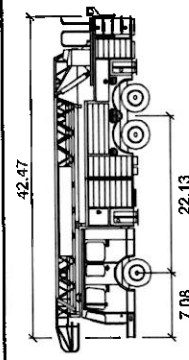


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 49 OF 138



Westminister Fire Truck

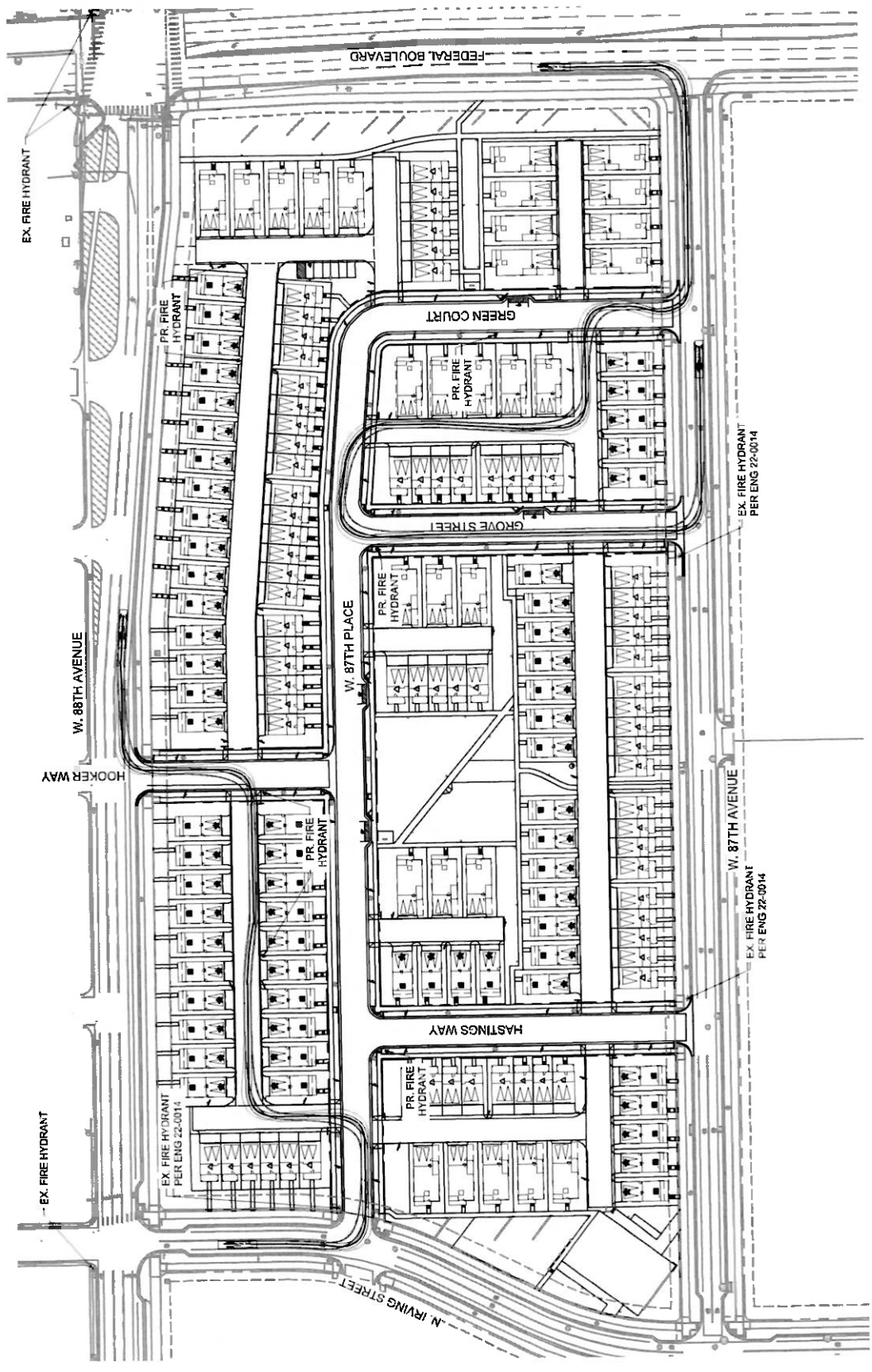
- feet
- Width : 8.33
 - Track : 6.91
 - Lock to Lock Time : 6.0
 - Steering Angle : 37.1
 - Inside Cramp Angle : 40.0



LEGEND

- FRONT TIRES
- WHEEL TIRES
- VEHICLE BODY
- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- TOWNHOME (3-STORY)
- UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS

NOTE: ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHANG OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 11.03.2023	REVISIONS
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	



HRGreen

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
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WESTMINSTER, COLORADO

PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

50 OF 138
FIRE TRUCK TURNING
MOVEMENT

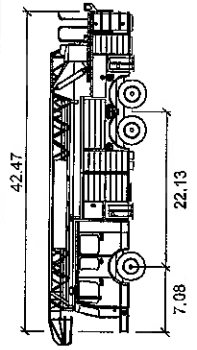
LEGEND

- FRONT TIRES
- WHEEL TIRES
- VEHICLE BODY
- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- TOWNHOME (3-STORY)
- UNIT WITH BEAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS

NOTE: ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANUEVER THROUGHOUT REQUIRED FIRE DEPARTMENT ACCESS, THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE

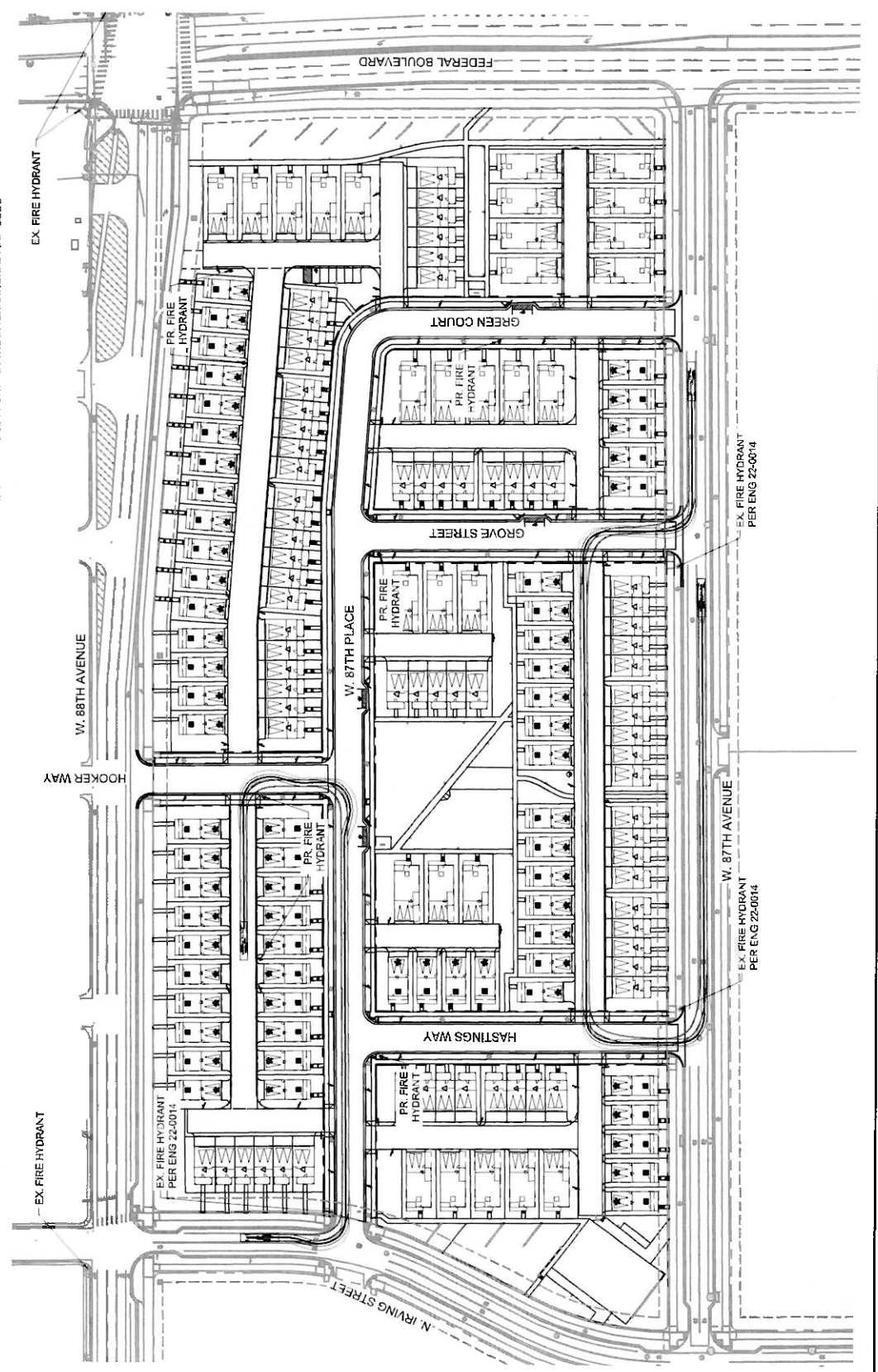


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 50 OF 138



Westminister Fire Truck

- feet
- Width : 8.33
 - Track : 6.91
 - Lock to Lock Time : 6.0
 - Steering Angle : 37.1
 - Inside Cramp Angle : 40.0



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 51 OF 138



UPLANDS
DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
SUB 01: 11.03.2023
SUB 02: 02.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024



51 OF 138
LANDSCAPE NOTES

WESTMINSTER STANDARD STATEMENTS

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS PER SQUARE FOOT (IRRIGATION SEASON YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS. EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOIL AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. NO WEED BARRIER FABRIC SHALL BE PLACED UNDER THE WOOD MULCH.
- K. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAN.
- L. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

LANDSCAPE MATERIAL SCHEDULE A(5)

CODE	DESCRIPTION	QTY	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
M-01	ROCK MULCH	84,079 SF	3/4" BRECKEN GOLD LANDSCAPE ROCK	PIONEER SAND OR APPROVED EQUAL	BRECKEN GOLD	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-03	CRUSHER FINES	3,631 SF	CRUSHER FINES	PIONEER SAND COMPANY OR APPROVED EQUAL	TAN OR APPROVED EQUAL	LESS THAN 3/8"	SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH.
M-05	PLAY SAFETY SURFACING	2,825 SF	ENGINEERED WOOD FIBER	RECREATION PLUS, LTD. OR APPROVED EQUAL	NATURAL	SEE PLAN FOR DIMENSIONS	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-06	STEEL EDGING	3,439 LF	INTERLOCKING ROLLED TOP EDGER	RYERSON OR APPROVED EQUAL	BLACK	6" X 14" GAUGE	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-10	LANDSCAPE BOULDER - SIZE A	32	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-11	LANDSCAPE BOULDER - SIZE B	10	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS
M-14	WOOD MULCH	13,346 SF	GORILLA HAIR CEDAR WOOD MULCH	PIONEER SAND OR APPROVED EQUAL	GORILLA HAIR CEDAR MULCH	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-15	SEATING BOULDER SIZE A	4	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL 1/SHEET 74	SEE PLAN FOR LOCATION
M-16	SEATING BOULDER SIZE B	3	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL 1/SHEET 74	SEE PLAN FOR LOCATION
M-17	ENHANCED CONCRETE - STANDARD GREY	3,728 SF	CONCRETE COLOR PIGMENT	DAVIS COLORS OR APPROVED EQUAL	STANDARD GREY / ACID ETCH FINISH	SCORING PER PLAN	MIX AND INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 5' X 5' X 8" MOCK-UP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 52 OF 138

PA-A(5)

	TOTAL LANDSCAPE AREA (ROW EXCLUDED)* (190,531 SF = 27.0%)		RIGHT-OF-WAY LANDSCAPE AREA (46,089 SF) (ON LOT EXCLUDED)		TOTAL COMMON AREA LANDSCAPE (COMMON AREA AND RIGHT-OF-WAY LANDSCAPE)	
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
COMMON AREA LANDSCAPE (93,928 SF)	TREES	171	171	1/550 SF	84	127
	SHRUBS	512	1083	3/550 SF	251	255
ON LOT LANDSCAPE (96,603 SF)	TREES	176	176**	1/550 SF	616	763
	SHRUBS	526	526**	3/550 SF	1,699	1,699
TOTAL LANDSCAPE AREA (ROW EXCLUDED)*	TREES	347	347			
	SHRUBS	1,038	1,609			

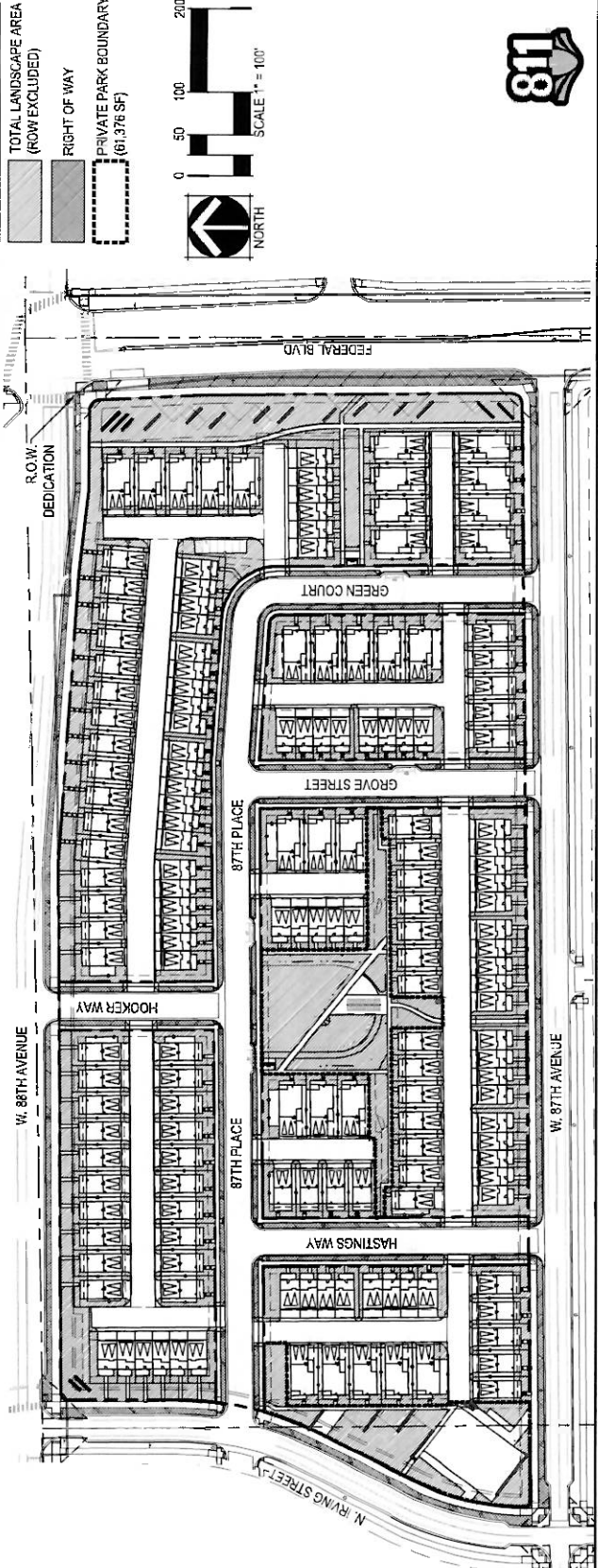
NOTES:

- EXCLUDES PLD AND VIEW CORRIDOR AREAS. INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE, PARK AND ALL NON-ROW SHRUBS PER 550 SF FOR ALL FRONT YARD LANDSCAPES.
- **INCLUDES REQUIRED 1 TREE AND 3 SHRUBS PER 550 SF FOR ALL FRONT YARD LANDSCAPES. PLEASE SEE LOT AND LANDSCAPE TYPICALS FOR CRITICAL PARAMETERS OF LANDSCAPE PLANS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PENDING FINAL PRODUCT CONFIGURATION.
- PROVIDED PLANT MATERIAL MEETS REQUIREMENTS FOR TOTAL COMMON AREA LANDSCAPE.
- ALL LANDSCAPING SHOWN IN THE ROW, INCLUDING THE ROW ADJACENT TO THE PLD, SHALL BE MAINTAINED BY THE HOA.
- ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH.

LANDSCAPE QUANTITIES: HIGH-WATER TURF AREA	
TOTAL LANDSCAPE AREA	MAX HIGH WATER TURF AREA (LESS THAN 20%)
236,620 SF	PROVIDED HIGH WATER TURF AREA
	< 47,324 SF
	10,522 SF (4.5%)

SOIL AMENDMENT REQUIRED			
TOTAL LANDSCAPE AREA (EXCLUDING ROW)	190,531	X 5 YDS/1000 SF	953 CU. YDS.
RIGHT-OF-WAY AREA	46,089	X 5 YDS/1000 SF	241 CU. YDS.
TOTAL: 236,620 SF			1,194 CU. YDS.

PA-A(5) TOTAL LANDSCAPE AREA EXHIBIT



UPLANDS

DATE: 06.14.2024

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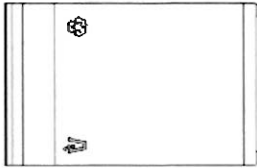
52 OF 138
LANDSCAPE SCHEDULE

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 53 OF 138

SITE AMENITY SCHEDULE



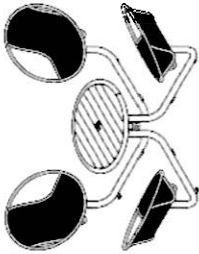
S-01 DESCRIPTION: BIKE RACK
MANUFACTURER: SITE PIECES
MODEL: MONOLINE DUO BIKE RACK
OR APPROVED EQUAL
COLOR / FINISH: CAMPEIRE
EMBERS POWDER COAT
NOTES: SURFACE MOUNT PER
MANUFACTURER'S
SPECIFICATIONS.



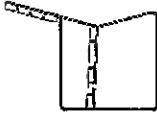
S-02 DESCRIPTION: COMMON AREA
LITTER RECEPTACLE
MANUFACTURER: SITE PIECES
MODEL: MONOLINE EDGE LITTER BIN
(#MLGLITTERD) OR APPROVED EQUAL
COLOR / FINISH: MIDNIGHT POWDER COAT
EXTERIOR: CAMPEIRE EMBERS SYMBOLS
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



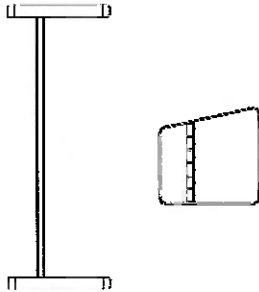
S-03 DESCRIPTION: PET WASTE
STATION
MANUFACTURER: BARCOPRODUCTS.COM
MODEL: HEADER BAG PET WASTE STATION
OR APPROVED EQUAL
COLOR / FINISH: BROWN OR APPROVED
EQUAL
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



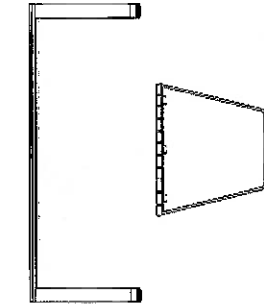
S-04 DESCRIPTION: 4 TOP TABLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: 4 SEATS HOOP OR APPROVED EQUAL
COLOR / FINISH: WHITE FRAME, STEEL HEAD
WOOD TABLE TOP, HOOP SEAT, CASUAL
HEIGHT
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



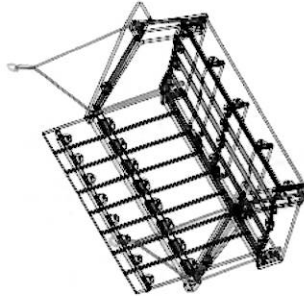
S-05 DESCRIPTION: BACKLESS BENCH
MANUFACTURER: SITE PIECES
MODEL: MONOLINE BACKED BENCH
#ML-BENCH-T2 OR APPROVED EQUAL
COLOR / FINISH: DARK CHERRY ALUMINUM
SLATS / MIDNIGHT POWDER COAT FINISH
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



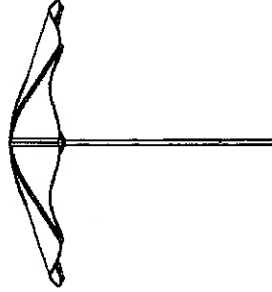
S-06 DESCRIPTION: BACKLESS BENCH
MANUFACTURER: SITE PIECES
MODEL: MONOLINE FLAT BENCH
#ML-FLAT-T2 OR APPROVED EQUAL
COLOR / FINISH: DARK CHERRY ALUMINUM
SLATS / MIDNIGHT POWDER COAT FINISH
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



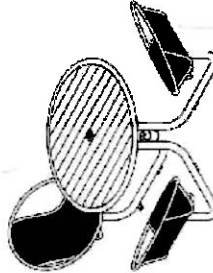
S-08 DESCRIPTION: FARM TABLE
MANUFACTURER: SITE PIECES
MODEL: MONOLINE COMMUNITY TABLE OR
APPROVED EQUAL
COLOR / FINISH: DARK CHERRY ALUMINUM
SLATS / MIDNIGHT POWDER COAT FINISH
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



S-09 DESCRIPTION: PORCH SWING
MANUFACTURER: LOLL DESIGNS
MODEL: ADIRONACK PORCH SWING OR
APPROVED EQUAL
COLOR / FINISH: LEAF GREEN
NOTES: REFERENCE DETAIL FOR
INSTALLATION INSTRUCTIONS.



S-10 DESCRIPTION: UMBRELLA
MANUFACTURER: LANDSCAPE FORMS
MODEL: CYGNUS SOLSTICE UMBRELLA OR
APPROVED EQUAL
COLOR / FINISH: BUTTERCUP
POWDER COATED METAL
NOTES: SECURE TO TABLE PER
MANUFACTURER'S SPECIFICATIONS. NO
SURFACE MOUNT STAND REQUIRED.



S-11 DESCRIPTION: 3 TOP TABLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: 3 SEATS CAROUSEL, HOOP OR
APPROVED EQUAL
COLOR / FINISH: LOLL NAVY BLUE FRAME,
THERMALLY MODIFIED ASH WOODEN
TABLE TOP, HOOP SEAT
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.

UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
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WESTMINSTER, COLORADO

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SUB 01: 11.03.2023
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SUB 03: 05.03.2024
SUB 04: 06.14.2024

53 OF 138
LANDSCAPE SCHEDULE



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 54 OF 138

NORRIS DESIGN
10 JAMES STREET
WESTMINSTER, CO 80057
781.466.1076
WWW.NORRISDESIGN.COM

UPLANDS
DATE: 06.14.2024

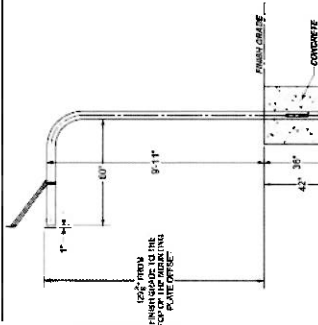
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WESTMINSTER, COLORADO

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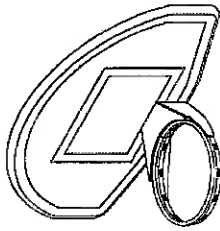
54 OF 138
LANDSCAPE SCHEDULE



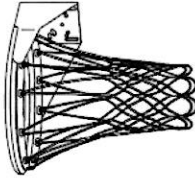
SITE AMENITY SCHEDULE



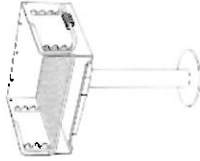
S-22 DESCRIPTION: GOOSENECK POST
MANUFACTURER: PW ATHLETIC
MODEL: 1520G OR APPROVED EQUAL
COLOR / FINISH: GALVANIZED STEEL
NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.



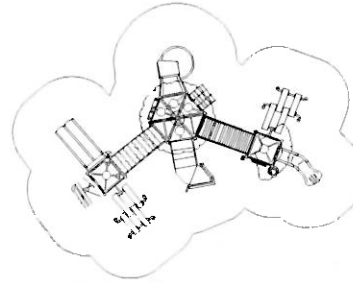
S-23 DESCRIPTION: BACKBOARD
MANUFACTURER: PW ATHLETIC
MODEL: HEAVY-DUTY CAST ALUMINUM
MODEL 22 OR APPROVED EQUAL
COLOR / FINISH: WHITE
NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.



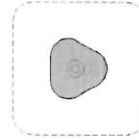
S-24 DESCRIPTION: BASKETBALL RIM & NET
MANUFACTURER: PW ATHLETIC
MODEL: HEAVY DUTY BREAK AWAY DOUBLE RIM FOR CHAIN NET, MODEL 41 OR APPROVED EQUAL
COLOR / FINISH: STANDARD
NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.



S-41 DESCRIPTION: PEDESTAL GRILL
MANUFACTURER: PILOT ROCK
MODEL: N-24 SERIES
COLOR / FINISH: BLACK
NOTES: OR APPROVED EQUAL. REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.



S-42 DESCRIPTION: PLAY STRUCTURE 1
MANUFACTURER: LITTLE TIKES
MODEL: KB24-74030 OR APPROVED EQUAL
COLOR / FINISH: STANDARD
NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. AGES 5-12.



S-43 DESCRIPTION: PLAY STRUCTURE 2
MANUFACTURER: LITTLE TIKES
MODEL: SOLO SPINNER 2002-1870 OR APPROVED EQUAL
COLOR / FINISH: STANDARD
NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. AGES 2-12.



S-44 DESCRIPTION: PLAY STRUCTURE 3
MANUFACTURER: LITTLE TIKES
MODEL: GALLAGHER THE GRASSHOPPER #A00000862 OR APPROVED EQUAL
COLOR / FINISH: STANDARD
NOTES: REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. AGES 2-12.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 55 OF 138

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
DECIDUOUS TREES								
AC BM	16	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	B & B	2" CAL	MOD	25-30'	25-30'
AC SE	7	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER MAPLE	B & B	2" CAL	LOW	25-30'	20-25'
AC PS	14	ACER PSEUDOPLATANUS	SYCAMORE MAPLE	B & B	2" CAL	MOD	40-50'	30-40'
CA SP	15	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL	VERY LOW	50-60'	30-40'
CE OC	17	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL	VERY LOW	40-50'	30-40'
GY DI	17	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL	VERY LOW	50-60'	40-60'
GU MA	13	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL	MOD	50-60'	40-60'
UL PR	20	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3" CAL	MOD	40-50'	30-40'
UL AL	15	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	B & B	2" CAL	MOD	40-50'	30-40'
EVERGREEN TREES								
JU SP	7	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6" HEIGHT	LOW	15-20'	4'-6"
JN ME	7	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	6" HEIGHT	VERY LOW	15-20'	4'-6"
JU SK	62	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	B & B	6" HEIGHT	LOW	15-20'	4'-6"
PIFA	5	PICEA PUNGENS 'FASTIGIATA'	FASTIGIATE COLORADO SPRUCE	B & B	8" HEIGHT	MOD	20-25'	4'-6"
PIED	17	PINUS EDULIS	PINON PINE	B & B	8" HEIGHT	VERY LOW	20-25'	10'-15'
PIHE	4	PINUS HELDREICHII	BOSNIAN PINE	B & B	6" HEIGHT	MOD	25-30'	10'-15'
ORNAIMENTAL TREES								
AM AB	3	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6" CLUMP	MOD	20-25'	15'-20'
CR IN	1	CRATAEGUS CRUS-GALLI 'INERMIS'	THORLESS COCKSPUR HAWTHORN	B & B	2" CAL	LOW	20-25'	15'-20'
KO PA	16	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	B & B	2" CAL	VERY LOW	25-30'	25-30'
MA SS	8	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2" CAL	LOW	20-25'	20-25'
MA PR	15	MALUS X 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	B & B	2" CAL	MOD	15-20'	15'-20'
PR CH	6	PRUNUS X VIRGINIANA 'P002'	SUCKER PUNCH CANADA CHOCHECHERRY	B & B	2" CAL	LOW	25-30'	15'-20'
PV AB	9	PYRUS CALLERYANA 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR	B & B	2" CAL	MOD	25-30'	25-30'
SY RE	2	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2" CAL	MOD	20-25'	15'-20'
DECIDUOUS SHRUBS								
AM AL	12	AMELANCHIER ALNIFOLIA	SERVICEBERRY	CONT.	#5	LOW	15' <	11'-12'
AM OB	11	AMELANCHIER ALNIFOLIA 'OBELISK'	STANDING OVATION™ SERVICEBERRY	CONT.	#5	LOW	13'-15'	3'-4'
AM BT	3	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	CONT.	#5	MOD	12'-15'	3'-4'
AM LE	11	AMORPHA NANA	DWARF LEAD-PLANT	CONT.	#5	VERY LOW	2'-3'	2'-3'
BE TA	12	BERBERIS X 'TARA'	EMERALD CAROUSEL® BARBERRY	CONT.	#5	LOW	5'-6"	5'-6"
BU DA	10	Buddleia Davidii	BUTTERFLY BUSH	CONT.	#5	LOW	5'-6"	4'-5'
CA BM	3	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	CONT.	#5	LOW	3'-4'	2'-3'
CH MI	51	CHAMAEBATHRIA VILLOFOLIUM	FERNBUSH	CONT.	#5	VERY LOW	4'-5'	5'-6"
CO KE	7	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	CONT.	#5	MOD	2'-3'	2'-3'
CO CO	6	COTINUS COGGYGRIA	SMOKE TREE	CONT.	#5	LOW	13'-15'	7'-8'
CO AC	13	COTONEASTER ACUTIFOLIUS	PEKING COTONEASTER	CONT.	#5	LOW	9'-12'	9'-10'
ER NA	44	ERICAMERIA NAUSEOSA	RUBBER RABBITBRUSH	CONT.	#5	VERY LOW	5'-6"	4'-5'
ER AI	169	ERICAMERIA NAUSEOSA 'COMPACTUS'	DWARF BLUE RABBITBRUSH	CONT.	#5	VERY LOW	2'-3'	2'-3'
EU CO	6	EUCONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	MOD	5'-6"	5'-6"
FO AR	12	FORSYTHIA X 'ARNOLD'S DWARF'	ARNOLD'S DWARF FORSYTHIA	CONT.	#5	LOW	2'-3'	4'-5'
FO SP	13	FORSYTHIA X INTERMEDIA 'SPRING GLORY'	SPRING GLORY FORSYTHIA	CONT.	#5	LOW	7'-8'	4'-5'
PE AT	208	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	#5	VERY LOW	3'-4'	3'-4'
PE LS	142	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE™'	LITTLE SPIRE RUSSIAN SAGE	CONT.	#5	VERY LOW	2'-3'	2'-3'
PY MI	19	PHYSCOCARPUS OPUFOLIUS 'MINDIA™'	COPEPERTINA NINEBARK	CONT.	#5	MOD	4'-5'	3'-4'
PO DR	31	PHYSCOCARPUS OPUFOLIUS 'SEWARD™'	SEWARD NINEBARK	CONT.	#5	MOD	2'-3'	2'-3'
PO MC	150	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3'	2'-3'
PR BS	21	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3'	2'-3'
PR BS	136	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	#5	VERY LOW	5'-6"	5'-6"
RH GR	66	RHUS BESSEYI	PAWNEE BUTTES SAND CHERRY	CONT.	#5	VERY LOW	1'-2'	5'-6"
RH GR	66	RHUS BESSEYI	PAWNEE BUTTES SAND CHERRY	CONT.	#5	VERY LOW	2'-3'	7'-8'
RI OD	15	RIBES ODORATUM	GRO-LOW FRAGRANT SUMAC	CONT.	#5	LOW	5'-6"	5'-6"
RO DO	9	ROSA X 'DOUBLE KNOCKOUT'	GOLDEN CURRANT	CONT.	#5	MOD	3'-4'	3'-4'

NOTE:
20% MIN SHADE TREES ARE INCREASED TO 2" CAL AND 20% MIN OF EVERGREEN TREES ARE INCREASED TO 8" HEIGHT. NATURE'S PRAIRIE TURFGRASS IS TO BE MAINTAINED TO A MAX HEIGHT OF 6" WITHIN TREE LAWNS AS WELL AS A 3" STRIP ALONG ALL SIDEWALKS. ALL OTHER INSTANCES OF NATURE'S PRAIRIE SOD SHALL BE ALLOWED TO GROW TO MATURE HEIGHT OF 6"

NATIVE TURF GRASS: NATURE'S PRAIRIE TURF™
BY TURF MASTER SOD, LLC
NATURE'S PRAIRIE TURF BLEND

SOD: Vortex TEXAS HYBRID BLEND BY
KORBY SOD, LLC
Vortex TEXAS HYBRID BLUEGRASS BLEND



UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS	
PREPARED: 11.03.2023	SUB 01: 11.03.2023
SUB 02: 03.07.2024	SUB 02: 03.07.2024
SUB 03: 05.03.2024	SUB 03: 05.03.2024
SUB 04: 06.14.2024	SUB 04: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 56 OF 138



PLANT SCHEDULE CONT.

RO FL	96	ROSA X 'FLOWER CARPET CORAL'	CORAL FLOWER CARPET ROSE	CONT.	#5	MOD	2'-3'	3'-4'
RO ND	12	ROSA X 'NEARLY WILD'	NEARLY WILD FLORIBUNDA ROSE	CONT.	#5	MOD	2'-3'	2'-3'
SP BR	3	SPRAEA PRUNIFOLIA 'BRIDAL WREATH'	BRIDAL WREATH SPIREA	CONT.	#5	MOD	5'-6'	5'-6'
SY MI	43	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	CONT.	#5	VERY LOW	4'-5'	4'-5'
VI CA	9	VIORNUM CARLESII	KOREANSPICE VIBURNUM	CONT.	#5	MOD	5'-6'	7'-8'
EVERGREEN SHRUBS								
HE PA	56	HESPERALOE PARVIFLORA	RED YUCCA	CONT.	#5	VERY LOW	3'-4'	3'-4'
JU BH	17	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	#5	LOW	1'-2'	7'-8'
JU CC	65	JUNIPERUS SABINA 'CALGARY CARPET TM'	CALGARY CARPET JUNIPER	CONT.	#5	LOW	4'-2'	7'-8'
JN BL	6	JUNIPERUS SQUAWATA 'BLUE STAR'	BLUE STAR JUNIPER	CONT.	#5	LOW	1'-2'	2'-3'
MA CO	87	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	CONT.	#5	LOW	2'-3'	2'-3'
PIM O	67	PINUS MUGO 'MOPS'	MOPS MUGO PINE	CONT.	#5	LOW	4'-5'	5'-6'
PI SL	3	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	CONT.	#5	LOW	4'-5'	2'-3'
PI HI	5	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	HILLSIDE CREEPER SCOTCH PINE	CONT.	#5	LOW	1'-2'	7'-8'
ORIENTAL GRASSES								
AN WI	138	ANDROPOGON GERARDII 'WINDWALKER'	WINDWALKER BIG BLUE STEM	CONT.	#1	LOW	5'-6'	2'-3'
AN SC	21	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	CONT.	#1	VERY LOW	2'-3'	1'-2'
BO BA	541	BOUTELOUA GRACIUS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	#1	VERY LOW	1'-2'	1'-2'
CA KF	141	CALAMAGROSTIS X AQUIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	4'-5'	2'-3'
EL RA	47	ELIANTHUS RAVENNAE	RAVENNA GRASS	CONT.	#1	MOD	9'-12'	3'-4'
HE SE	212	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT.	#1	LOW	2'-3'	1'-2'
MI ML	77	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	CONT.	#1	MOD	4'-5'	2'-3'
MI VA	92	MISCANTHUS SINENSIS 'VARIEGATUS'	VARIEGATED MAIDEN GRASS	CONT.	#1	MOD	4'-5'	2'-3'
MU RE	118	MUHLENBERGIA REVERCHONII 'UNDAUNTED'	UNDAUNTED MUHLY	CONT.	#1	LOW	2'-3'	1'-2'
PA SH	21	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT.	#1	LOW	4'-5'	2'-3'
PA SH	15	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	CONT.	#1	LOW	4'-5'	1'-2'
SC SC	379	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	3'-4'	2'-3'
SC ST	35	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION BLUESTEM GRASS	CONT.	#1	LOW	3'-4'	1'-2'
SP HE	389	SPOROBOLUS HETEROLEPS	PRAIRIE DROPSEED	CONT.	#1	LOW	2'-3'	1'-2'
PERENNIALS								
AC MO	167	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1	VERY LOW	2'-3'	1'-2'
AA AP	64	AGASTACHE RUPESTRIS 'APACHE SUNSET'	APACHE SUNSET THREADLEAF HYSSOP	CONT.	#1	LOW	1'-2'	1'-2'
AA CA	47	AQUILEGIA CUBERULEA	ROCKY MOUNTAIN COLUMBINE	CONT.	#1	MOD	1'-2'	<1'
AS TU	24	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	CONT.	#1	LOW	4'-2'	2'-3'
DA PU	3	DALEA PURPUREA	PURPLE PRAIRIE CLOVER	CONT.	#1	LOW	2'-3'	1'-2'
EC PU	130	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	#1	LOW	1'-2'	1'-2'
GA AR	6	GALLARDA ANISTATA	BLANNET FLOWER	CONT.	#1	LOW	1'-2'	1'-2'
GE RZ	116	GERANIUM X 'GERWAT'	ROZANNE GERANIUM	CONT.	#1	MOD	1'-2'	1'-2'
LY NU	8	LYSIMACHIA NUMMULARIA	CREEPING JENNY	CONT.	#1	MOD	<1'	1'-2'
NE LI	125	NEPETA X 'PSPIKE' TM	LITTLE TRUDY CATMINT	CONT.	#1	LOW	<1'	1'-2'
NE WL	41	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT.	#1	LOW	2'-3'	2'-3'
OE MI	14	OENOTHERA MACROCARPA	EVENING PRIMROSE	CONT.	#1	LOW	<1'	1'-2'
PE ST	53	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	#1	LOW	2'-3'	2'-3'
RU FU	42	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	2'-3'	1'-2'
SO BA	48	SOLDAGO X 'GO DINK'	GOLDEN BABY GOLDENROD	CONT.	#1	LOW	2'-3'	1'-2'
ST BY	38	STACHYS BYZANTINA	LAMB'S EAR	CONT.	#1	LOW	1'-2'	1'-2'



OFFICIAL DEVELOPMENT PLAN	REVISIONS	SUB 01: 11.03.2023	SUB 02: 03.07.2024	SUB 03: 05.03.2024	SUB 04: 06.14.2024
56 OF 138	LANDSCAPE SCHEDULE				

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DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 57 OF 138

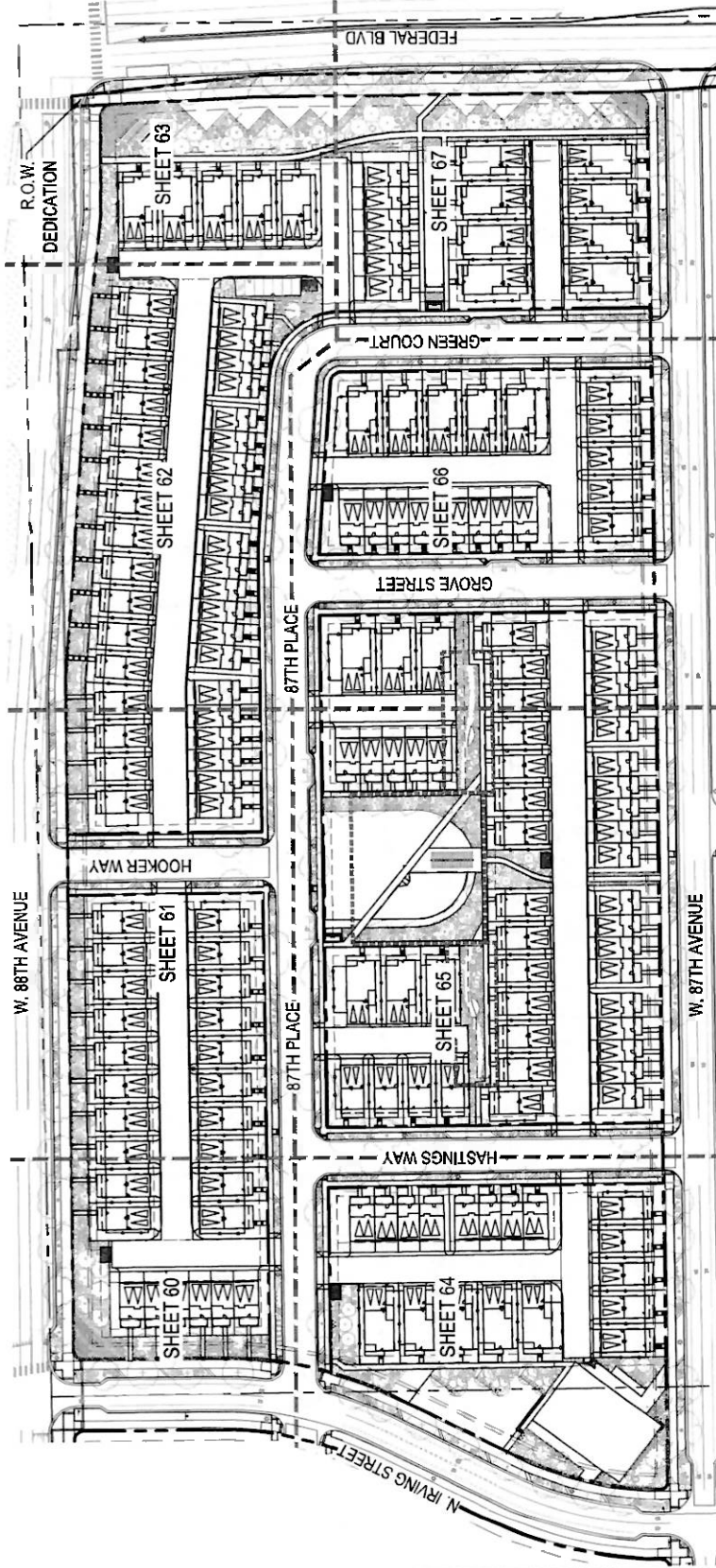
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DESIGN**
ARCHITECTS
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DENVER, CO 80231
(303) 751-1000
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PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

57 OF 138
OVERALL LANDSCAPE
PLAN



- LEGEND
- SNOW STORAGE LOCATIONS
 - MATCH LINE
 - SITE BOUNDARY
 - ENCAGEMENT LINE

NOTE:
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS
WOOD MULCH



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 58 OF 138



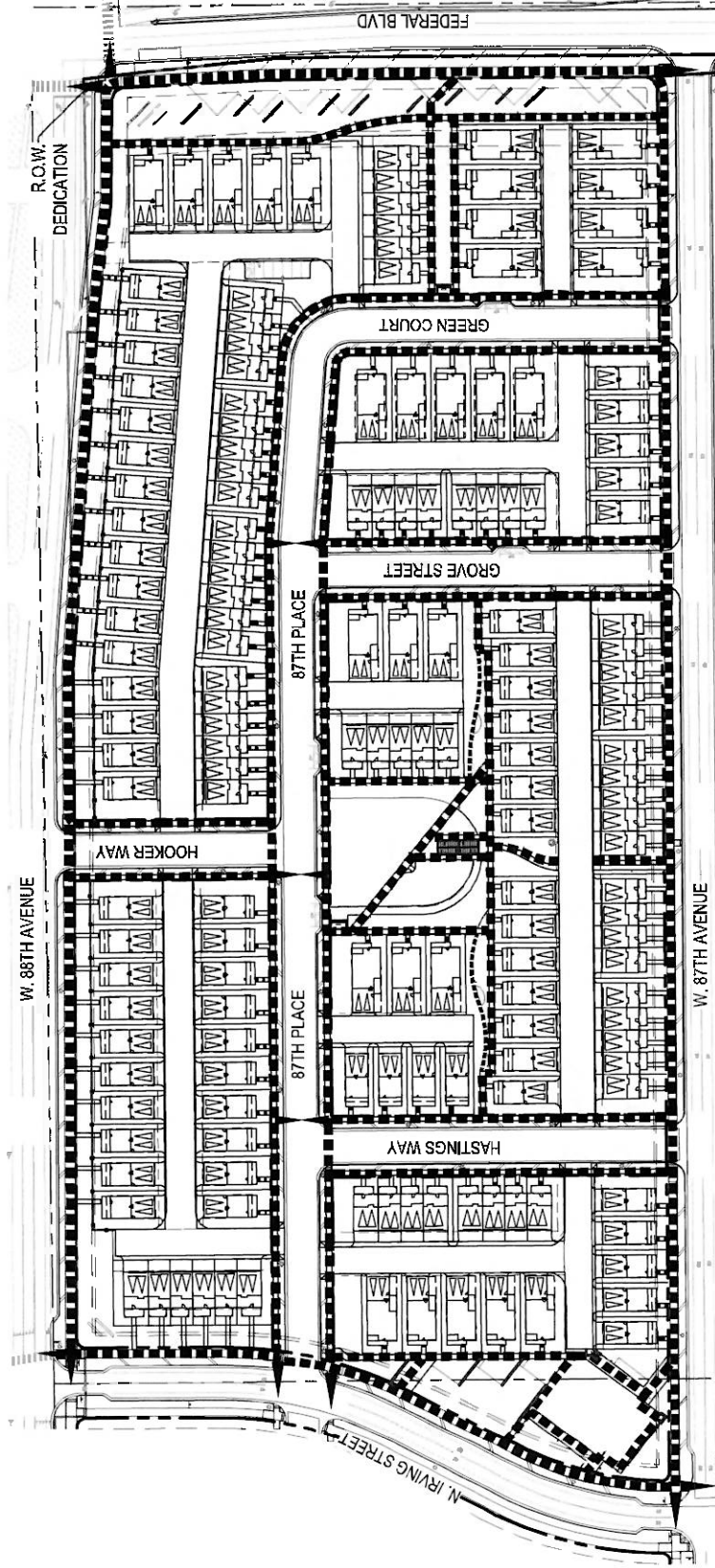
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DATE: 06.14.2024

