

SURVEYOR'S CERTIFICATE

DATE _____ REGISTERED _____
LAND SURVEYOR & NO. _____

PROJECT TEAM

PLANNER/LANDSCAPE ARCHITECT

DEVELOPMENT TIMING & PHASING

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT AS FOLLOWS:

- THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, SUBJECT TO MARKET CONDITIONS

PERMITTED / PROHIBITED USES

PERMITTED USES:

- SINGLE-FAMILY ATTACHED (PAIRED & TOWNHOME) RESIDENCES
- SINGLE-FAMILY DETACHED RESIDENCES (ALLEY LOADED)
- PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES PARKS AND OPEN SPACE
- TEMPORARY SALES OFFICE AND PARKING LOT
- TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE

PROHIBITED USES:

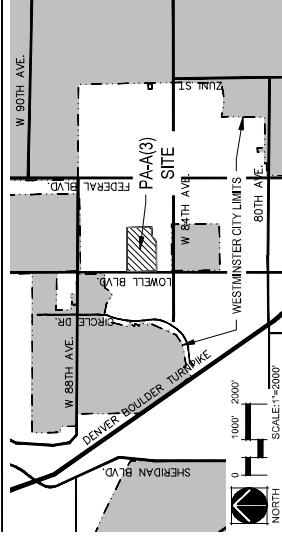
- ACCESSORY STRUCTURES, NO ACCESSORY STRUCTURES WILL BE ALLOWED ON PRIVATE LOTS.
- ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE NOT PROPOSED WITH THIS ODP.

COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 156

VICINITY MAP



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

	ZONING	LAND USE	COMP. PLAN
PA-A(3)	PUD	VACANT	MIXED USE NEIGHBORHOOD
NORTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
SOUTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
EAST:	PUD	VACANT	MIXED USE NEIGHBORHOOD
WEST:	R-4	SINGLE FAMILY RESIDENCES	RESIDENTIAL LOW DENSITY

SHEET INDEX

	COVER	ENLARGEMENT PLAN
1	FENCING PLAN	62-69
2-3	NOTES	70
4-6	EXISTING CONDITIONS	71-79
7-8	LOT TYPES	80-81
9	EXISTING CONDITIONS	82-83
10	OVERALL SITE PLAN	84-86
11-18	SITE PLAN	87
19	OVERALL GRADING PLAN	88
20-27	GRADING SECTIONS	89
28-29	TYPICAL STREET SECTIONS	90
30-32	OVERALL UTILITY PLAN	91-98
33-34	UTILITY PLAN	99
34-41	FIRE TRUCK TURNING EXHIBIT	100
42-45	LANDSCAPE NOTES AND SCHEDULES	101-111
46-51	LANDSCAPE PLAN	112-152
52	OVERALL SCAPING PLAN	153-155
53	PEDESTRIAN CIRCULATION PLAN	PHOTOMETRIC
54	HYDROZONE PLAN	LIGHTING
55-61	LANDSCAPE PLAN	

OWNER APPROVAL

I, _____, AS _____ OF _____
 VARDE PARTNERS, INC., THE MANAGER OF VP FINDERS HOLDINGS LLC,
 THE SOLE MEMBER OF UPLANDS LLC, PROPERTY OWNER, DO SO
 APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF
 WESTMINSTER THIS _____ DAY OF _____, 20____.

