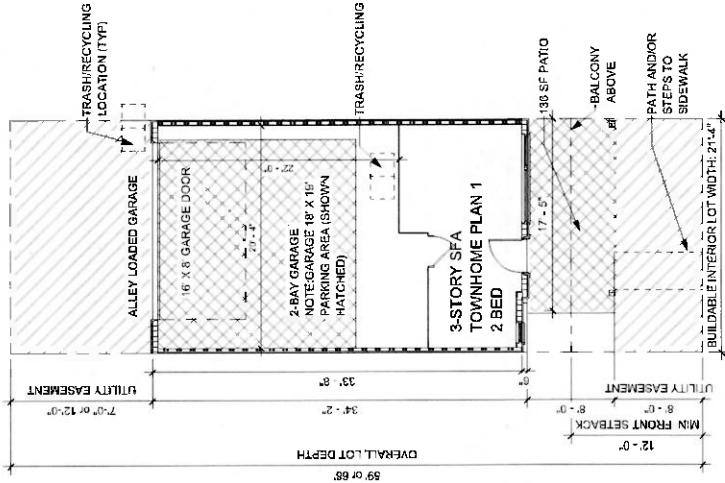
PLAN 1 INTERIOR: ROOF TOP DECK  
1/8" = 1'-0"  
STYLE: MODERN BROWNSTONE



PLAN 1 INTERIOR - THIRD FLOOR  
1/8" = 1'-0"  
STYLE: SCANDANAVIAN, MOUNTAIN MODERN, AND MODERN BROWNSTONE



PLAN 1 INTERIOR-SECOND FLOOR  
1/8" = 1'-0"  
STYLE: SCANDANAVIAN, MOUNTAIN MODERN, AND MODERN BROWNSTONE



PLAN 1 INTERIOR: FIRST FLOOR  
1/8" = 1'-0"  
STYLES: SCANDANAVIAN, MOUNTAIN MODERN, AND MODERN BROWNSTONE

3-STORY SFA TOWNHOMES PLAN 1 LOT TYPICAL

STYLE: MODERN BROWNSTONE  
TOTAL: 1,702 SQ.FT.  
PATIO: 130 SQ.FT.  
2ND FLOOR BALCONY: 130 SQ.FT.  
ROOF TOP DECK: 188 SQ.FT.

STYLE: SCANDANAVIAN & MOUNTAIN MODERN  
TOTAL: 1,590 SQ.FT.  
PATIO: 130 SQ.FT.  
2ND FLOOR BALCONY: 130 SQ.FT.

NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFA TOWNHOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM

UPLANDS

DATE: 05.31.2024

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66 OF 120  
3-STORY SFA TOWNHOME -  
PLAN 1 LOT TYPICAL