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 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

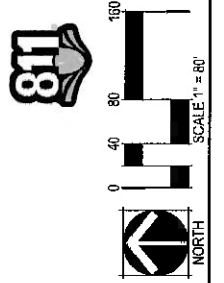
OFFICIAL DEVELOPMENT PLAN	PREPARED: 11.03.2023
REVISIONS	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024

58 OF 138
 PEDESTRIAN CIRCULATION PLAN



- LEGEND
- ACCESSIBLE PEDESTRIAN CIRCULATION ROUTES
 - SECONDARY PEDESTRIAN CIRCULATION ROUTES (NON-ADA COMPLIANT)
 - CROSSWALK LOCATION

NOTE:
 1. ADDITIONAL CROSSINGS MAY BE PROVIDED ONCE ADJACENT NEIGHBORHOOD LAYOUTS ARE DETERMINED TO PROMOTE SAFE PEDESTRIAN CROSSING.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 59 OF 138



W. 88TH AVENUE

R.O.W.
DEDICATION

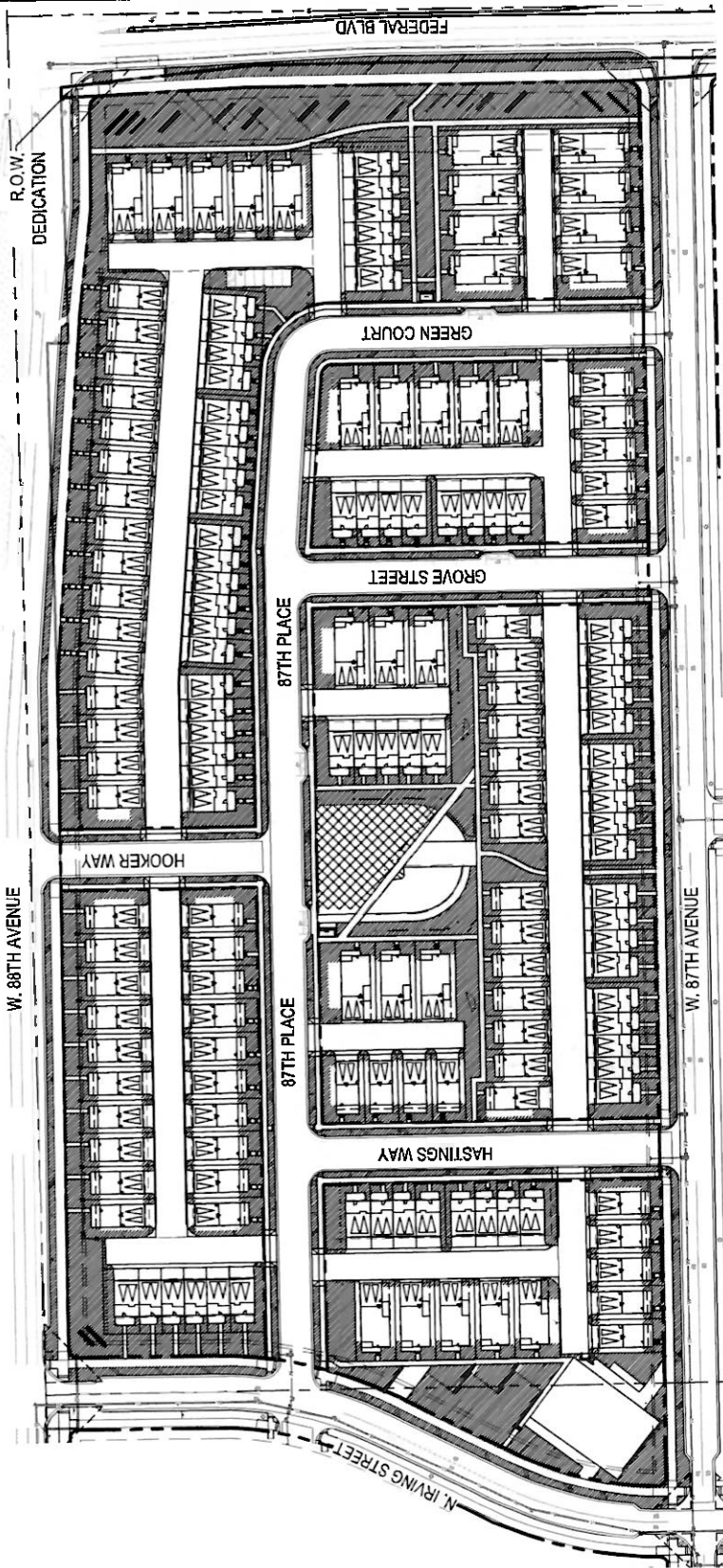
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 OFFICIAL DEVELOPMENT PLAN
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OFFICIAL DEVELOPMENT PLAN	PREPARED: 11.03.2023
REVISIONS	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024

59 OF 138
 HYDROZONE PLAN



- NOTES:
1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.
 2. TOTAL LANDSCAPE AREA EXCLUDES SFD HOMES.
 3. ALL IRRIGATION USES A POTABLE WATER SOURCE.
 4. ROCK MULCH AS SPECIFIED IN THE MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH
 5. HOSE BIBS WILL BE PROVIDED FOR INDIVIDUAL HOMEOWNER USE ON ALL SFD AND PAIRED HOMES.

LEGEND

- MODERATE WATER USE
- HIGH WATER USE
- SITE BOUNDARY

NOTES:

- * PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEET 7 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.

LANDSCAPE WATER BUDGET			
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH	7.1	10,622	X 18 GAL = 191,196
MEDIUM	76.6	129,395	X 10 GAL = 1,293,950
LOW	16.3	0	X 3 GAL = 0
TOTAL ALL HYDROZONES:	100	140,017	TOTAL GAL = 1,485,146
TOTAL GAL / TOTAL LANDSCAPED AREA =			10.6 GAL / SF
MEDIUM (PRIVATELY IRRIGATED AREA)*	100%	96,603	X 10 GAL = 966,030

NOTES:

- * PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEET 8 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.



SCALE 1" = 80'

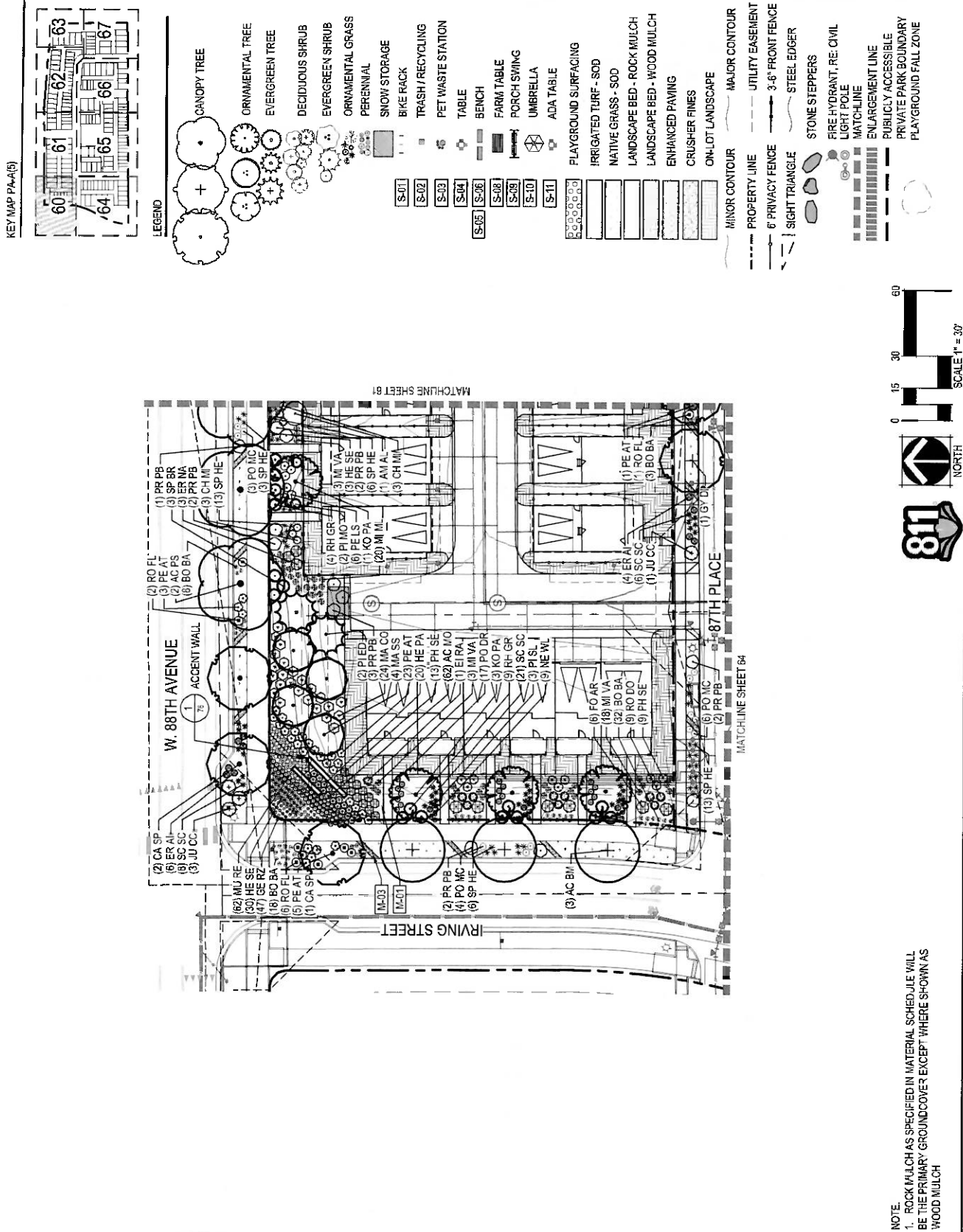
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UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 60 OF 138



UPLANDS
 DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

REVISIONS	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024
PREPARED: 11.03.2023	
60 OF 138	LANDSCAPE PLAN



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 61 OF 138



UPLANDS

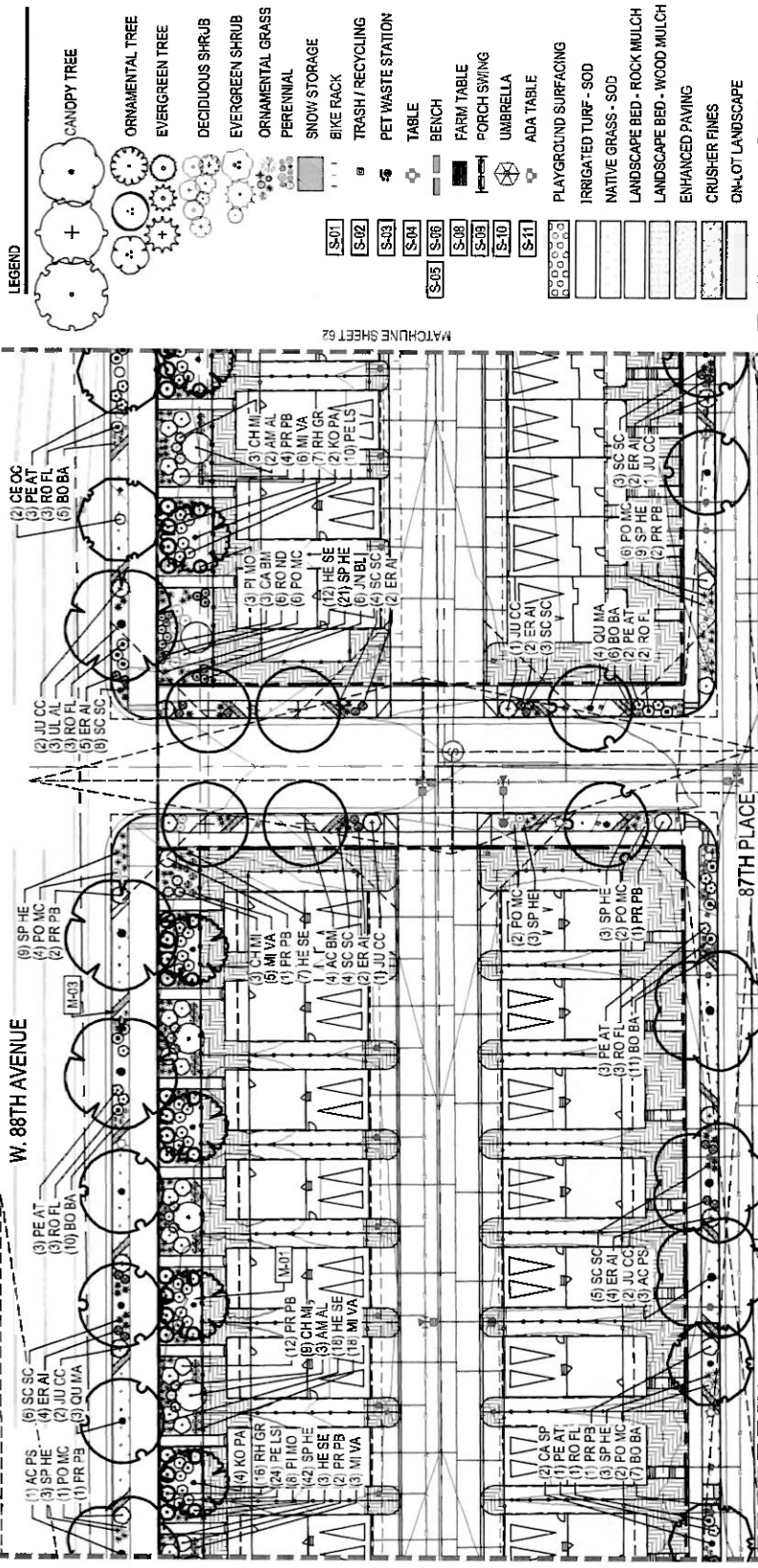
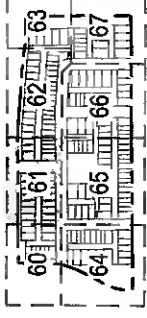
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 WESTMINSTER, COLORADO**

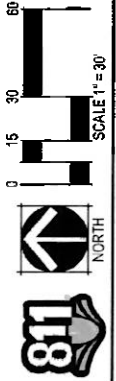
OFFICIAL DEVELOPMENT PLAN	PREPARED: 11.03.2023
REVISIONS	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024

61 OF 138
 LANDSCAPE PLAN

KEY MAP P.A.4(5)



- LEGEND**
- ORNA MENTAL TREE
 - EVERGREEN TREE
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - ORNA MENTAL GRASS
 - PERENNIAL
 - SNOW STORAGE
 - BIKE RACK
 - TRASH / RECYCLING
 - PET WASTE STATION
 - TABLE
 - BENCH
 - FARM TABLE
 - PORCH SWING
 - UMBRELLA
 - ADA TABLE
 - PLAYGROUND SURFACING
 - IRRIGATED TURF - SOD
 - NATIVE GRASS - SOD
 - LANDSCAPE BED - ROCK MULCH
 - LANDSCAPE BED - WOOD MULCH
 - ENHANCED PAVING
 - CRUSHER FINES
 - ON-LOT LANDSCAPE
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - PROPERTY LINE
 - UTILITY EASEMENT
 - 3'-6" FRONT FENCE
 - 6" PRIVACY FENCE
 - SIGHT TRIANGLE
 - STONE STEPPERS
 - FIRE HYDRANT, RE: CIVIL
 - LIGHT POLE
 - MATCH-LINE
 - ENLARGEMENT LINE
 - PUBLICLY ACCESSIBLE
 - PRIVATE PARK BOUNDARY
 - PLAYGROUND FALL ZONE



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN AS WOOD MULCH

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 62 OF 138

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 10000 W. 100TH AVENUE, SUITE 100
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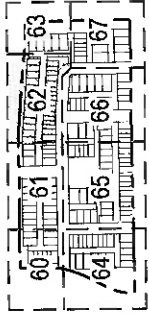
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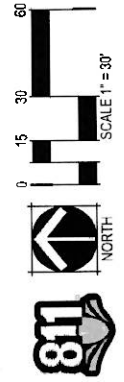
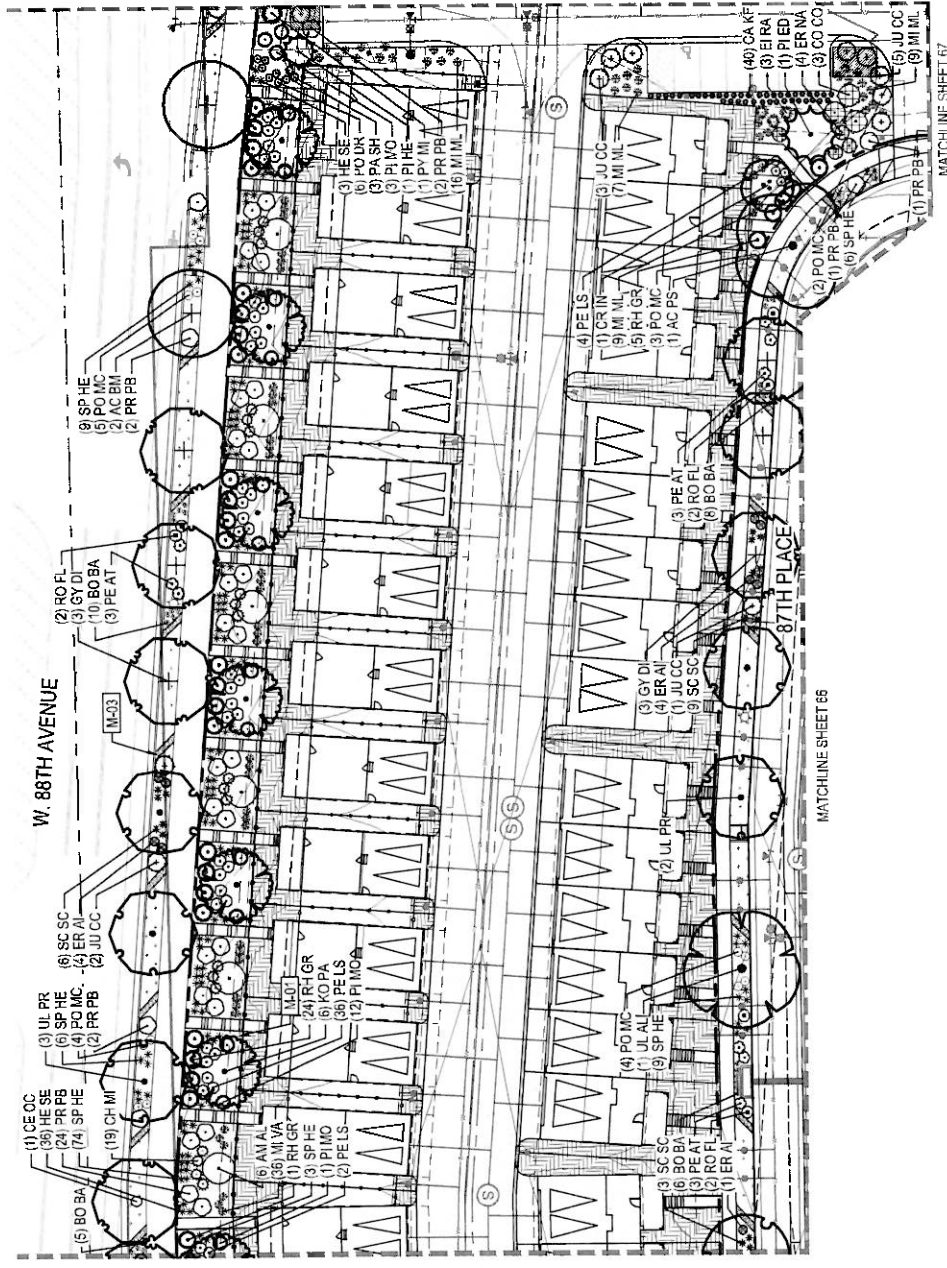
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
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62 OF 138
 LANDSCAPE PLAN

KEY MAP PA-A(6)