VPDF UPLANDS LLC,

A DELAWARE LIMITED LIABILITY COMPANY

BY: VP FINDERS 2 HOLDINGS LLC,
A DELAWARE LIMITED LIABILITY COMPANY,
ITS SOLE MEMBER

BY: VARDE PARTNERS, INC.,
A DELAWARE CORPORATION, ITS MANAGER

BY:

NAME: _____

ITS:

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF
WESTMINSTER

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

CHAIRMAN

ATTEST: CITY CLERK

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR

ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND
RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS
DAY OF .20 . AT : O'CLOCK M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 156

LOTS & COVERAGE

SURFACE TYPE WITHIN UPLANDS PA-4(3)	AREA (SF)	% OF SITE
BUILDING COVERAGE	134,510	17%
PAVING AND DRIVES (120,500 SF INTERNAL ROW)	261,878	37%
LANDSCAPED AREA	354,338	47%
PUBLICLY ACCESSIBLE PRIVATE PARK*	42,202	(5.5%)
NET TOTAL AREA*	771,928	100%
GROSS TOTAL AREA*	860,347	100%

*GROSS AREA REFERS TO PDP/MODP PLANNING AREA ACREAGES, NET AREA

REFERS TO PLATTED BLOCK ACREAGE.

'LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY-ACCESSIBLE PRIVATE PARK,'

COMPLIANCE WITH MODP STANDARDS:

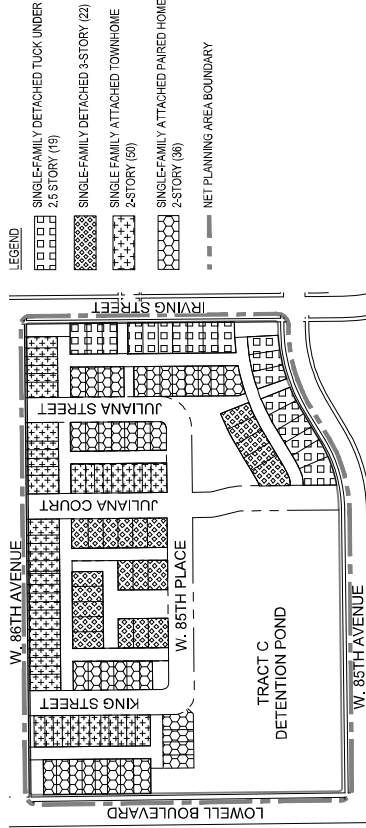
BUILDING FORM DIVERSITY REQUIREMENTS	REQUIRED	PROVIDED
MIN. THREE BUILDING FORMS	MIN. THREE BUILDING FORMS	THREE BUILDING FORMS
PERIMETER SENSITIVITY ZONE	MAX. TWO BUILDING FORMS	ONE BUILDING FORM (PAIRED FORM)
HOME TYPE DIVERSITY (SFA MIN / SFD MAX)	75% / 25%	68% / 32% **
SUBAREA A DIVERSITY **	SFA 50% MIN - 70% MAX SFD 30% MIN - 40% MAX	SFA 73% ** SFD 27% **
SUBAREA B DIVERSITY **	SFA 80% MIN - 100% MAX SFD 0% MIN - 20% MAX	SFA 62% ** SFD 38% **