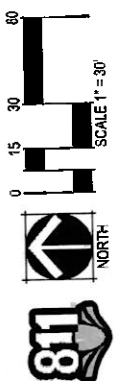
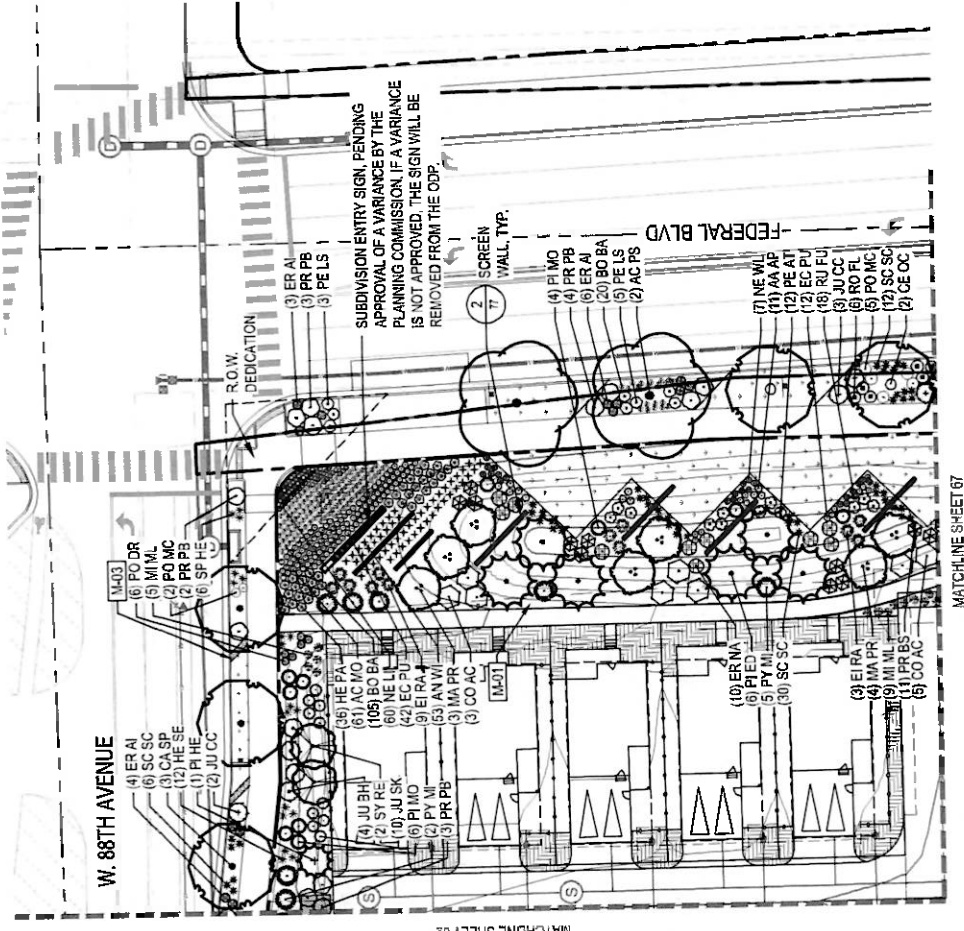
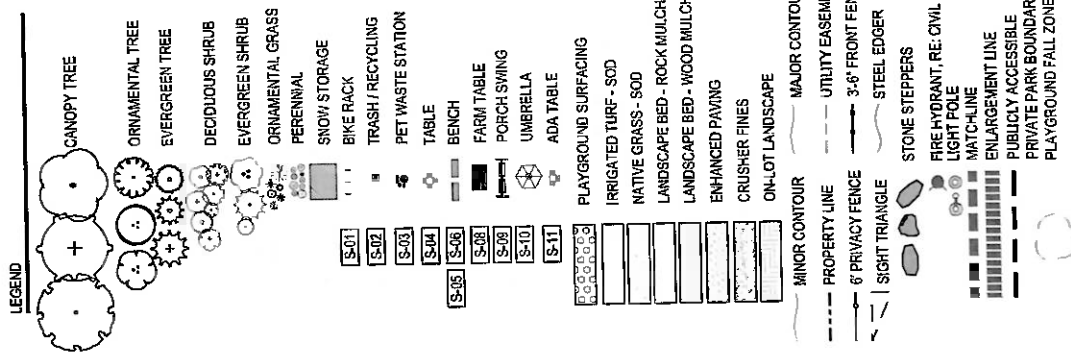
- LEGEND**
- CANOPY TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - ORNAMENTAL GRASS
 - PERENNIAL
 - SNOW STORAGE
 - BIKE RACK
 - TRASH/RECYCLING
 - PET WASTE STATION
 - TABLE
 - BENCH
 - FARM TABLE
 - PORCH SWING
 - UMBRELLA
 - ADA TABLE
 - PLAYGROUND SURFACING
 - IRRIGATED TURF - SOD
 - NATIVE GRASS - SOD
 - LANDSCAPE BED - ROCK MULCH
 - LANDSCAPE BED - WOOD MULCH
 - ENHANCED PAVING
 - CRUSH-ER PINES
 - ON-LOT LANDSCAPE
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - PROPERTY LINE
 - UTILITY EASEMENT
 - 6' PRIVACY FENCE
 - 3'-5' FRONT FENCE
 - SIGHT TRIANGLE
 - STEEL EDGER
 - STONE STEPPERS
 - FIRE HYDRANT, RE: CIVIL
 - LIGHT POLE
 - MATCH-LINE
 - ENLARGEMENT LINE
 - PUBLICLY ACCESSIBLE
 - PRIVATE PARK BOUNDARY
 - PLAYGROUND FALL ZONE



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 63 OF 138

KEY MAP PA-A(5)



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NORRIS DESIGN
 LANDSCAPE ARCHITECTS
 1500 CHERRY STREET, SUITE 100
 WESTMINSTER, CO 80057
 (303) 440-1111
 www.norrisdesign.com

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DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

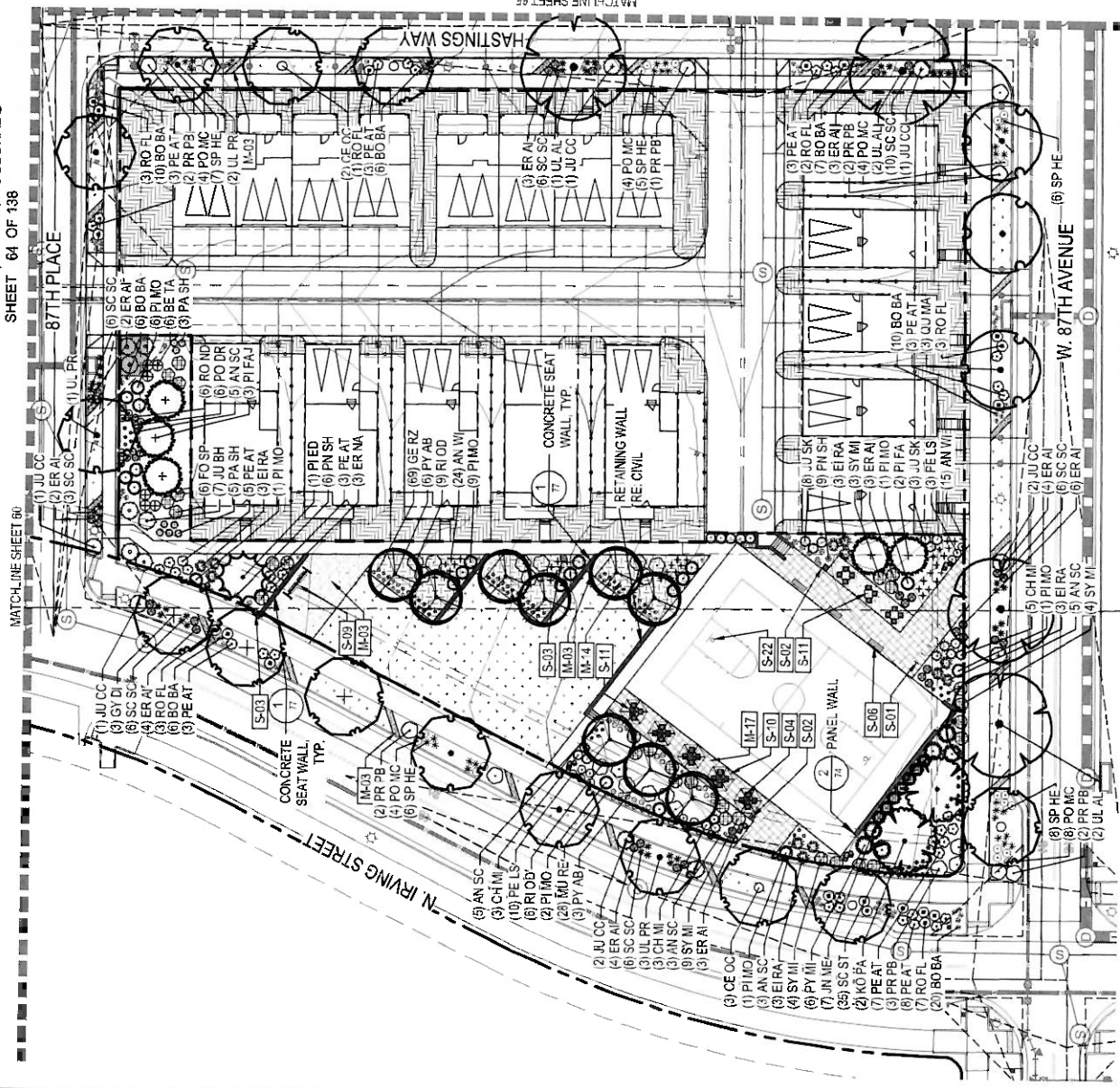
OFFICIAL DEVELOPMENT PLAN

PREPARED: 11.03.2023

REVISIONS

SUB	DATE	DESCRIPTION
SUB 01	11.03.2023	
SUB 02	03.07.2024	
SUB 03	05.03.2024	
SUB 04	06.14.2024	

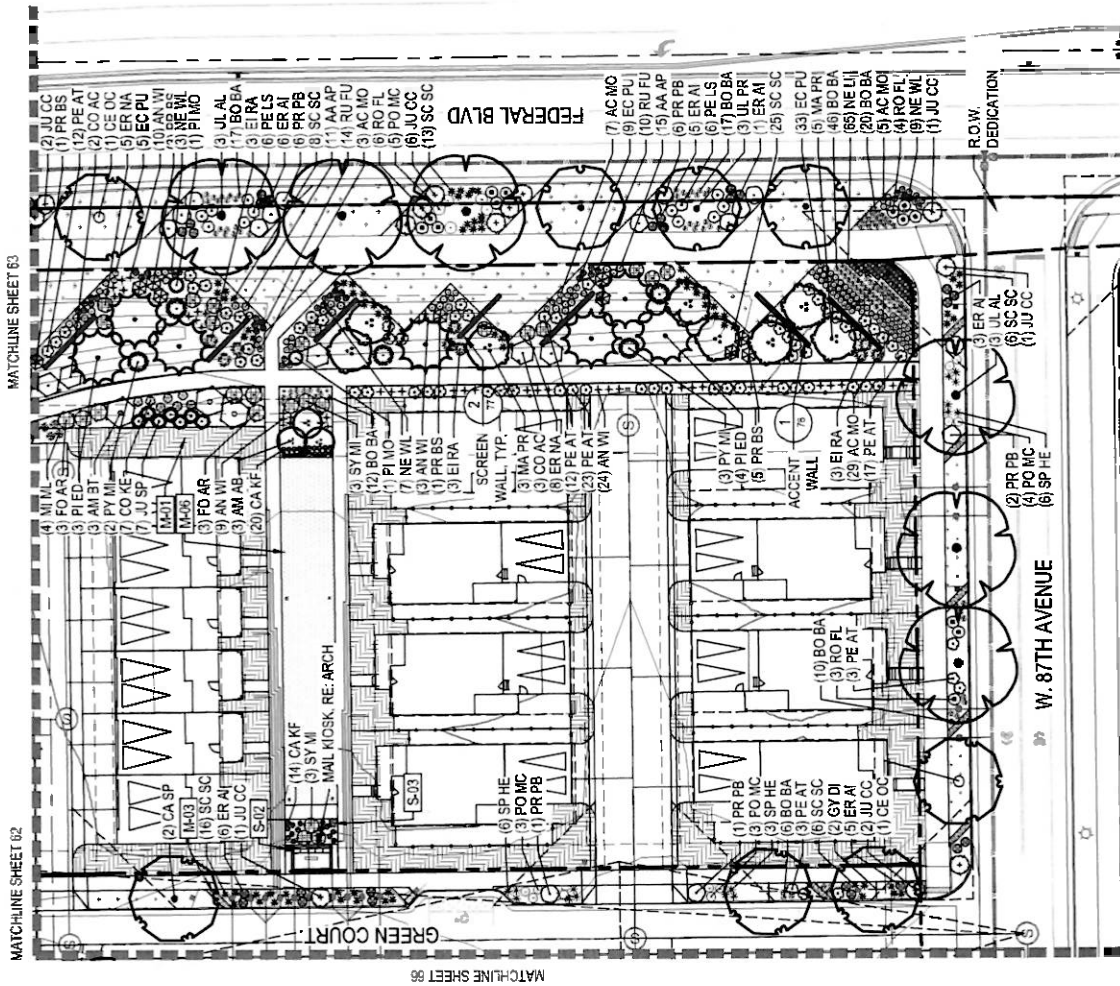
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A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 64 OF 138



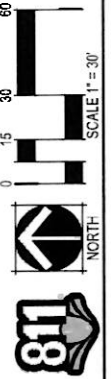
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 - PLAYGROUND FALL ZONE
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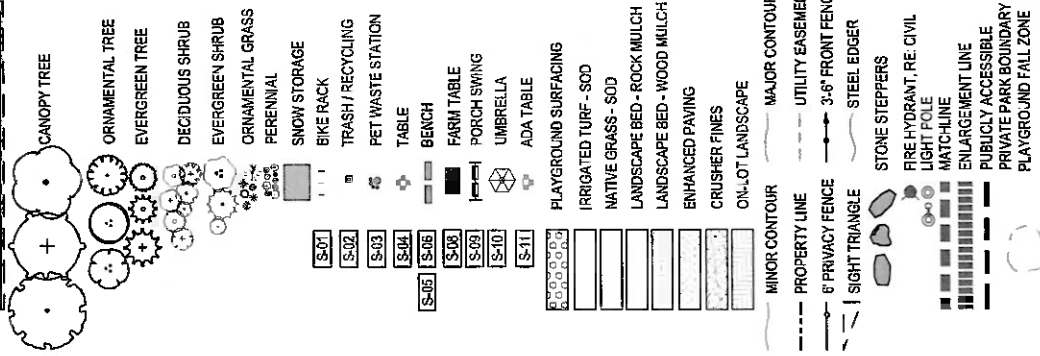
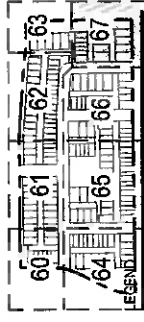
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
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 SHEET 67 OF 138



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KEY MAP PA-A(5)



UPLANDS

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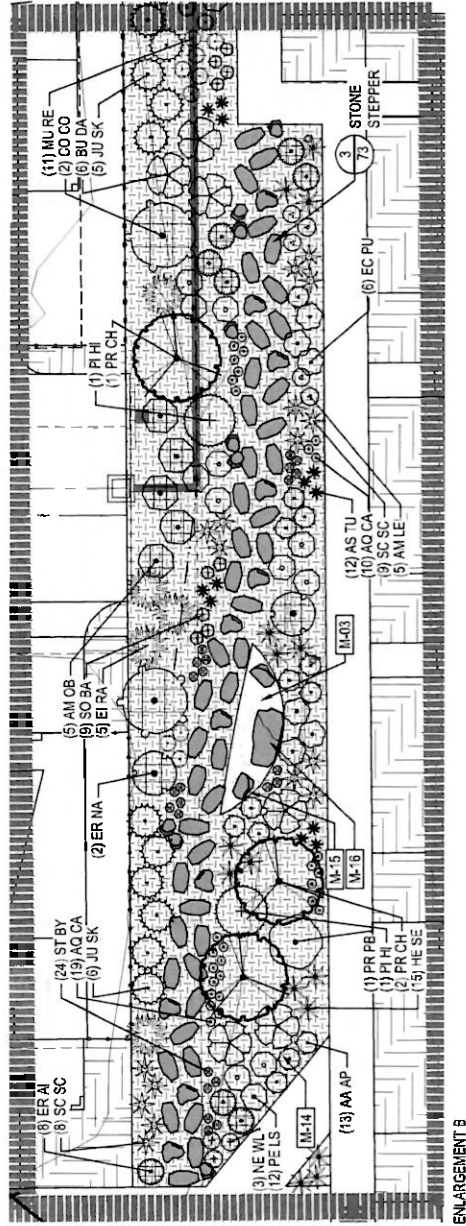
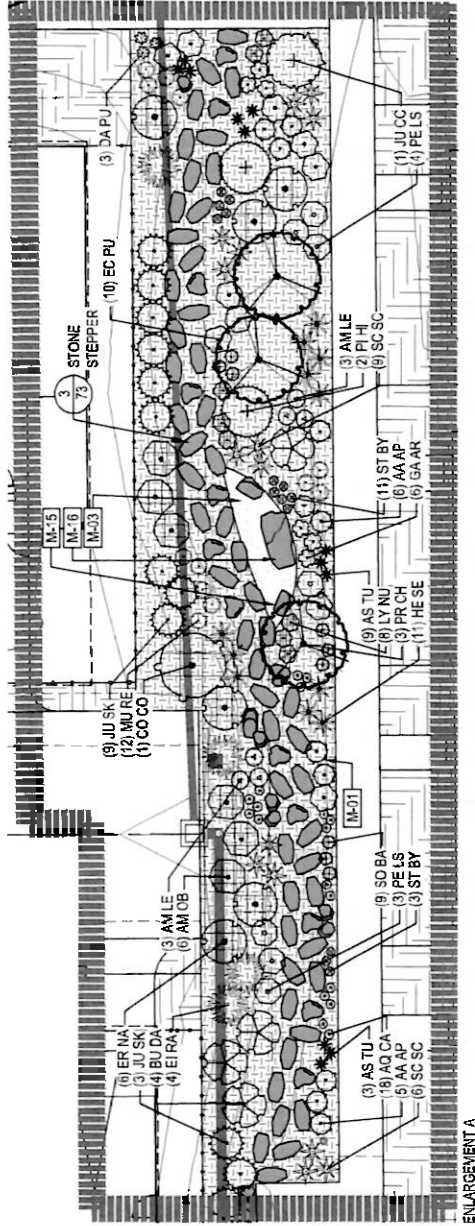
**UPLANDS FILING NO. 1
 BLOCK 5
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 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
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 SUB 04: 06.14.2024

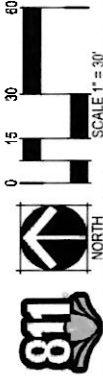
67 OF 138
 LANDSCAPE PLAN

NORRIS DESIGN
 1000 S. W. 10TH AVE.
 SUITE 100
 WESTMINSTER, CO 80057
 (303) 440-1111
 WWW.NORRISDESIGN.COM

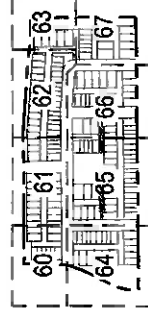
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
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 SHEET 69 OF 138



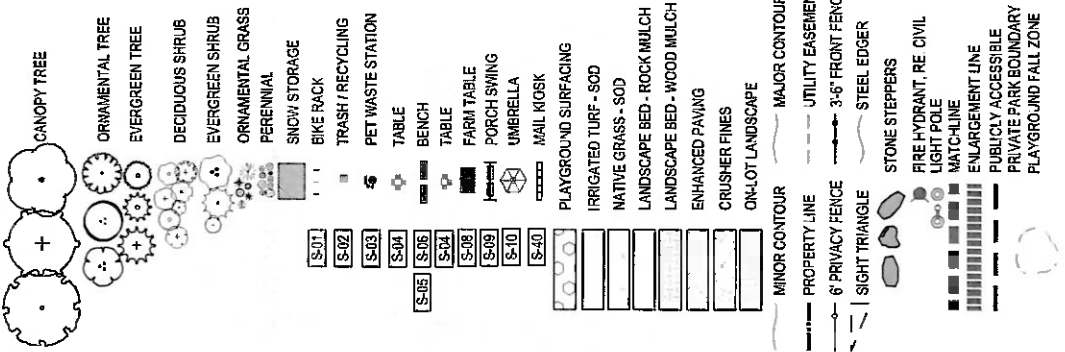
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KEY MAP PAA(5)



LEGEND



**UPLANDS FILING NO. 1
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 OFFICIAL DEVELOPMENT PLAN**

WESTMINSTER, COLORADO

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OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

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SUB 01	11.03.2023
SUB 02	03.07.2024
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69 OF 138
 LANDSCAPE
 ENLARGEMENT

NORRIS DESIGN
 LANDSCAPE ARCHITECTS
 1000 14TH AVENUE
 SUITE 100
 WESTMINSTER, CO 80057
 303.426.1000
 www.norrisdesign.com

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
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SHEET 70 OF 138

**NORRIS
DESIGN**
PLANNING & ARCHITECTURE
11. KAWATZ BLVD.
DENVER, CO 80202
303.733.8800

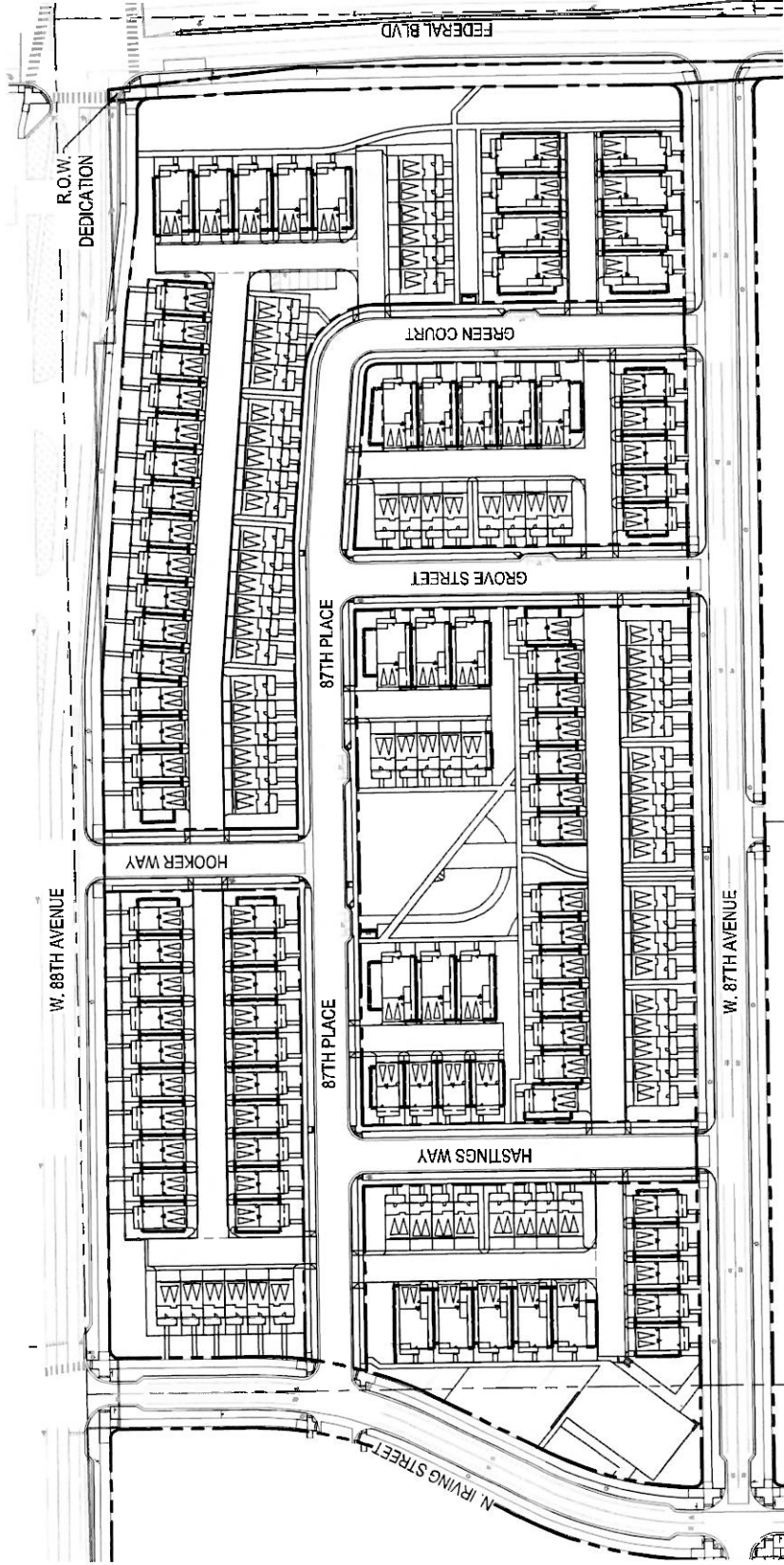
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REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
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SUB 04: 06.14.2024

70 OF 138
FENCING PLAN



- LEGEND
- SITE BOUNDARY
 - 6" PRIVACY FENCE (SEE DETAIL 1, SHEET 73)
 - 3'-6" FRONT YARD FENCE (SEE DETAIL 2, SHEET 73)
 - RETAINING WALL RE CIVIL

NOTES:
1. THE COMMON LOT, AND ON-LOT GARDEN FENCE WILL BE CONSTRUCTED BY THE HOME BUILDER AND WILL BE MAINTAINED / REPLACED BY THE HOA.

ADA COMPLIANCE
PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE ADA REGULATIONS.



SCALE: 1" = 80'

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 71 OF 138

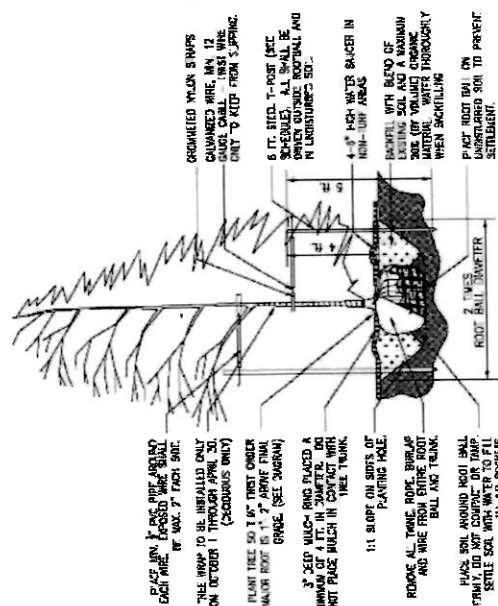
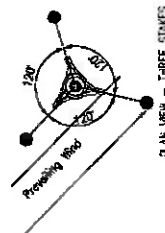
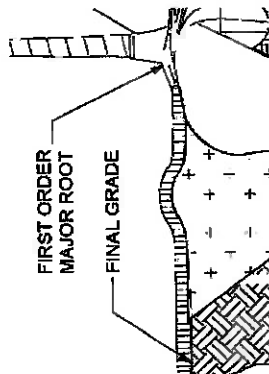
NORRIS DESIGN
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 DENVER, CO 80231
 303.755.1000
 www.norrisdesign.com

UPLANDS
 DATE: 06.14.2024

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71 OF 138
 LANDSCAPE DETAILS

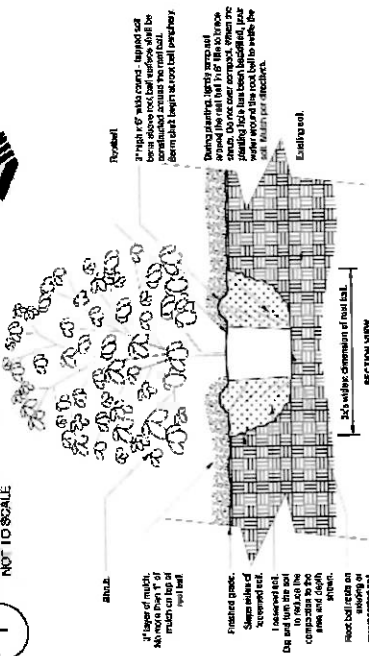


PRUNING NOTES:
 ALL PRUNING SHALL COMPLY WITH ALL APPROPRIATE STANDARDS.
 DO NOT PRUNE YOUNG TREES.
 CROSSEDER LINES, CO-DOMINANT LEADERS AND BROKEN BRANCHES.
 SOME INTERIOR TWIGS AND BRANCHES MAY BE REMOVED TO IMPROVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:
 STAKE TREES FOR FOLLOWING SCHEDULE. THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWING: (GENERAL N.W. SIDE)
 1" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF TRUNK AND WIND ONE 1" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.
 2" CALIPER SIZE AND LARGER - 3 STAKES PER CROWN.
 WHITE OR ORANGE 1/2" DIA. 12 GAUGE, 12 FT. MIN. WIRE OR CABLE ONLY. ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK EXPANSION. PLANT STRIPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1" OF GROWTH AND BUTTER ALL UNPAVED FROM WIND.

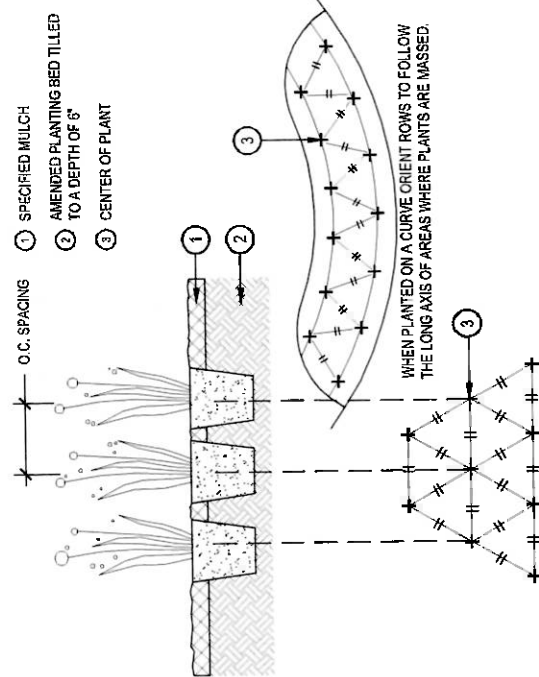


1 TREE PLANTING DETAIL
 NOT TO SCALE



NOTES:
 1. Shrub shall be of quality per ANSI Standards 2-90.
 2. Mulch shall be sufficient to cover the root ball and be amended to meet City requirements.

2 SHRUB PLANTING DETAIL



3 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

WESTMINSTER

1. FINISHED GRADE - TOP OF SOD
THATCH LAYER AND TOP OF
MULCH SHALL BE FLUSH WITH
TOP OF EDGER
2. TURF THATCH
3. AMENDED SOIL PER
SPECIFICATIONS
4. SUBGRADE
5. STEEL EDGER - DRILL (16) 1/2" DIA.
HOLES 1" O.C. MIN. AT ALL LOW
POINTS OR POORLY DRAINING
AREAS IN ORDER TO ENSURE
ADEQUATE DRAINAGE
6. EDGER STAKE

1. SPECIFIED LANDSCAPE MULCH
2. FINISHED SOIL GRADE
3. FINISH-ED GRADE
4. CONCRETE FLATWORK, RE.
CIVIL

LONGITUDINAL
SECTION OF EDGER AT
LOW POINT

SECTION

NOTES:
1. THERE SHALL BE NO EXPOSED SHARP /
JAGGED EDGES.
2. CONTRACTOR SHALL INSTALL STAKES AS
REQUIRED BY THE MANUFACTURER.

SCALE: 1" = 1'-0"

1. CRUSHER FINES

2. STEEL EDGER

3. LANDSCAPE BOULDER

4. TYPICAL CONCRETE TO PLANTING BED TRANSITION

5. CRUSHER FINES

6. LANDSCAPE BOULDER

7. CRUSHER FINES

8. LANDSCAPE BOULDER

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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 73 OF 138

NORRIS DESIGN
 100 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 WWW.NORRISDESIGN.COM

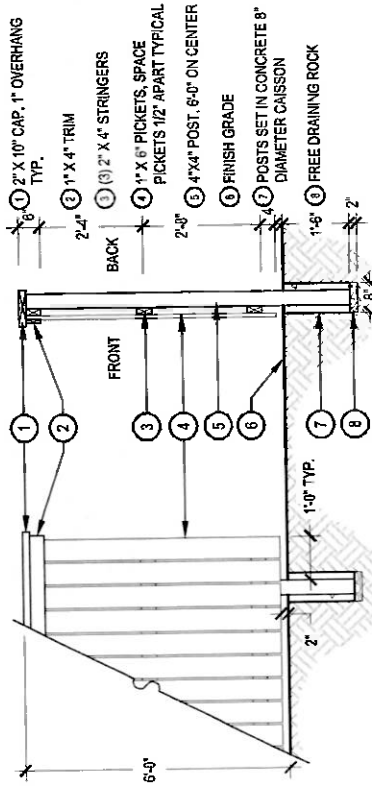
UPLANDS

DATE: 06.14.2024

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 WESTMINSTER, COLORADO

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73 OF 138
 LANDSCAPE DETAILS



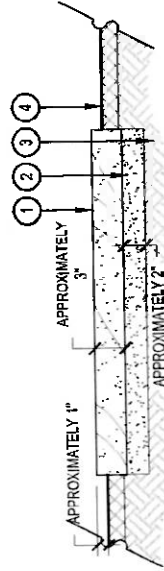
NOTES

- UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE, FRONT AND REAR LOT FENCING SHALL BE SET BACK TO THE FRONT AND BACK FACE OF BUILDING RESPECTIVELY AT A MINIMUM.
- ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION. WOOD STAIN COLOR: BANYAN BROWN
- ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
- ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

1 6' PRIVACY FENCE

SCALE: 1/2" = 1'-0"

- SANDSTONE STEPPER WITH NATURAL CLEFT FACE, APPROXIMATELY 36" x 18" x 3"
- 2" SAND SETTING LAYER
- SUBGRADE COMPACTED TO 95% PROCTOR DENSITY
- SURROUNDING LANDSCAPE, TOP OF STEPPER SHALL BE SET 1" ABOVE ADJACENT LANDSCAPE, REFER TO PLANS

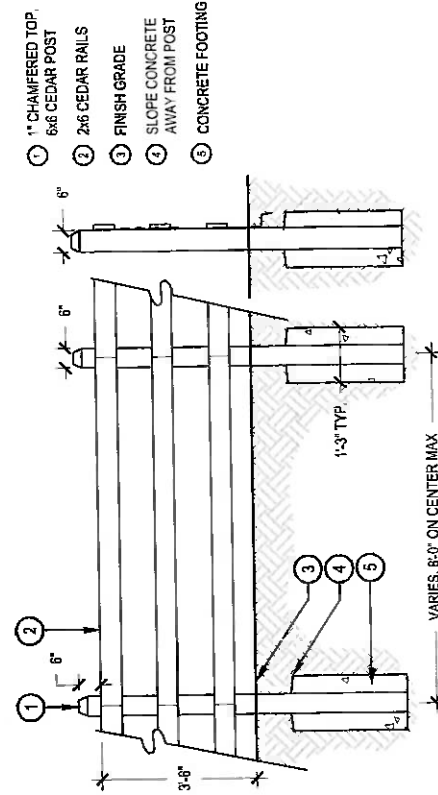


NOTES

- TAMP STONES WITH VIBRATORY PLATE COMPRESSOR TO LOCK STONES IN PLACE.
- SEE PLAN FOR LOCATION.

3 STONE STEPPER

SCALE: 1 1/2" = 1'-0"



NOTES

- RAILS SHALL FACE EXTERIOR OF FENCE ENCLOSURE.
- FASTEN RAILS WITH GALVANIZED SCREWS, SET FLUSH.
- ALL WOOD SHALL BE ARCHITECT KNOTTY OR BETTER WESTERN RED CEDAR, STANDARD ROUGH SAWN, AND KILN-DRIED.

2 3'-6" FRONT YARD FENCE

SCALE: 1/2" = 1'-0"

- CONCRETE WALK
- #4 REBAR 24" ON CENTER
- 1" DEEP CONTROL JOINT
- #4 REBAR 24" ON CENTER
- CONCRETE CURB, 2' RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND
- ENGINEERED WOOD FIBER SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET 44.
- 3/4" WASHED GRAVEL
- GEOTEXTILE FILTER / DRAINAGE MAT
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

- NOTES**
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 - THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.
 - SCORE JOINTS ON THE WALKS PERPENDICULAR TO THE CURB SHALL EXTEND THROUGH THE ENTIRE DEPTH OF THE CURB.
 - SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

4 MONOLITHIC CONCRETE PLAYGROUND CURB

SCALE: 1 1/2" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 74 OF 138



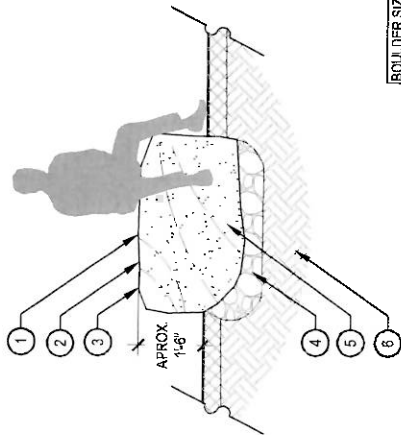
UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS	
SUB 01	11.03.2023
SUB 02	03.07.2024
SUB 03	05.03.2024
SUB 04	06.14.2024
PREPARED: 11.03.2023	
OFFICIAL DEVELOPMENT PLAN	

74 OF 138
LANDSCAPE DETAILS



- 1 FLAT TOPPED SANDSTONE BOULDER, TO BE SET LEVEL SIDE UP
- 2 MULCH TO BOULDERS, NO GAPS
- 3 APPROXIMATELY 3/4 OF BOULDER EXPOSED
- 4 CRUSHER FINES FOR STABILITY AND LEVELING
- 5 1/4 OF BOULDER BURIED
- 6 COMPACTED SUBGRADE

BOULDER SIZES		
QTY.	ITEM	SIZE
4	A SIZED BOULDER	APPROXIMATELY 24" X 36"
5	B SIZED BOULDER	APPROXIMATELY 30" X 72"

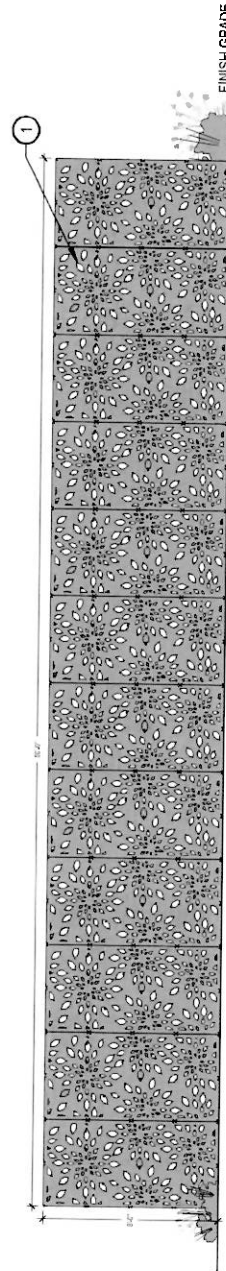
- NOTES:
- SIZE VARIES. SEE PLAN FOR LOCATION
 - REFER TO LANDSCAPE PLAN FOR SEATING BOULDER QUANTITY.
 - BOULDERS IN SEATING AREAS SHALL BE FLAT-TOPPED.
 - THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS OF ALL BOULDERS PRIOR TO PLACING.
 - ALL DIMENSIONS ARE APPROXIMATE WITH A 2" MAX. HEIGHT ABOVE GRADE

1 SEATING BOULDER

SCALE: 1/2" = 1'-0"

- 1 PERFORATED METAL PANEL. FINAL PATTERN AND FINISH TBD.

PLAN VIEW



ELEVATION VIEW

- NOTES:
- DETAIL PROVIDED FOR DESIGN INTENT ONLY. SHOP DRAWINGS REQUIRED.
 - STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS
 - INSTALL PER MANUFACTURERS SPECIFICATIONS

2 PANEL WALL

SCALE: 1/4" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 75 OF 138



UPLANDS

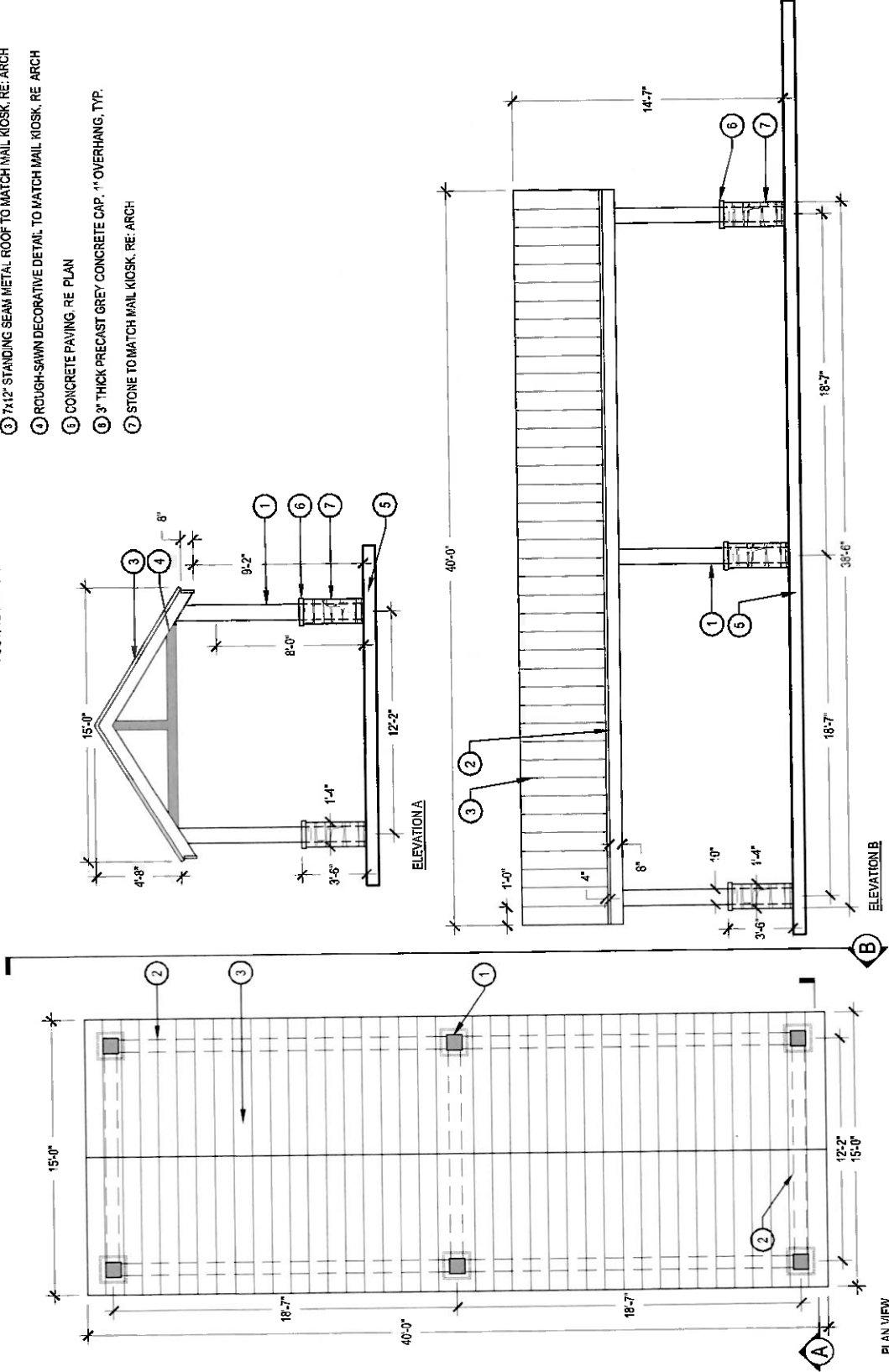
DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS	
SUB 01	11.03.2023
SUB 02	03.07.2024
SUB 03	05.03.2024
SUB 04	06.14.2024
OFFICIAL DEVELOPMENT PLAN	

75 OF 138
LANDSCAPE DETAILS

- NOTES:
- DETAIL PROVIDED FOR DESIGN INTENT ONLY. SHOP DRAWINGS REQUIRED.
 - STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS
- 10 x 10" ROUGH SAWN CEDAR COLUMN
 - 8x8" ROUGH SAWN CEDAR BEAM. BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL)
 - 7x12" STANDING SEAM METAL ROOF TO MATCH MAIL KIOSK. RE: ARCH
 - ROUGH-SAWN DECORATIVE DETAIL TO MATCH MAIL KIOSK. RE: ARCH
 - CONCRETE PAVING. RE: PLAN
 - 3" THICK PRECAST GREY CONCRETE CAP, 1" OVERHANG, TYP.
 - STONE TO MATCH MAIL KIOSK. RE: ARCH



SCALE: 1/4" = 1'-0"

1 PARK SHADE STRUCTURE

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 76 OF 138



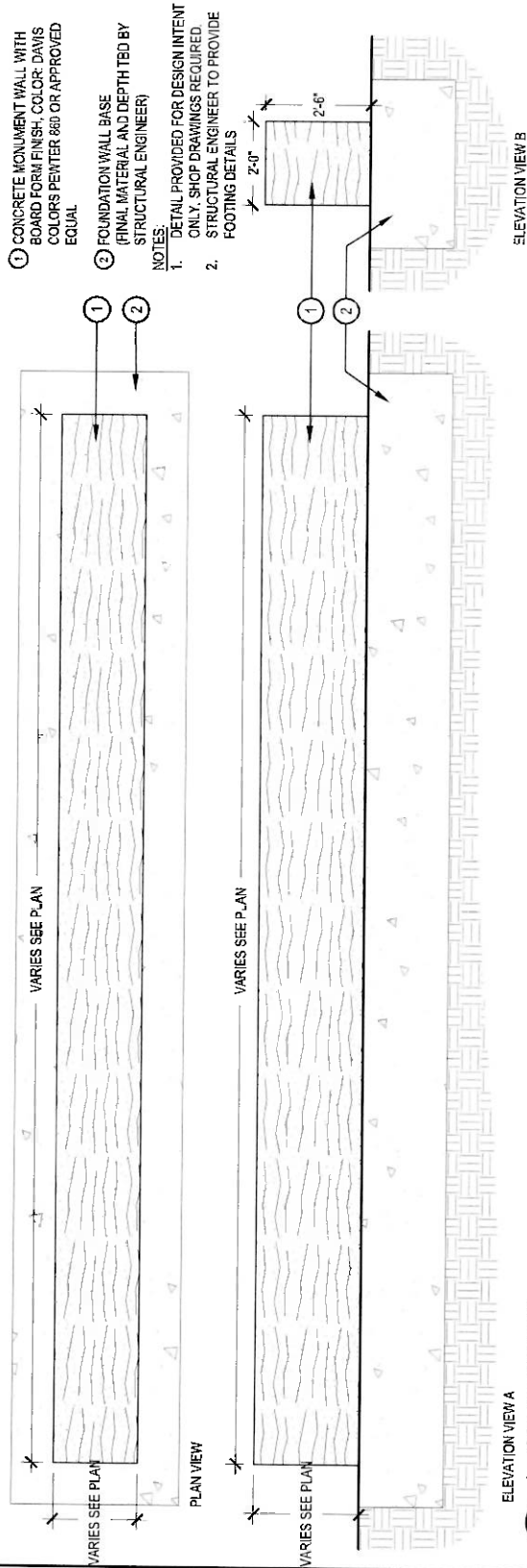
UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

76 OF 138
 LANDSCAPE DETAILS



1 ACCENT WALLS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 77 OF 138



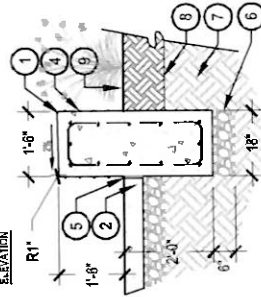
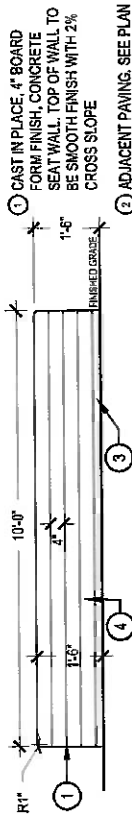
UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

77 OF 138
LANDSCAPE DETAILS

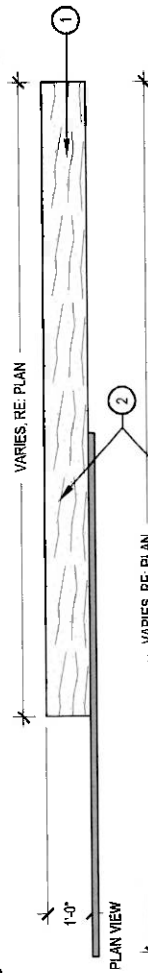


CHARACTER IMAGE - REFERENCE ONLY

NOTE:
1. CONTRACTOR TO HAVE STRUCTURAL ENGINEER TO REVIEW AND APPROVE FOOTING AND STEEL REINFORCEMENT PRIOR TO CONSTRUCTION.
2. NORRIS DESIGN TO APPROVE MOCK-UP IN FIELD PRIOR TO CONSTRUCTION.