*SUBAREA DIVERSITY RANGES TAKEN FROM THE FIRST

AMENDMENT, PLN22-0090 APPROVED OCT

SEE EXCEPTION INCLUDED ON SHEET 16

BUILDING FORM DIVERSITY PLAN



OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE

	TOTAL UNITS IN COP	DETACHED UNITS IN COP	ATTACHED UNITS IN COP	MULTIFAMILY UNITS IN COP	TOTAL UNITS IN FDP	TOTAL DETACHED UNITS IN FDP # / %	TOTAL ATTACHED UNITS IN FDP # / %	TOTAL MULTIFAMILY UNITS IN FDP # %
PA-A(1)	76	39	39	0	2350	381.68% (17% OF PAA)	381.68% (8% OF PAA)	0.00% (0% OF PAA)
PA-A(2)	135	25	110	0	2350	251.08% (12% OF PAA)	110.48% (23% OF PAA)	0.00% (0% OF PAA)
PA-A(3)	127	41	86	0	2350	411.74% (12% OF PAA)	863.86% (18% OF PAA)	0.00% (0% OF PAA)
PA-A(4)	125	28	97	0	2350	281.19% (13% OF PAA)	97.14% (21% OF PAA)	0.00% (0% OF PAA)
PA-A(5)	168	93	73	0	2350	93.93% (28% OF PAA)	173.11% (15% OF PAA)	0.00% (0% OF PAA)
PA-A(6)	180	112	68	0	2350	112.47% (33% OF PAA)	682.89% (14% OF PAA)	0.00% (0% OF PAA)
PAA TOTAL	811	338	473	0	2350	33814.38% (100% OF PAA)	47320.13% (100% OF PAA)	0.00% (0% OF PAA)
PA-B(1)	82	38	44	0	2350	381.62%	441.87%	0.00%
PA-B(2)	26	28	0	0	2350	284.11%	0.00%	0.00%
PA-C(1A)	70	0	0	0	2350	0.00%	0.00%	702.98%
PA-C(2)	247	0	0	0	247	0.00%	0.00%	247110.51%
PA-D(1)	84	38	56	0	2350	381.42%	562.38%	0.0%
OVERALL UPLANDS TOTAL:	1330	440	573	317	2350	440168.72%	573754.38%	317173.46%

PROJECT / SITE DATA

GROSS P-A-1 (31) SQ. FOOT BOUNDARY AREA:	860.347 SF, 70.21 AC
GROSS P-A-2 (31) SQ. FOOT BOUNDARY AREA:	171.926 SF, 17.17 AC
NET P-A-1(3) QDP BOUNDARY AREA:	
NET P-A-2(3) QDP BOUNDARY AREA:	
RESIDENTIAL UNITS PROPOSED:	127 UNITS
GROSS DJ PER ACRE:	6.28 DU/AC
NET DJ PER ACRE:	7.17 DU/AC
MAXIMUM BUILDING HEIGHT(S) (FT):	40' (IRC)
MINIMUM LOT SIZE:	1.100 SF, 0.03 AC

PERIMETER SITE SETBACKS

ADDRESS	BUILDING	
	REQUIRED	PROVIDED
P44(3)		
FROM RIGHT-OF-WAY (FT)		
W. 85TH AVENUE	12	12
W. 86TH AVENUE	12	12
IRVING STREET	12	12
LOWELL BLVD	18	18

NOTES

- (1) SETBACKS ARE MEASURED FROM PERIMETER PROPERTY LINE, ROW, OR P.D. (WHICHEVER IS APPLICABLE) TO PRIMARY BUILDING.
- (2) ENCROACHMENTS INCLUDING FENCES, WALLS, PEDESTRIAN-ORIENTED PORTIONS OF ROW (SUCH AS TREE LAWN AND WALK), AND ALLEYS ARE PERMITTED WITHIN ALL SETBACKS AS NOTED IN THE CHART ABOVE.
- (3) PORCHES MAY ENCRACH INTO PERIMETER SETBACKS, BUT MUST COMPLY WITH LOT SETBACKS DEFINED ON SHEET 7.

ACCESSIBLE HOUSING

PER 2003 COLORADO STATE HOUSE BILL 03-1221, ARTICLE 5, STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 9-5-101 TO 9-5-106, A PROJECT SHALL BE ASSIGNED ACCESSIBILITY POINTS BASED ON THE NUMBER OF UNITS CONTAINED WITHIN THE PROJECT AS FOLLOWS

TOTAL # OF UNITS		POINTS REQUIRED	POINTS PROVIDED
50 (TOTAL)		24	28

ACCESSIBLE UNITS PROVIDED			PER CRS 9-5	
UNIT TYPE	# OF UNITS PROVIDED	POINTS/UNIT	TOTAL POINTS	
VISITABLE DWELLING UNIT	28	1	28	
TOTAL	28	*	28	

SEE GRADING PLAN FOR LOCATIONS OF ACCESSIBLE UNITS.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 166

PROJECT NOTES

PARK DEVELOPMENT FEES

A PARK DEVELOPMENT FEE WILL BE PROVIDED TO THE CITY OF WESTMINSTER IN ACCORDANCE WITH THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C.