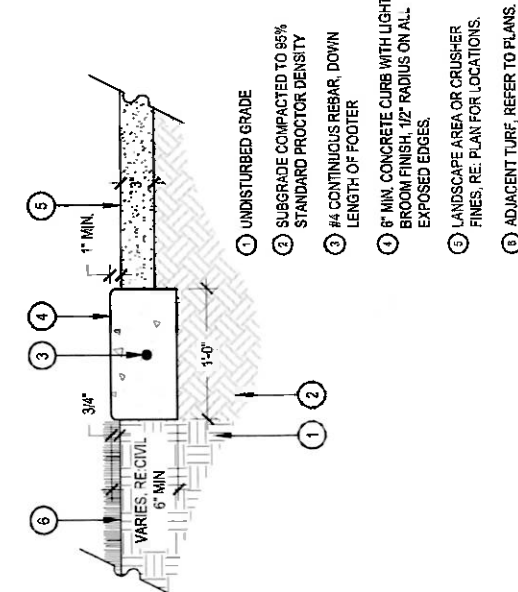
1 CONCRETE SEAT WALL

SCALE: 1/2" = 1'-0"



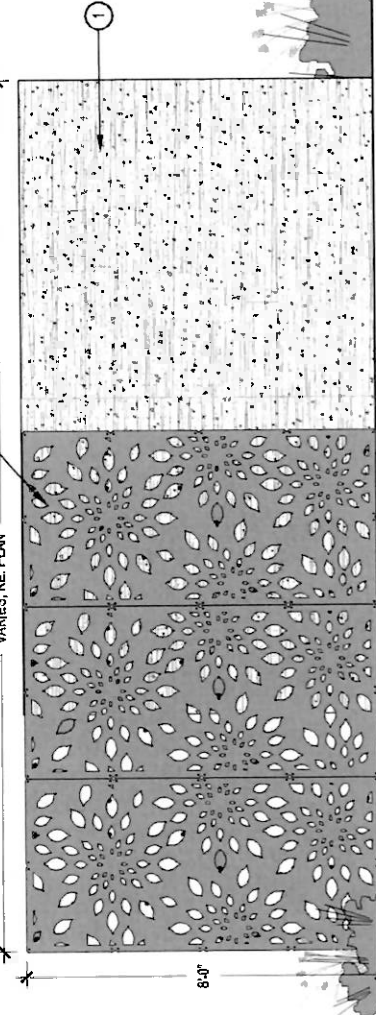
2 CONCRETE EDGER

SCALE: 1/2" = 1'-0"



- 1 BOARD FORM CONCRETE SCREEN WALL.
- 2 PERFORATED METAL PANEL. FINAL PATTERN AND FINISH TBD.

NOTES:
DETAIL PROVIDED FOR DESIGN INTENT ONLY. SHOP DRAWINGS REQUIRED.
1. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS



3 SCREEN WALLS

SCALE: 1/2" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 78 OF 138



UPLANDS

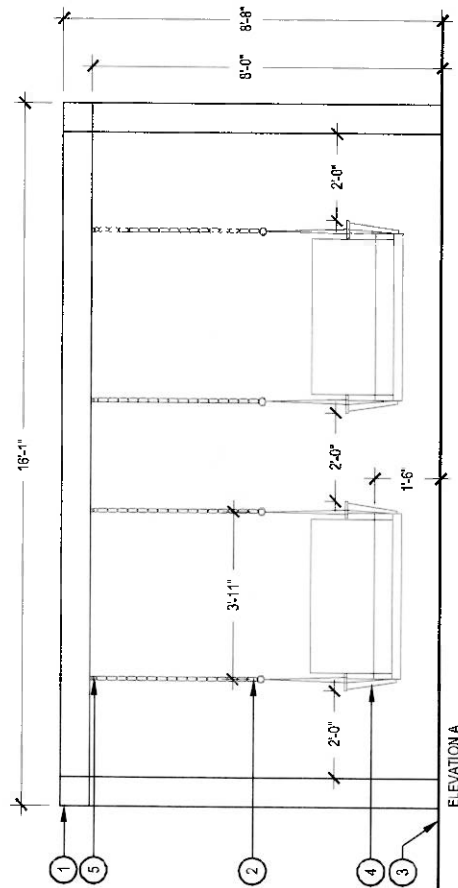
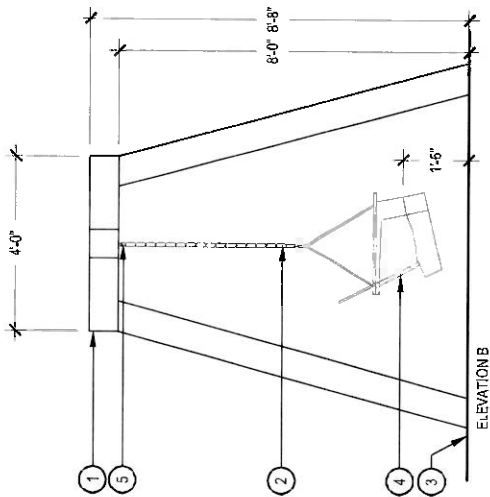
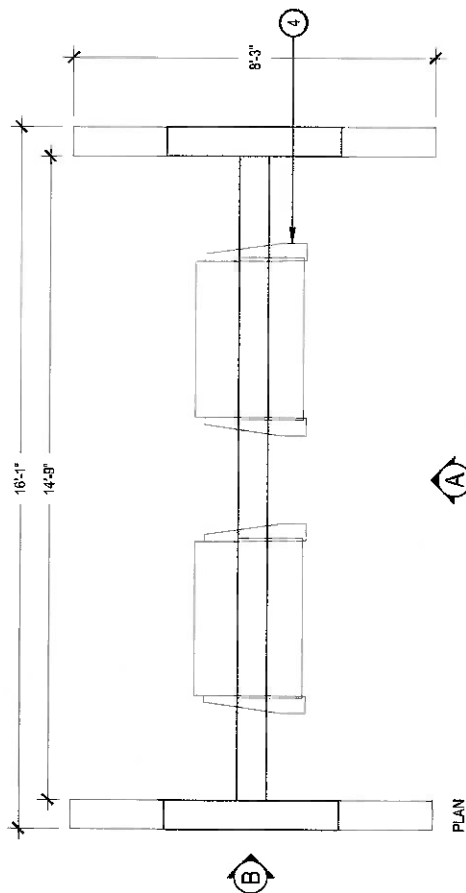
DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS	
SUB 01	11.03.2023
SUB 02	03.07.2024
SUB 03	05.03.2024
SUB 04	06.14.2024
OFFICIAL DEVELOPMENT PLAN	
PREPARED: 11.03.2023	

78 OF 138
LANDSCAPE DETAILS

- 1 8x6" ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- 2 CHAIN WITH QUICK LINK CONNECTION
- 3 CONCRETE
- 4 ADIRONDACK PORCH SWING SEE AMENITY SCHEDULE
- 5 3/8" SHANK DIAMETER 1 BOLT



- NOTES:
- DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
 - STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.
 - RECOMMEND APPROXIMATELY A 2" MINIMUM CLEARANCE IN THE BACK AND FRONT, AND A MINIMUM OF 1" ON EITHER SIDE.
 - SEE LOLL ADIRONDACK PORCH SWING FOR ADDITIONAL DETAILS, INSTALLATION METHODS, AND SPECIFICATIONS.

1 SWING BENCH FRAME

SCALE: 1/2" = 1'-0"

1

FREE STANDING CONCRETE PLAYGROUND CURB

SCALE: 1" = 1'-0"

2

BASKETBALL SURFACING

SCALE: 1/8" = 1'-0"

1

ADJACENT LANDSCAPE REFER TO LANDSCAPE PLANS

2

CONCRETE CURB, 2' RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND

3

(2) #4 REBAR 24" ON CENTER

4

ENGINEERED WOOD FIBER SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET 14

5

GEOTEXTILE FILTER / DRAINAGE MAT

6

3/4" WASHED GRAVEL

7

SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

1

RENNER SPORTS SURFACING COLOR: KHAKI

2

BASKETBALL HOOP, REFER TO AMENITY SCHEDULE ON SHEET 54

3

RENNER SPORTS SURFACING COLOR: DARK GREEN

4

RENNER SPORTS SURFACING COLOR: LIGHT GREEN

1

ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,500 PSI AT 28 DAYS.

2

THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.

3

SCORE JOINTS SHALL BE SPACES 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.

4

SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

1

ADJACENT LANDSCAPE REFER TO LANDSCAPE PLANS

2

CONCRETE CURB, 2' RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND

3

(2) #4 REBAR 24" ON CENTER

4

ENGINEERED WOOD FIBER SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET 14

5

GEOTEXTILE FILTER / DRAINAGE MAT

6

3/4" WASHED GRAVEL

7

SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

1

RENNER SPORTS SURFACING COLOR: KHAKI

2

BASKETBALL HOOP, REFER TO AMENITY SCHEDULE ON SHEET 54

3

RENNER SPORTS SURFACING COLOR: DARK GREEN

4

RENNER SPORTS SURFACING COLOR: LIGHT GREEN

1

ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,500 PSI AT 28 DAYS.

2

THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.

3

SCORE JOINTS SHALL BE SPACES 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.

4

SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

UPLANDS FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 79 OF 138

OFFICIAL DEVELOPMENT PLAN

DATE: 06.14.2024

UPLANDS

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

79 OF 138
LANDSCAPE DETAILS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 80 OF 138

NORRIS
DESIGN
ARCHITECTS
10000 W. 10TH AVE.
DENVER, CO 80231
303.751.1000
WWW.NORRISDESIGN.COM

UPLANDS

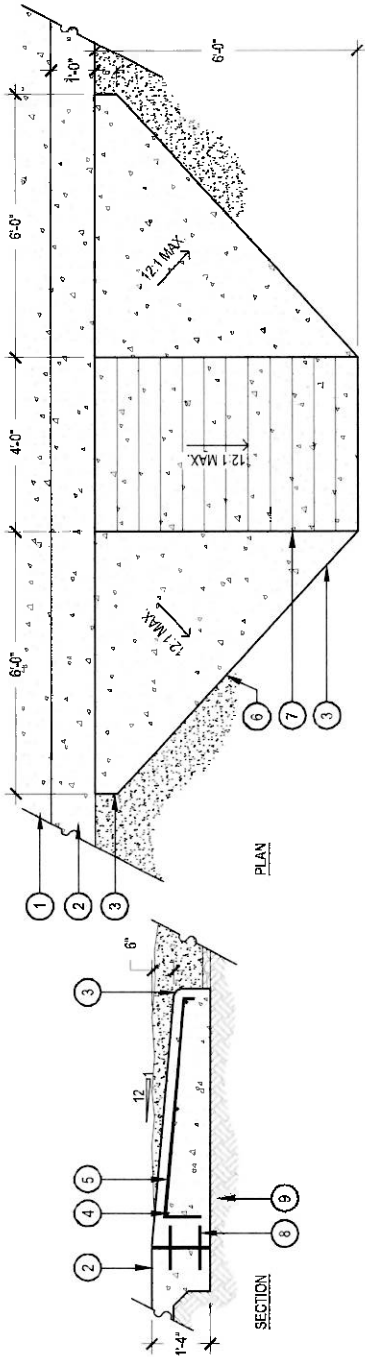
DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 11.03.2023
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

80 OF 138
LANDSCAPE DETAILS

- 1 CONCRETE WALK
- 2 MONOLITHIC CONCRETE CURB, REFER TO DETAIL 7, SHEET L-20
- 3 2" RADIUS ON ALL EXPOSED EDGES
- 4 (3) #4 REBAR
- 5 #4 REBAR 18" ON CENTER
- 6 PLAY SAFETY SURFACE, REFER TO MATERIAL SCHEDULE SHEET L-02
- 7 TOOLED SCORE JOINTS, 6" APART
- 8 (2) #4 DOWELS 18" ON CENTER
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

PLAYGROUND RAMP

SCALE: 1/2" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 81 OF 138



SFA TOWNHOME - MDP ARCHITECTURAL CHARACTERISTICS TABLE

MODEL:	3-STORY ELEV. MOUNTAIN MODERN	3-STORY ELEV. MOD. BROWNSTONE	3-STORY ELEV.SCAN
(SFA STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X
(SFA STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X
(MDP ROOF PITCH) 5 IN 12 MIN. SLOPE	NOTE: SEE EXCEPTIONS REQUEST ON SHEET 5-7		
(MDP MASONRY) 50% AVERAGE ON ALL ELEVATIONS	NOTE: SEE EXCEPTIONS REQUEST ON SHEET 5-7		
(MDP STORIES) 3 STORIES MAX.	X	X	X
(MDP HEIGHT) 40' MAX.	X	NOTE: SEE EXCEPTION REQUEST ON SHEET 5-7	
(MDP PRIVATE OUTDOOR SPACE) REAR, SIDE, FRONT YARDS OR BALCONIES / PATIOS / PORCHES / DECKS	X	X	X
(MDP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X
(MDP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X
(MDP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X
(W.M.C 11-7.4 (B)(2)) OFF STREET PARKING, 2 SPACES PER UNIT, & 1 SPACE PER 3 UNITS FOR GUEST	NOTE: SEE EXCEPTIONS REQUEST ON SHEET 5-7		
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X
(TMUND 1.5.6) 360 DEGREE ARCHITECTURE	X	X	X
(TMUND 2.4.1) ALLEY ACCESSED GARAGE	X	X	X
(TMUND 2.4.1) ENTRY PORCHES PROMINENT ARCHITECTURAL FEATURE	X	X	X
(TMUND 2.4.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X
(TMUND 2.4.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X
(TMUND 2.4.1) PRIVATE REAR YARD, FRONT YARD, OR BALCONY	X	X	X
(TMUND 2.4.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X

UPLANDS

DATE: 06.12.2024

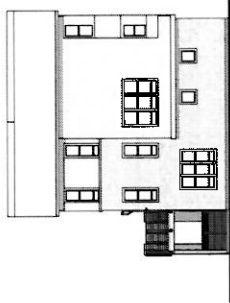
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

81 OF 138
SFA TOWNHOMES -
CHARACTERISTICS TABLE

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 82 OF 138

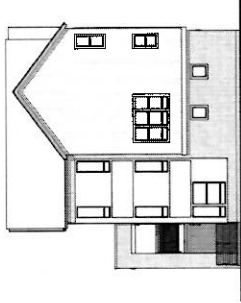
NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES



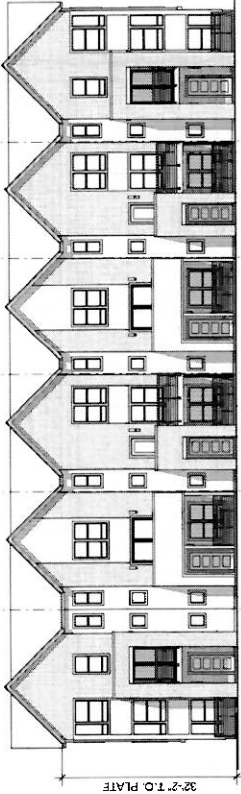
6 | 3-STORY- RIGHT ELEVATION- MOUNTAIN MODERN
1/16" = 1'-0"



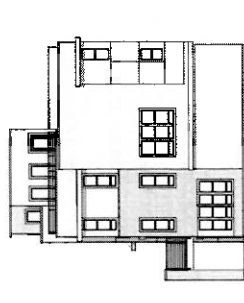
3 | 3-STORY- FRONT ELEVATION- MOUNTAIN MODERN
1/16" = 1'-0"



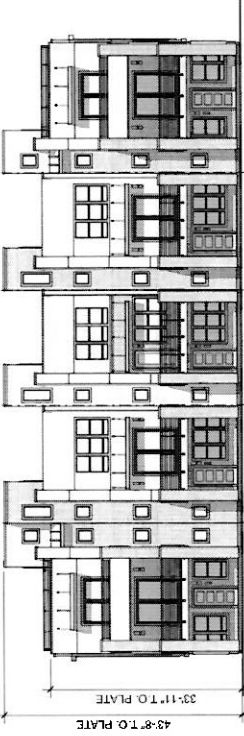
5 | 3-STORY- RIGHT ELEVATION- SCANDANAVIAN
1/16" = 1'-0"



2 | 3-STORY- FRONT ELEVATION- SCANDANAVIAN
1/16" = 1'-0"



4 | 3-STORY- RIGHT ELEVATION- MODERN BROWNSTONE
1/16" = 1'-0"



1 | 3-STORY- FRONT ELEVATION- MODERN BROWNSTONE
1/16" = 1'-0"

UPLANDS

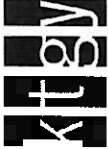
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UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 83 OF 138

PLAN 11 LOT TYPICAL



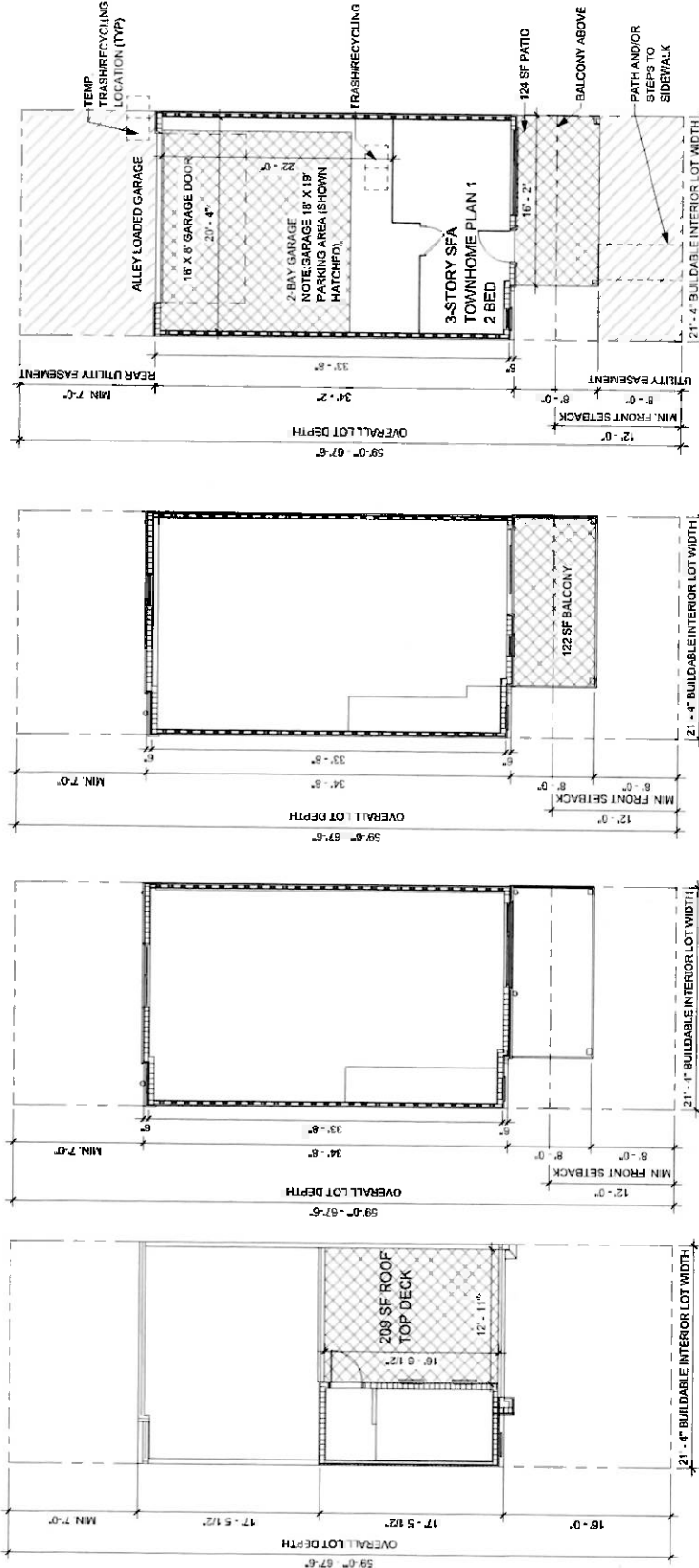
UPLANDS

DATE: 06.12.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
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SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024
PREPARED: 11.03.2023
OFFICIAL DEVELOPMENT PLAN

83 OF 138
3-STORY SFA TOWNHOME -
PLAN 11 LOT TYPICAL



PLAN 1 INTERIOR - FIRST FLOOR
1/8" = 1'-0"
STYLE: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE

PLAN 1 INTERIOR - SECOND FLOOR
1/8" = 1'-0"
STYLE: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE

PLAN 1 INTERIOR - THIRD FLOOR
1/8" = 1'-0"
STYLE: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE

PLAN 1 INTERIOR - ROOF TOP DECK
1/8" = 1'-0"
STYLE: MODERN BROWNSTONE

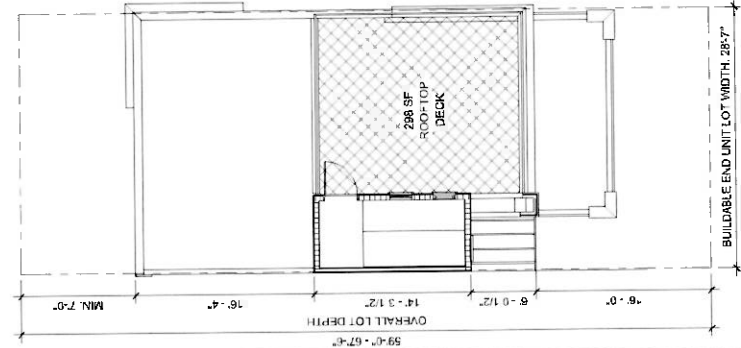
3-STORY SFA TOWNHOMES PLAN 1 LOT TYPICAL

STYLE: MODERN BROWNSTONE
TOTAL: 1,702 SQ.FT.
PATIO: 124 SQ.FT.
2ND FLOOR BALCONY: 122 SQ.FT.
ROOF TOP DECK: 209 SQ.FT.

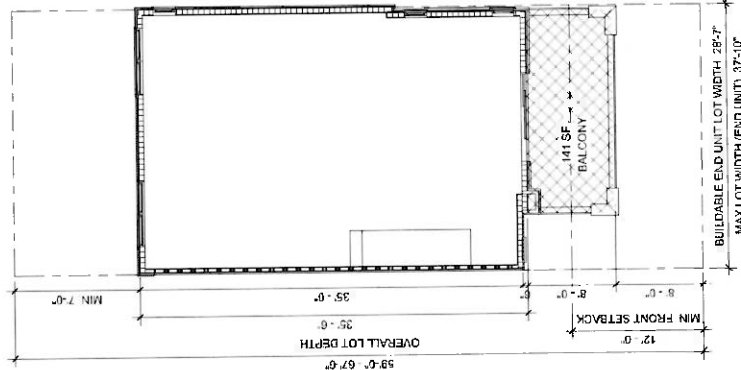
STYLE: SCANDANAVIAN & MOUNTAIN MODERN
TOTAL: 1,590 SQ.FT.
PATIO: 124 SQ.FT.
2ND FLOOR BALCONY: 122 SQ.FT.

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
 4. SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
 5. SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
 6. SFA TOWNHOMES WILL BE DESIGNED AS SOLAR READY
 7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM

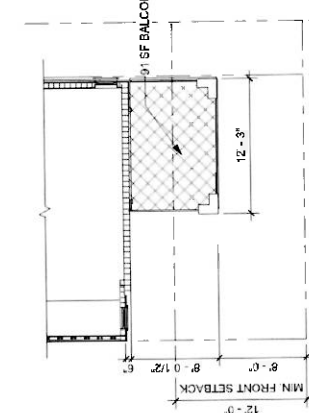
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 84 OF 138



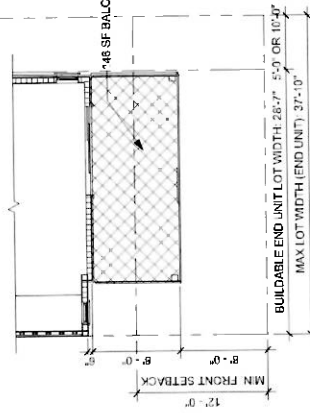
ROOF TOP DECK
1/8" = 1'-0"
STYLE: MODERN
BROWNSTONE



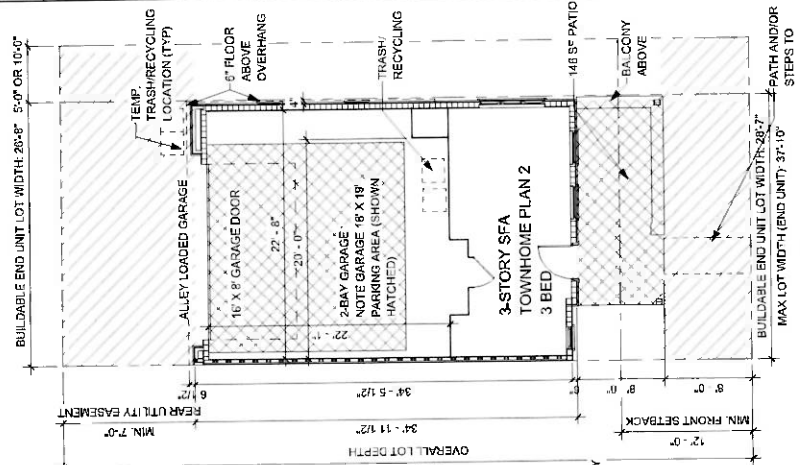
PLAN 2 END - THIRD FLOOR
1/8" = 1'-0"
STYLE: MODERN
BROWNSTONE



PLAN 2 END - SECOND FLOOR
1/8" = 1'-0"
STYLE: SCANDANAVIAN



PLAN 2 END - SECOND FLOOR
1/8" = 1'-0"
STYLE: MOUNTAIN MODERN AND
MODERN BROWNSTONE

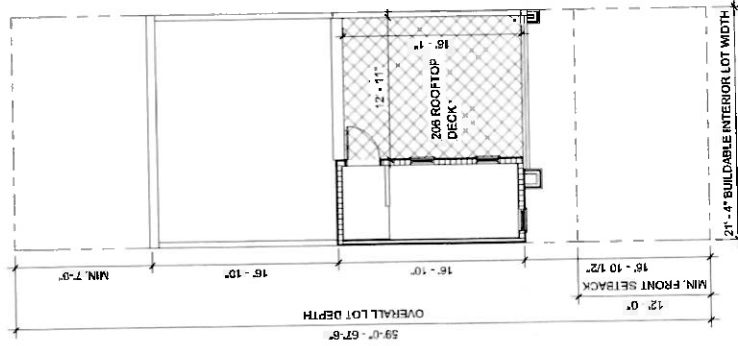
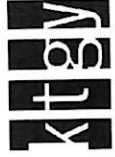


PLAN 2 END - FIRST FLOOR
1/8" = 1'-0"
STYLES: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE

3-STORY SFA TOWNHOME PLAN 2 LOT TYPICAL

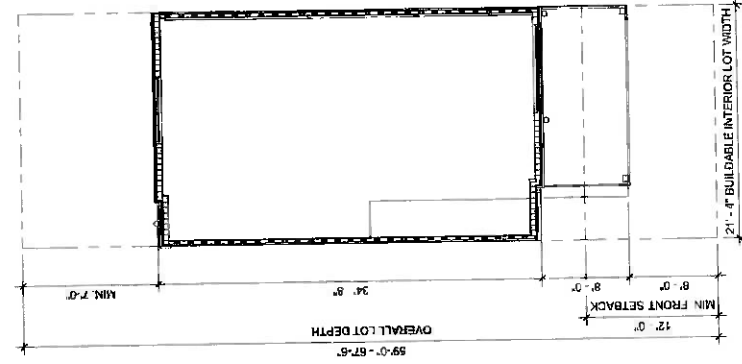
STYLE: MODERN BROWNSTONE	STYLE: SCANDANAVIAN	STYLE: MOUNTAIN MODERN
TOTAL: 1,973 SQ.FT.	TOTAL: 1,873 SQ.FT.	TOTAL: 1,873 SQ.FT.
PATIO: 146 SQ.FT.	PATIO: 146 SQ.FT.	PATIO: 146 SQ.FT.
2ND FLOOR BALCONY: 146 SQ.FT.	2ND FLOOR BALCONY: 91 SQ.FT.	2ND FLOOR BALCONY: 146 SQ.FT.
3RD FLOOR BALCONY: 146 SQ.FT.		
ROOF TOP DECK: 238 SQ.FT.		
NOTE:		
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS		
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.		
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT		
4. SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE		
5. SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE		
6. SFA TOWNHOMES WILL BE DESIGNED AS SOLAR READY		
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM		

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 85 OF 138



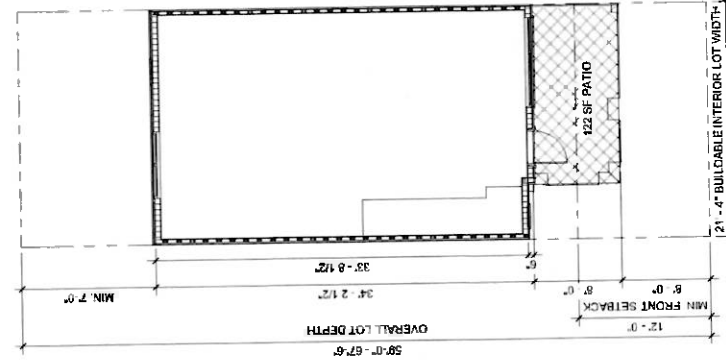
PLAN 3 INTERIOR - ROOF TOP DECK
1/8" = 1'-0"

STYLE: MODERN
BROWNSTONE



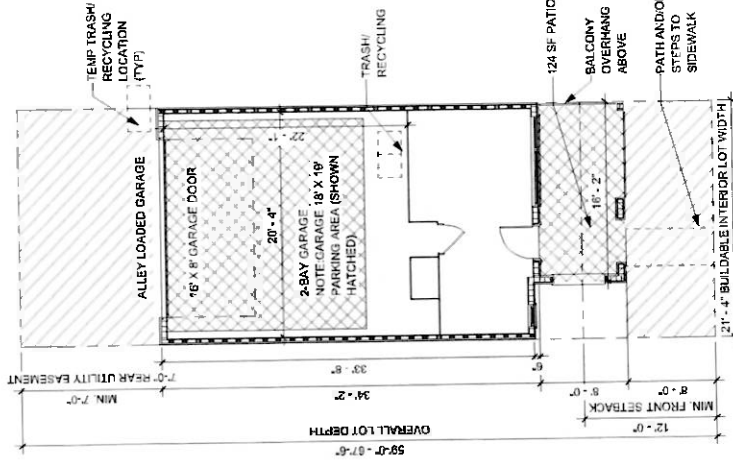
PLAN 3 INTERIOR - THIRD FLOOR
1/8" = 1'-0"

STYLE: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE



PLAN 3 INTERIOR-SECOND FLOOR
1/8" = 1'-0"

STYLE: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE



PLAN 3 INTERIOR - FIRST FLOOR
1/8" = 1'-0"

STYLES: SCANDANAVIAN,
MOUNTAIN MODERN, AND
MODERN BROWNSTONE

3-STORY SFA TOWNHOME PLAN 3 LOT TYPICAL

STYLE: MODERN BROWNSTONE
TOTAL: 1,685 SQ.FT.
PATIO: 124 SQ.FT.
2ND FLOOR BALCONY: 122 SQ.FT.
ROOF TOP DECK: 206 SQ.FT.

STYLE: SCANDANAVIAN & MOUNTAIN MODERN
TOTAL: 1,573 SQ.FT.
PATIO: 124 SQ.FT.
2ND FLOOR BALCONY: 122 SQ.FT.

NOTE:

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
4. SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
5. SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
6. SFA TOWNHOMES WILL BE DESIGNED AS SOLAR READY
7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM

UPLANDS

DATE: 06.12.2024

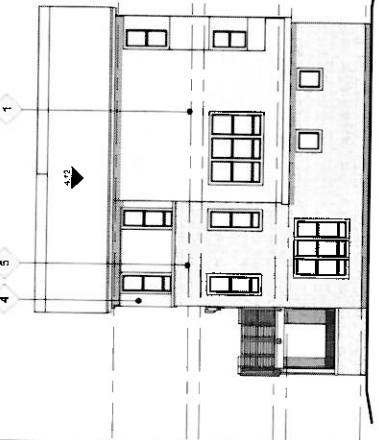
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

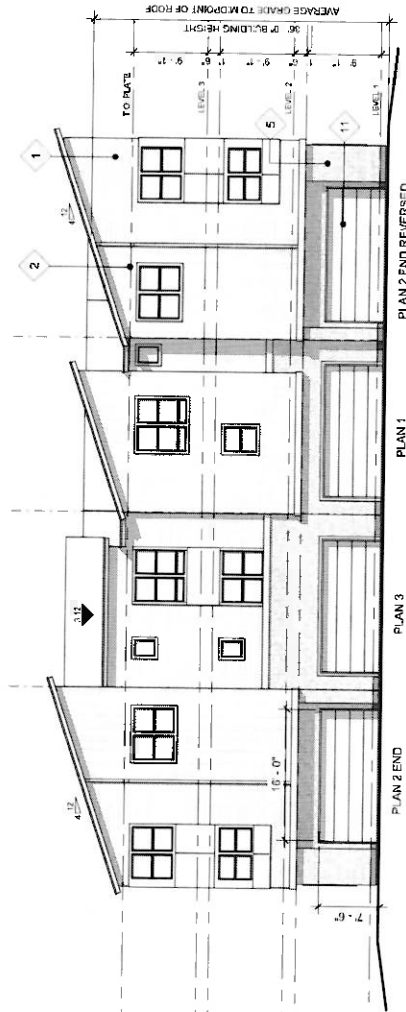
85 OF 138

3-STORY SFA TOWNHOME -
PLAN 3 LOT TYPICAL

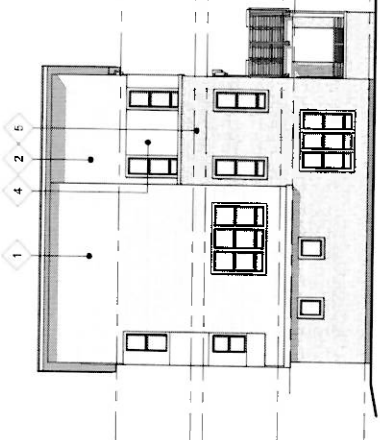
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 86 OF 138



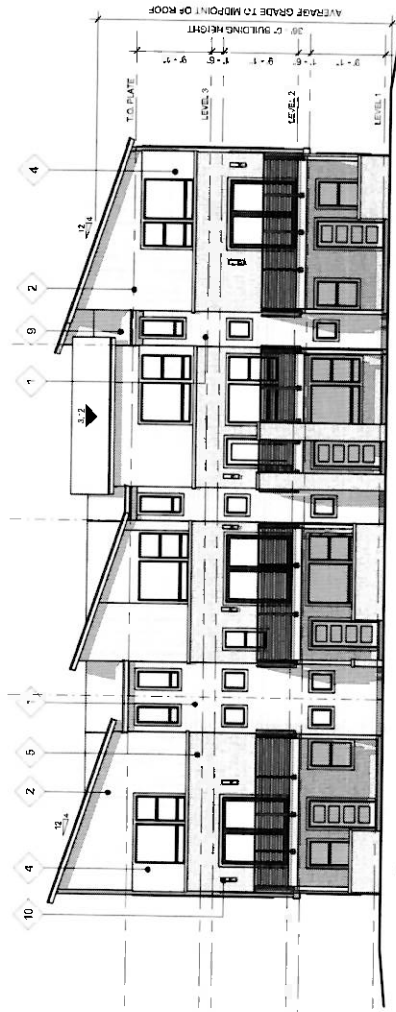
4 | 3-STORY 4-PLEX RIGHT
ELEVATION - M. MODERN
3/32" = 1'-0"



2 | 3-STORY 4-PLEX REAR ELEVATION - MOUNTAIN MODERN
3/32" = 1'-0"



3 | 3-STORY 4-PLEX LEFT
ELEVATION - M. MODERN
3/32" = 1'-0"



1 | 3-STORY 4-PLEX FRONT ELEVATION - MOUNTAIN MODERN
3/32" = 1'-0"

UPLANDS

DATE: 06.12.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5/6	MASONRY
7	PROJECTION RAINING
9	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION:	
MASONRY - 1,123 S.F. = 61%	
OTHER - 706 S.F.	
TOTAL - 2,219 S.F.	
REAR ELEVATION:	
MASONRY - 595 S.F. = 25%	
OTHER - 1,778 S.F.	
TOTAL - 2,361 S.F.	
LEFT ELEVATION:	
MASONRY - 555 S.F. = 43%	
OTHER - 851 S.F.	
TOTAL - 1,304 S.F.	
RIGHT ELEVATION:	
MASONRY - 555 S.F. = 57%	
OTHER - 517 S.F.	
TOTAL - 872 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

86 OF 138
4-PLEX ELEVATIONS -
MOUNTAIN MODERN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 87 OF 138



UPLANDS

DATE: 06.12.2024

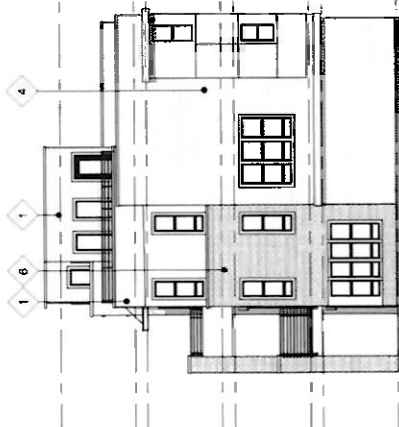
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

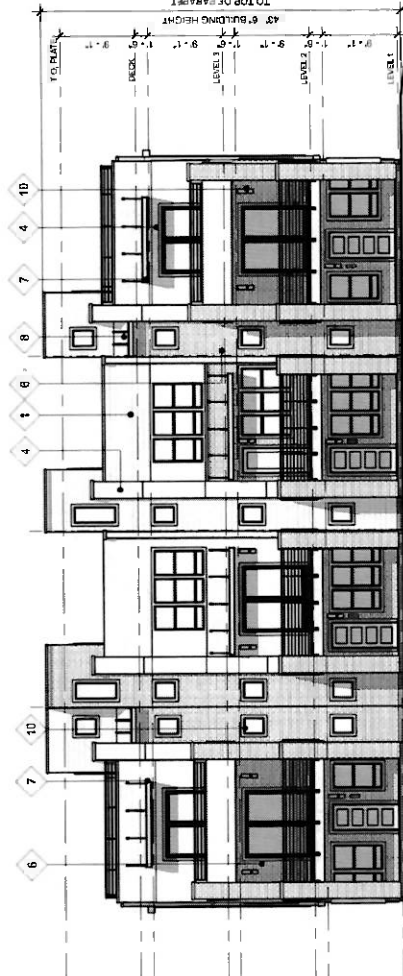
87 OF 138
4-PLEX ELEVATIONS -
MODERN BROWNSTONE



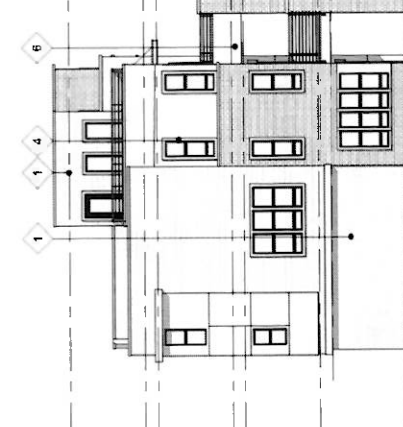
PLAN 2 END
PLAN 2 END REVERSED
2 | 3-STORY 4-PLEX REAR ELEVATION - MODERN BROWNSTONE
3/32" = 1'-0"



PLAN 2 END
PLAN 2 END REVERSED
3 | 3-STORY 4-PLEX LEFT
ELEVATION - M. BROWNSTONE
3/32" = 1'-0"



PLAN 1
PLAN 1
1 | 3-STORY 4-PLEX FRONT ELEVATION - MODERN BROWNSTONE
3/32" = 1'-0"



PLAN 3
PLAN 3
2 | 3-STORY 4-PLEX REAR ELEVATION - MODERN BROWNSTONE
3/32" = 1'-0"

KEYNOTES	
Elevation-Materials	
MARK	MATERIAL DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES	
FRONT ELEVATION	TOTAL - 4-PLEX MODERN BROWNSTONE
MASONRY - 1,200 S.F. = 61%	MASONRY - 2,066 S.F. = 27%
OTHER - 1,247 S.F.	OTHER - 5,552 S.F.
TOTAL - 2,447 S.F.	TOTAL - 7,608 S.F.
REAR ELEVATION	
MASONRY - 292 S.F. = 11%	
OTHER - 2,339 S.F.	
TOTAL - 2,631 S.F.	
LEFT ELEVATION	
MASONRY - 234 S.F. = 10%	
OTHER - 988 S.F.	
TOTAL - 1,222 S.F.	
RIGHT ELEVATION	
MASONRY - 234 S.F. = 10%	
OTHER - 988 S.F.	
TOTAL - 1,222 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 88 OF 138



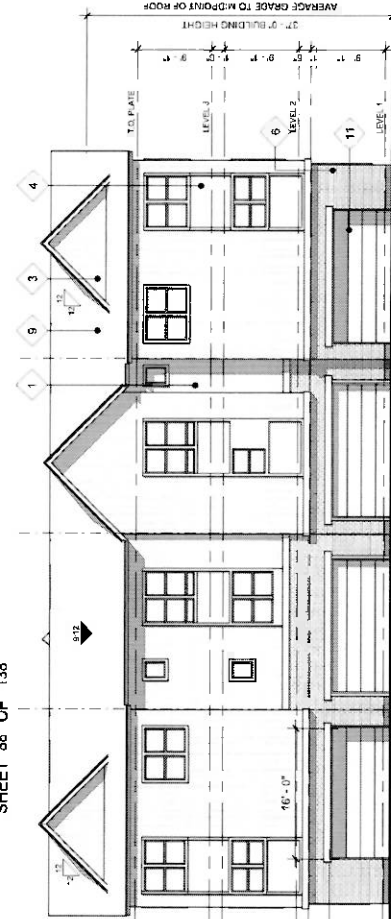
UPLANDS

DATE: 06.12.2024

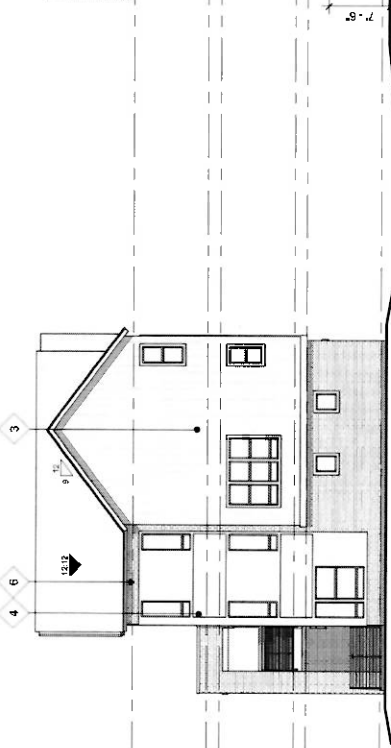
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 03.03.2024
SUB 04: 06.14.2024