THE CITY CODE 11-6-8-C, REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. SEE REQUIRED DOLLAR AMOUNT PER UNIT TABLE BELOW DUE TO THE CITY. FEES LISTED BELOW ARE BASED ON THE 2024 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C, THE PARK DEVELOPMENT FEE IS CALCULATED BASED UPON THE NUMBER OF DWELLING UNITS TO BE CONSTRUCTED AS FOLLOWS:

- SINGLE-FAMILY DETACHED (ALLEY LOADED) - \$2,502.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING ALLEY LOADED TOWNHOMES, AND PAIRED HOMES) - \$2,036.00 PER UNIT
- FOR 86 SINGLE-FAMILY ATTACHED (TOWNHOMES AND PAIRED HOMES) AND 41 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$277,582.00.

SCHOOL LAND DEDICATION

THE CITY CODE (11-6-8-F) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND, FOR THIS SITE. THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE BUILDING PERMIT. THE FEE IN LIEU OF LAND DEDICATION IS BASED ON THE 2024 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C, THE SCHOOL LAND DEDICATION FEES ARE AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING ALLEY LOADED AND ADUS) - \$976.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING ALLEY LOADED, TOWNHOMES, PAIRED HOMES AND ADUS) - \$488.00 PER UNIT
- FOR 86 SINGLE-FAMILY ATTACHED AND 41 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$76,164.00.

PUBLIC ART

NOT APPLICABLE.

RECOVERY COSTS

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS

MAXIMUM DENSITY OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY OR OFFICIAL, IS BASED ON THE MAXIMUM FEASIBLE DENSITY FOR EACH SERVICE SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ASSIGNED AT THE TIME OF BUILDING PERMIT ISSUANCE. PRELIMINARY COMMITMENTS MAY BE CHANGED OR REVOKED AT ANY TIME PRIOR TO THE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.92 ACRE COMMUNITY.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-4-B, A MINIMUM OF 120 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION. OF THIS, A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL POP. WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF EACH ODP.

PER THE CITY COUNCIL CONDITIONS OF APPROVAL, UPLANDS HAS DEDICATED 40.85 ACRES OF PHYSICAL LAND AND PROVIDED CASH-IN LIEU FOR 21.99 ACRES FOR A TOTAL OF 62.84 ACRES OF LAND. THIS DEDICATION IS BASED OFF A PROJECTED POPULATION OF 5220 PERSONS FOR THE ENTIRE UPLANDS POP. IF FUTURE ODPS INCREASE THE PROJECTED POPULATION ABOVE 5220 PERSONS, ADDITIONAL CASH-IN-LIEU SHALL BE REQUIRED.

THE BELOW CHART NOTES THE PROJECTED POPULATION FOR UPLANDS BY PLANNING AREA FOR THE PURPOSE OF DETERMINING THE CASH-IN-LIEU PAYMENT DUE AT TIME OF FINAL PLAT. IN COMPLIANCE WITH POP CONDITION OF APPROVAL 7, THE ODP PLD TRACKING TABLE WILL BE UPDATED WITH EACH ODP.

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

PARCELS	PHYSICAL PLD ACRES REQUIRED	PLD ACRES DEDICATED POP PLN22-0682	VIEW CORRIDOR ACRES REMAINING	VIEW CORRIDOR ACRES DEDICATED POP PLN22-0682	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	21.00 AC	0 AC	-	-
PARCEL B	6.06 AC	6.06 AC	0 AC	3.28 AC	0 AC
PARCEL C	3.00 AC	3.00 AC	0 AC	-	-
PARCEL D	4.24 AC	4.24 AC	0 AC	3.07 AC	0 AC
PARCEL E	-	0 AC	-	-	-
TOTAL	34.30 AC	34.30 AC	0 AC	6.35 AC	0 AC

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

PLANNING AREA	LAND USE	GROSS AREA (AC)	GROSS DENSITY (D/AC)	MIN-MAX RANGE (D/AC)	MAX. # OF UNITS	UNITS BY TYPE						PROJECTED POPULATION						% OF POPULATION	TOTAL PLD CASH-IN-LIEU ACRES REQUIRED	PLD CASH-IN-LIEU ACRES
						SFD	OR	SFA	OR	MF	UNIT	SFD	3.0 / UNIT	SFA	2.5 / UNIT	MF	2.0 / UNIT			
PA-A(1)	RESIDENTIAL	22.24	9.51%	4.0-4.5	124	39	0	117	97.5	-	-	-	-	-	2.13%	257	0.30			
PA-A(2)	RESIDENTIAL	13.98	5.86%	6.0-10.3	143	25	110	0	75	275	-	-	-	-	1.64%	420	0.23			
PA-A(3)	RESIDENTIAL	20.21	8.65%	5.5-7.0	141	86	0	123	215	-	-	-	-	-	2.69	406	0.38			
PA-A(4)	RESIDENTIAL	13.67	5.84%	7.0-9.5	129	28	97	0	84	242.5	-	-	-	-	1.84%	392	0.26			
PA-A(5)	RESIDENTIAL	18.20	7.78%	8.0-9.5	172	93	73	0	279	182.5	-	-	-	-	6.10%	554	0.87			
PA-A(6)	RESIDENTIAL	23.83	10.19%	5.2-9.9	140	25	35	80	75	87.5	160	1.64%	-	-	1.64%	387	0.23			
PA-A(7)	RESIDENTIAL	18.62	7.96%	8.0-10.3	191	112	68	0	336	170	-	-	-	-	7.35%	607	1.05			
PA-A(8)	RESIDENTIAL / MIXED-USE / COMMERCIAL	19.54	8.45%	20.0-26.2	491	0	49	369	0	122.5	738	13.83%	-	-	13.83%	1033	1.97			
PA-B(1)	RESIDENTIAL	16.29	6.86%	4.1-5.0	82	38	44	0	114	110	-	-	-	-	2.40%	269	0.34			
PA-B(2)	RESIDENTIAL	13.32	5.89%	1.0-4.0	26	26	0	0	78	-	-	-	-	-	1.71%	0.94	0.24			
PA-C(1)	MIXED-USE / COMMERCIAL	16.32	6.88%	15.0-22.7	370	0	0	70	0	-	140	3.06%	-	-	3.06%	1.68	0.44			
PA-C(2)	RESIDENTIAL	13.77	5.89%	8.0-10.0	247	0	247	0	-	494	-	-	-	-	10.80%	593	1.54			
PA-D(1)	RESIDENTIAL	19.60	8.38%	4.0-4.3	94	38	56	0	114	140	-	-	-	-	3.08%	3.10	0.44			
PA-D(2)	OFFICE	3.10	1.33%	-	-	0	0	0	0	-	-	-	-	-	-	0.00	0.00			
PA-E	PRIVATE OPEN SPACE	1.23	0.53%	-	-	0	0	0	0	-	-	-	-	-	-	0.00	0.00			
		233.92	100.0%		2350	465	657	766	1395	1643	1532	100.00%	-	-	100.00%	54.89	14.24			
								1888			POTENTIAL POPULATION	4570								

NOTE: THE BOLD PLANNING AREAS HAVE BEEN APPROVED OR ARE UNDER REVIEW WITH SPECIFIC UNIT COUNTS. SEE OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE ON SHEET 2 FOR PROPOSED AND APPROVED UNIT COUNTS.

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



DATE: 10.10.2024

PREPARED: 08.16.2024
REVISIONS
08.08.2024
10.10.2024

3 OF 156
SITE DATA

THE GENERAL INTENT OF THIS ODP IS TO:

1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-5-5; OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-15; STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPs.