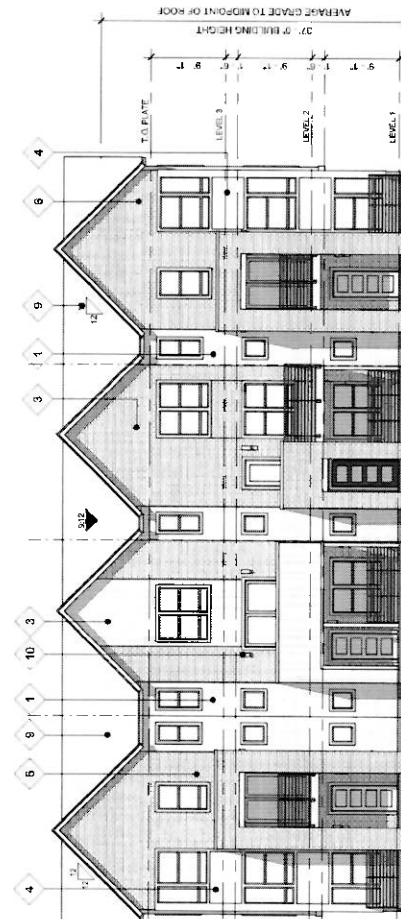
88 OF 138
4-PLEX ELEVATIONS -
SCANDINAVIAN



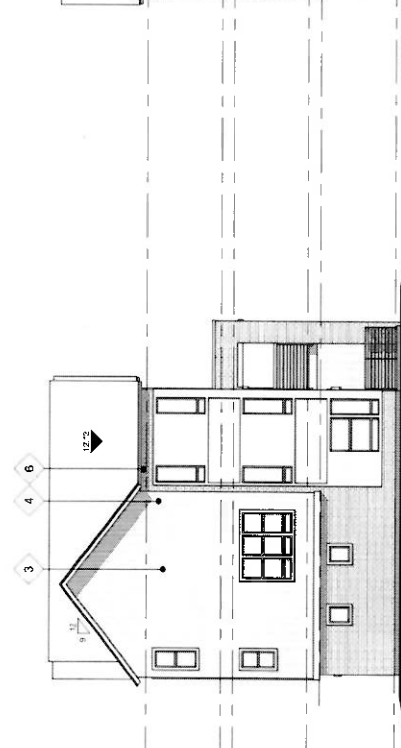
3 | 3-STORY 4-PLEX RIGHT
ELEVATION - SCANDINAVIAN
3/32" = 1'-0"



3 | 3-STORY 4-PLEX LEFT
ELEVATION - SCANDINAVIAN
3/32" = 1'-0"



2 | 3-STORY 4-PLEX REAR ELEVATION - SCANDINAVIAN
3/32" = 1'-0"



1 | 3-STORY 4-PLEX FRONT ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

KEYNOTES	
Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BORD MID MATCH
5/8	HARDI PANEL
7	MASONRY
8	PROJECTION AWNING
9	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES	
FRONT ELEVATION:	TOTAL - 4-PLEX - SCANDINAVIAN
MASONRY - 1,417 S.F. = 62%	MASONRY - 2,550 S.F. = 38%
OTHER - 888 S.F.	OTHER - 4,248 S.F.
TOTAL - 2,305 S.F.	TOTAL - 6,798 S.F.
REAR ELEVATION:	
MASONRY - 443 S.F. = 20%	
OTHER - 1,785 S.F.	
TOTAL - 2,227 S.F.	
LEFT ELEVATION:	
MASONRY - 345 S.F. = 30%	
OTHER - 789 S.F.	
TOTAL - 1,134 S.F.	
RIGHT ELEVATION:	
MASONRY - 345 S.F. = 30%	
OTHER - 789 S.F.	
TOTAL - 1,134 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 89 OF 138



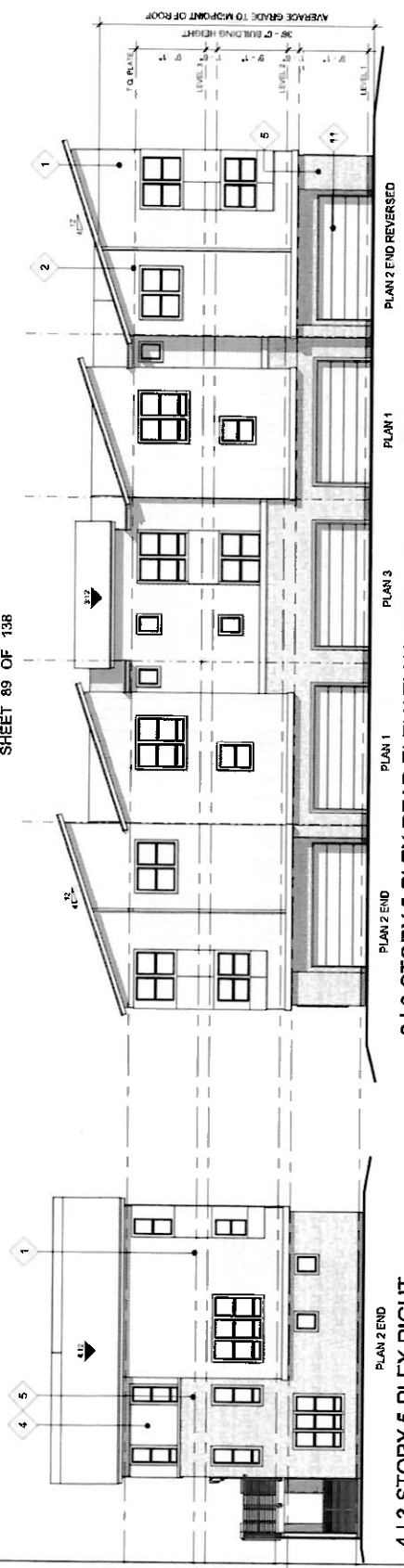
UPLANDS

DATE: 06.12.2024

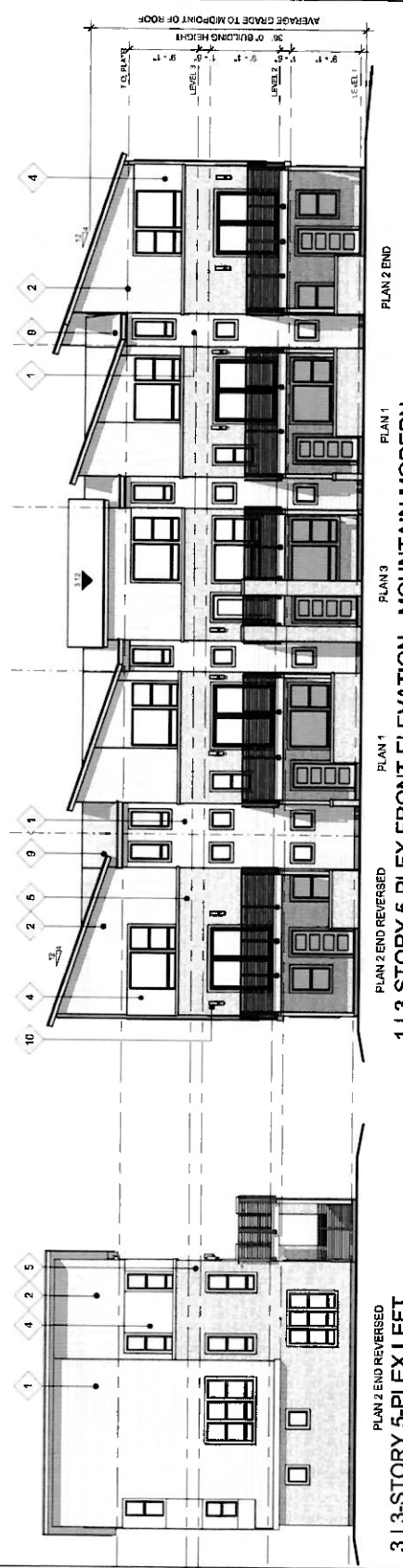
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

89 OF 138
5-PLEX ELEVATIONS -
MOUNTAIN MODERN



4 | 3-STORY 5-PLEX RIGHT
ELEVATION - M. MODERN
3/32" = 1'-0"



3 | 3-STORY 5-PLEX LEFT
ELEVATION - M. MODERN
3/32" = 1'-0"

KEYNOTES		MASONRY PERCENTAGES	
Elevation-Materials		FRONT ELEVATION	
MARK	DESCRIPTION	MASONRY - 1,383 S.F. = 61%	TOTAL - 5-PLEX MOUNTAIN MODERN
1	HORIZONTAL SIDING	OTHER - 1,240 S.F.	MASONRY - 3,178 S.F. = 39%
2	VERTICAL SIDING	TOTAL - 2,723 S.F.	OTHER - 4,931 S.F.
3	BOARD AND BATTEN		TOTAL - 8,109 S.F.
4	HARDI PANEL		
5/6	MASONRY		
7	PROJECTION AWNING		
8	SHINGLE ROOF		
9	COACH LIGHT		
10			
		REAR ELEVATION	
		MASONRY - 885 S.F. = 24%	
		OTHERS - 2,223 S.F.	
		TOTAL - 3,108 S.F.	
		LEFT ELEVATION	
		MASONRY - 555 S.F. = 43%	
		OTHER - 831 S.F.	
		TOTAL - 1,386 S.F.	
		RIGHT ELEVATION	
		MASONRY - 555 S.F. = 57%	
		OTHER - 517 S.F.	
		TOTAL - 972 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 80 OF 138

UPLANDS

DATE: 06.12.2024

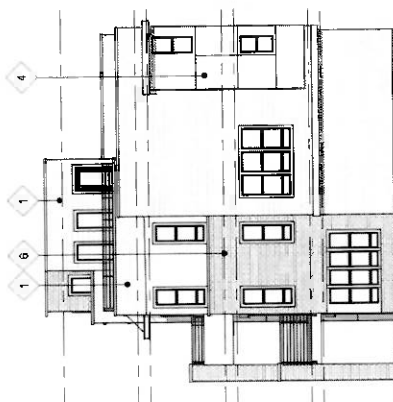
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2023
SUB 03: 05.03.2024
SUB 04: 06.14.2024

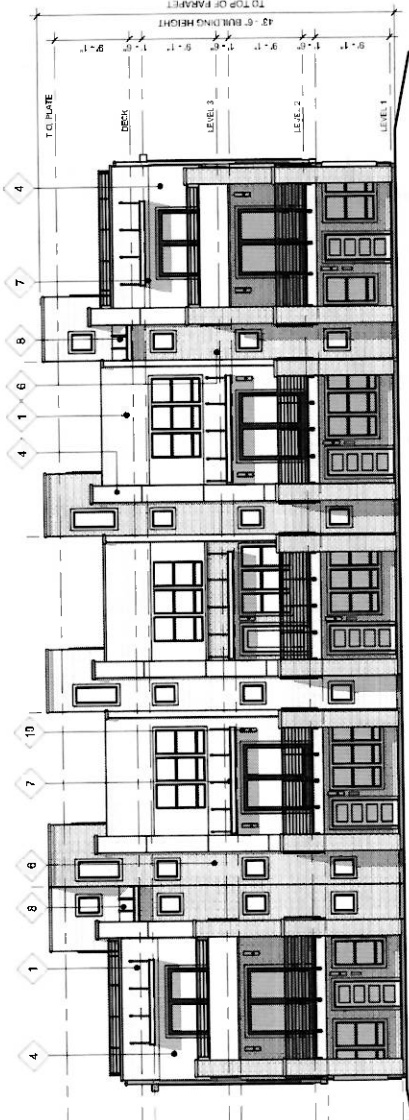
90 OF 138
AS-LEVELED ELEVATIONS
MODERN BROWNSTONE



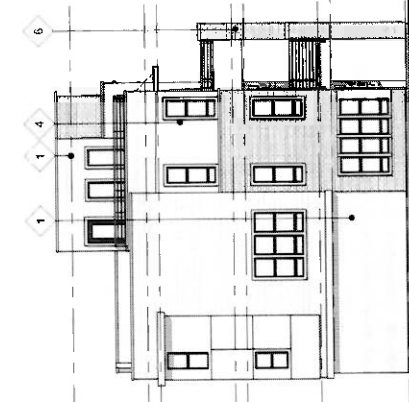
2 | 3-STORY 5-PLEX REAR ELEVATION - MODERN BROWNSTONE
3/32" = 1'-0"



4 | 3-STORY 5-PLEX RIGHT
ELEVATION - M. BROWNSTONE
3/32" = 1'-0"



1 | 3-STORY 5-PLEX FRONT ELEVATION - MODERN BROWNSTONE
3/32" = 1'-0"



3 | 3-STORY 5-PLEX LEFT
ELEVATION - M. BROWNSTONE
3/32" = 1'-0"

KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5/6	MASONRY
7	PROJECTION FINISH
9	SINGLE ROOF
10	COACH-LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION:	TOTAL - 5-PLEX - MODERN BROWNSTONE
MASONRY - 1,577 S.F. = 60%	MASONRY - 2,477 S.F. = 26%
OTHER - 1,042 S.F.	OTHER - 8,395 S.F.
TOTAL - 3,199 S.F.	TOTAL - 8,842 S.F.
REAR ELEVATION:	
MASONRY - 432 S.F. = 13%	
OTHER - 2,837 S.F.	
TOTAL - 3,269 S.F.	
LEFT ELEVATION:	
MASONRY - 234 S.F. = 16%	
OTHER - 986 S.F.	
TOTAL - 1,222 S.F.	
RIGHT ELEVATION:	
MASONRY - 234 S.F. = 16%	
OTHER - 986 S.F.	
TOTAL - 1,222 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 91 OF 138



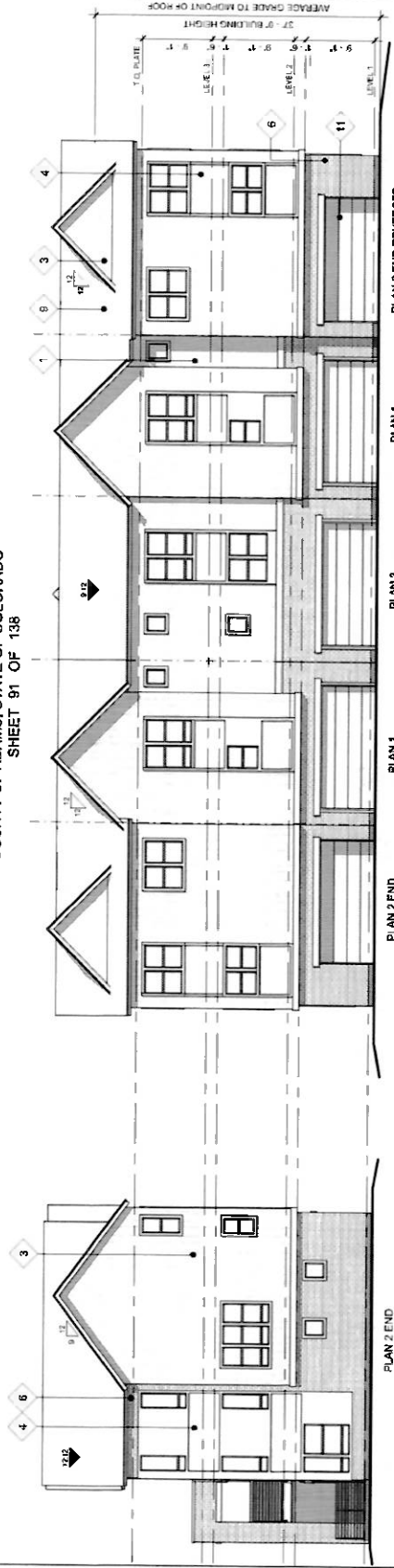
UPLANDS

DATE: 06.12.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

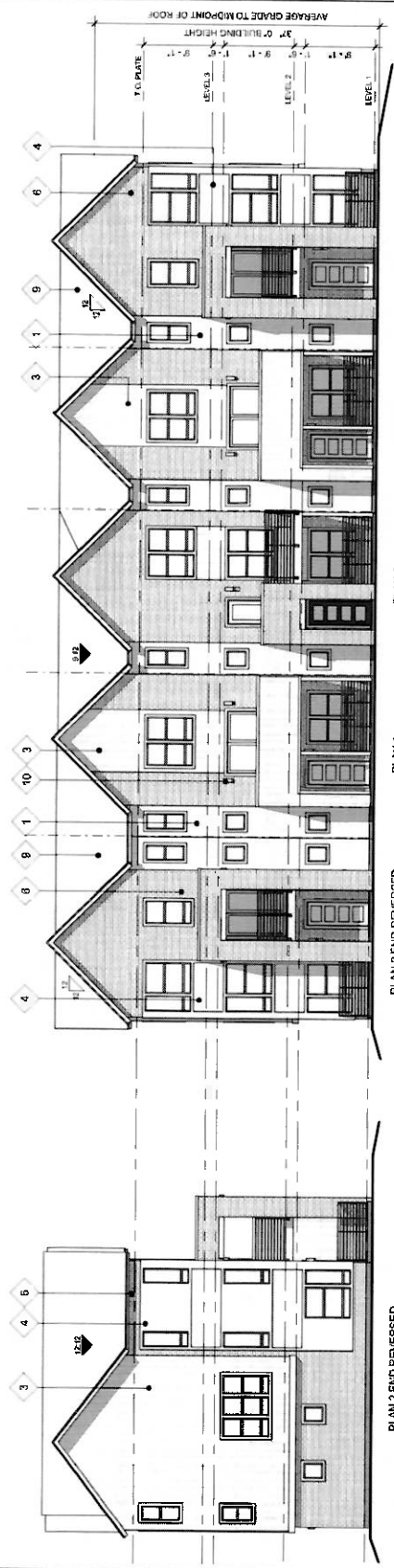
REVISIONS
SUB 01: 03.07.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024
PREPARED: 11.03.2023
OFFICIAL DEVELOPMENT PLAN

91 OF 138
5-PLEX ELEVATIONS -
SCANDINAVIAN



4 | 3-STORY 5-PLEX RIGHT
ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

2 | 3-STORY 5-PLEX REAR ELEVATION - SCANDINAVIAN
3/32" = 1'-0"



3 | 3-STORY 5-PLEX LEFT
ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

1 | 3-STORY 5-PLEX FRONT ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
9	COACH LIGHT

MASONRY PERCENTAGES	
FRONT ELEVATION:	TOTAL - 5-PLEX SCANDINAVIAN
MASONRY - 1,708 S.F. = 69%	MASONRY - 2,028 S.F. = 37%
OTHER - 1,186 S.F.	OTHER - 504 S.F.
TOTAL - 2,892 S.F.	TOTAL - 1,970 S.F.
REAR ELEVATION:	
MASONRY - 512 S.F. = 10%	
OTHER - 2,278 S.F.	
TOTAL - 2,810 S.F.	
LEFT ELEVATION:	
MASONRY - 345 S.F. = 30%	
OTHER - 780 S.F.	
TOTAL - 1,134 S.F.	
RIGHT ELEVATION:	
MASONRY - 345 S.F. = 30%	
OTHER - 780 S.F.	
TOTAL - 1,134 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS, EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 92 OF 138



UPLANDS

DATE: 06.12.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

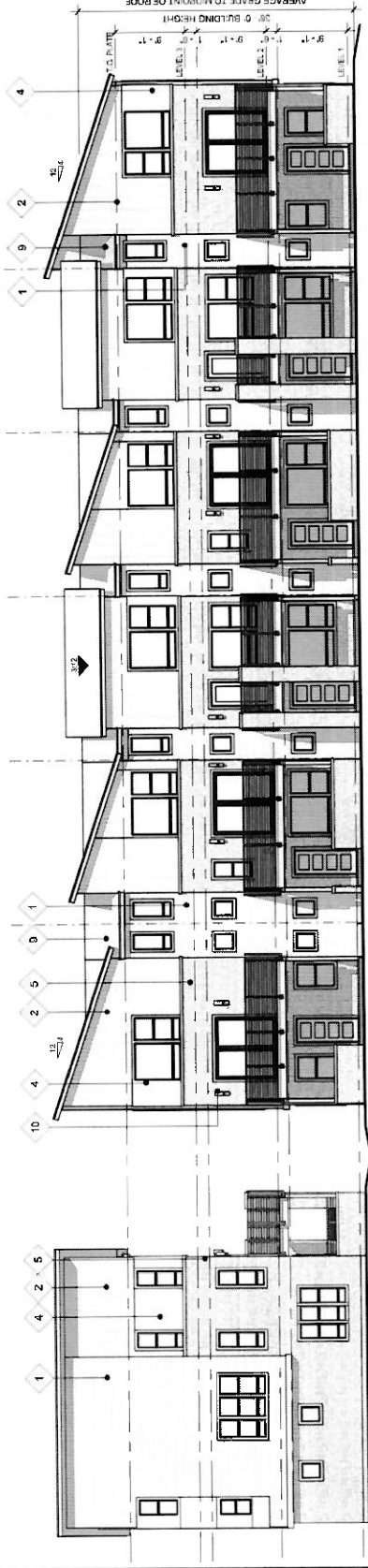
OFFICIAL DEVELOPMENT PLAN	PREPARED: 11.03.2023
REVISIONS	SUB 01 - 03.07.2023
	SUB 02 - 03.07.2024
	SUB 03 - 05.03.2024
	SUB 04 - 06.14.2024

92 OF 138
6-PLEX ELEVATIONS -
MOUNTAIN MODERN



4 | 3-STORY 6-PLEX RIGHT
ELEVATION - M. MODERN
3/32" = 1'-0"

2 | 3-STORY 6-PLEX REAR ELEVATION - MOUNTAIN MODERN
3/32" = 1'-0"



3 | 3-STORY 6-PLEX LEFT
ELEVATION - M. MODERN
3/32" = 1'-0"

1 | 3-STORY 6-PLEX FRONT ELEVATION - MOUNTAIN MODERN
3/32" = 1'-0"

KEYNOTES

MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARD PANEL
5	MASONRY
6	PROJECTION AWNING
7	SHINGLE ROOF
8	COACH LIGHT
9	
10	

MASONRY PERCENTAGES

FRONT ELEVATION	TOTAL - 6-PLEX MOUNTAIN MODERN
MASONRY - 1,591 S.F. = 50%	MASONRY - 3,552 S.F. = 30%
OTHER - 1,572 S.F.	OTHER - 5,000 S.F.
TOTAL - 3,163 S.F.	TOTAL - 8,552 S.F.
REAR ELEVATION	
MASONRY - 851 S.F. = 26%	
OTHER - 2,353 S.F.	
TOTAL - 3,204 S.F.	
LEFT ELEVATION	
MASONRY - 555 S.F. = 43%	
OTHER - 651 S.F.	
TOTAL - 1,206 S.F.	
RIGHT ELEVATION	
MASONRY - 455 S.F. = 67%	
OTHER - 317 S.F.	
TOTAL - 772 S.F.	

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