THE ODP CONTAINS 20.21 GROSS ACRES WITHIN UPLANDS FILING 1, BLOCK 3, PA-A(3) IS BOUNDED BY VACANT LAND WITHIN PA-A TO THE NORTH, EAST, AND SOUTH WITH SINGLE-FAMILY RESIDENCES TO THE WEST ACROSS LOWELL BOULEVARD.

THE ODP PROPOSES A TOTAL OF 41 SINGLE-FAMILY DETACHED (2 STORY TUCKUNDER AND 3-STORY) HOMES AND 88 SINGLE-FAMILY 2-STORY ATTACHED TOWNHOMES AND PAIRED HOMES, FOR A TOTAL OF 127 HOMES. THIS RESULTS IN A GROSS DENSITY OF 6.28 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN LAND USE DESIGNATION OF TM2UD.

PERIMETER STREET/ABUTTING PAA(3)'S ARE FRONTED BY HOMES TO CREATE ACTIVE AND PEDESTRIAN-FRIENDLY STREET SCAPES. FOR THE PORTION OF PAA(3) THAT FACES TOWARDS LOWELL BOULEVARD AN ENHANCED LANDSCAPE BUFFER LOCATED IN FRONT OF THE SITE IS PROVIDED WITHIN THE LARGER 18' SETBACK. OVERALL, THE PROPOSED SITES IN THIS NEIGHBORHOOD MEET THE REQUIREMENTS OF THE PERIMETER SENSITIVITY ZONE WHILE MAINTAINING REQUIRED DENSITY THROUGHOUT PAA(3). THE USE OF TUCK UNDERS AND WALKOUTS COMPLEMENT THE NATURAL TOPOGRAPHY OF THE SITE AND ALLOW FOR POSITIVE DRAINAGE TO OCCUR THROUGHOUT THE SITE, WHERE HOMES ARE NOT FRONTING ON TO PUBLIC STREETS. THE HOMES ARE ORIGINATED AROUND COMMON OPEN SPACE.

THE PROPOSED HOMES CONSIST OF A VARIETY OF 2- AND 3-STORY STRUCTURES:
 • SINGLE-FAMILY DETACHED; 3-STORY

- SINGLE-FAMILY DETACHED TUCKUNDER: 2-STORY FRONT, 3-STORY REAR
- SINGLE-FAMILY ATTACHED PAIRED: 2-STORY
- SINGLE-FAMILY ATTACHED TOWNHOMES: 2-STORY

ALL THE PROPOSED HOMES OFFER AN ATTACHED 2-CAR GARAGE. ADDITIONAL PARKING IS PROVIDED ON-STREET ON THE ADJACENT INTERNAL STREETS INCLUDING 86TH AVENUE, IRVING STREET, 85TH AVENUE, AND DISPERSED IN OFF-STREET PARKING SPACES. ADDITIONAL ON-STREET PARKING IS LOCATED ON LOWELL BOULEVARD.

THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TOWN DESIGN GUIDELINES IN THE OVERALL RESIDENTIAL DESIGN. IN ORDER TO FULLY INTEGRATE TOWN PRINCIPLES, THERE ARE AREAS WHERE THIS SITE PLAN VARIES FROM THE TOWN PRINCIPLES. THESE ARE AREAS WHERE THE SITE PLAN VARIES FROM THE QUANTITATIVE REQUIREMENTS IN RELEVANT CITY STANDARDS AND THE MASTER PLAN. THE FOLLOWING TABLE PROVIDES AN OVERVIEW OF THE VARIATIONS, WITH EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS OPP. TO SEE SPECIFIC STANDANCES WHERE THESE PRINCIPLES DIFFER. IN GENERAL, THESE EXCEPTIONS ENSURE THAT THIS COMMUNITY CONTRIBUTES TO THE VIBRANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS PROJECT WILL BE A POSITIVE ADDITION TO THE COMMUNITY OF WESTMINSTER. ENTRAVAIL OFFICE ATTACHED HOMES, TO PAIRED AND DETACHED HOMES. THIS IS A GOAL, NOT ONLY OF TOWN, BUT OF RECENT CITY PLANS AND VISIONS AS WELL.

THE OVERALL LAYOUT OF RESIDENTIAL LOTS WITHIN THIS NEIGHBORHOOD ALLOWS FOR HOMES TO FRONT ON TO STREETS AND PROVIDES AN ENGAGED FRONT PORCH EXPERIENCE. A RESULT OF THIS LAYOUT IS SMALLER FRONT YARD AREAS. SMALLER FRONT YARDS ARE BENEFICIAL AS THEY REDUCE MAINTENANCE REQUIREMENTS FOR INDIVIDUAL HOMEOWNERS AND CRITICALLY REDUCE POTENTIAL WATER USE IN FRONT YARD AREAS. WATER CONSERVATION IS A TOP PRIORITY FOR THE PUBLIC SPACE TO BE CREATED. THROUGH THE NEIGHBORHOOD FACILITATING A MORE COMMUNAL AND ACTIVE OPEN SPACE WITHIN THE NEIGHBORHOOD, PUBLICLY ACCESSIBLE PRIVATE PARKS ARE PLACED TO OFFER THE GREAT TEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THESE PARKS, ALONG WITH THE OTHER PARKS FOUND THROUGHOUT THE NEIGHBORHOOD, PROVIDE A VARIETY OF ACTIVITIES AND RECREATION FOCUSES. THEMES BEING EXPLORED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER AMENITIES EXHIBIT SUBMITTED WITH THIS OPD FOR MORE DETAIL ON PARK PLANNING ACROSS URBAN UPLANDS.

A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAN FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.

C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.

- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.

- UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP

ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).

g. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.

- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.

- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.

J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.

- K. CITY WILL INSTALL ALL STREET NAME SIGNS, DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.

- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS, EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.

M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.

- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.

- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE

- q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.

- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.

- d. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE, ANY "TEMPORARY ACCESS" WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS, A MINIMUM OF 76,000 LBS.

- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.

- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

- V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.

4. THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLIES WITH CRS 9-5 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 658 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN THAT AMOUNT OR 13% OF THE ALLOWED UNITS.

- X. PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE ADA REGULATIONS.

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 05.16.2024	REVISIONS	08.08.2024	10.10.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 166

EXCEPTIONS AND JUSTIFICATIONS, CONT.

LOT SIZE:

AN EXCEPTION TO MOOP BUILDING FORM CHARACTERISTICS TABLES (SPD AND SFA TOWNHOME, SHEETS 17 & 10 OF 14)

STANDARDS: BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE BELOW.

EXCEPTION: THIS EXCEPTION APPLIES TO THE NOTED INTERNAL ON-LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW, WHERE REQUIREMENTS HAVE NOT BEEN MET. THE MINIMUM PROVIDED IS BOLDED AND DOUBLE-OUTLINED.

JUSTIFICATION (LOT SIZE & SETBACKS): ALL PERMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UPLANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION.

JUSTIFICATION (PRIVATE YARD AREA): IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UPLANDS PROVIDES ALTERNATIVE PORCHES/PAVILIONS, DECKS AND SIDE/FRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN TO INCREASE HOUSING DIVERSITY, PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE, ALLOWING FOR LARGE ADJACENT PUBLIC LAND DEDICATION WITHIN PARCEL A. THESE REDUCED SETBACKS MINIMIZE THE IMPACT OF THE PROPOSED HOMES AND ALLOW FOR MORE OPEN SPACE AND LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL LU-6 WHICH "ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN". LU-6 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED HOMES, REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR

HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA OF THE COMPREHENSIVE PLAN THROUGH WHICH THE PROPOSED DEVELOPMENT REVIEW PROCESS, WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN, SPECIFICALLY CRITERIA 4 ASKS IF "THE PROPOSED DEVELOPMENT PROVIDES APPROPRIATE 'TRANSITIONS BETWEEN USES' WHICH THIS PROPOSAL INTENTIONALLY DOES PROVIDE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERMETER SETBACKS FURTHER IS SUPPORTED BY GOAL HN-2 OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES), THE REDUCED SETBACKS (ENCOURAGE HIGHER QUALITY DEVELOPMENT BY ACTIVATING THE ADJACENT STREET) AND THE PROPOSED HOMES (PROVIDE MORE PRIVATE YARD SPACE AND PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION).

2023 HOUSING NEEDS ASSESSMENT AND OTHER: THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2023 HOUSING NEEDS ASSESSMENT IDENTIFIED THAT HOUSING IS CONTINUING TO BE MORE UNAFFORDABLE FOR POTENTIAL HOMEOWNERS. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW "MID-SCALE" HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SPD HOMES ON LARGER LOTS THAT "MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE CONSTRUCTION OF AFFORDABLE HOUSING TO MEET THE NEEDS OF THE COMMUNITY. THIS DESIGN GOAL TO HOME AND PARCELS UNITS, AND ALLOW FOR MORE FLEXIBLE DESIGN STANDARDS, INCLUDING PARKING AND SETBACKS.


TOWN: THIS EXCEPTION ALIGNS WITH TOWN OF WESTMINSTER VISIBILITY, ENCOURAGING CONSISTENT STREET FRONTAGES, CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BKE AND PEDESTRIAN-SAFETY AND STREET ACTIVATION, AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN TOWN.

	MAX. HEIGHT	MAX. STORIES	MIN. LOT SIZE	MIN. LOT DEPTH	MIN. LOT WIDTH	MIN. SETBACK TO MAIN STRUCTURE	MIN. FRONT SETBACK	MIN. SIDE SETBACK, INTERIOR LOT	MIN. SIDE SETBACK, CORNER LOT	MIN. REAR SETBACK	MIN. REAR YARD SPACE	MIN. REAR DECK DIMENSIONS
SINGLE-FAMILY DETACHED (2.5- AND 3-STORY SPD) HOME												
UPLANDS MASTER ODP	40'	3	-	90'	20'	14'	14'	7'	14'	5'	20' X 20'	-
UPLANDS FILING 1, BLOCK 3 ODP	40'	3	-	67'	25'	12'	12'	5'	10'	3'	0 SF*	-
SINGLE-FAMILY ATTACHED (TOWNHOME) HOME												
UPLANDS MASTER ODP	40'	3	-	80' W/ ATTACHED GARAGE	15'	12'	12'	0'	8'	5'	15' MIN. DEPTH	8' X 15"
UPLANDS FILING 1, BLOCK 3 ODP	40'	2	-	60'	20'	12'	12'	0'	10'	3'	0 SF*	0 SF*

*A MINIMUM OF 40' SE OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SPD HOMES.

*A MINIMUM OF 140' SE OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA TOWNHOMES.

*A 120 SF CLEAR IS PROVIDED IN LIEU OF THE 6' X 15' DECK



DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

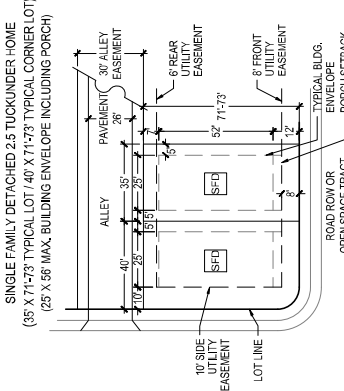
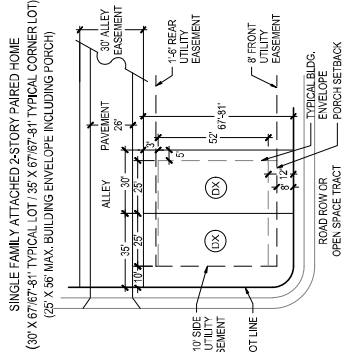
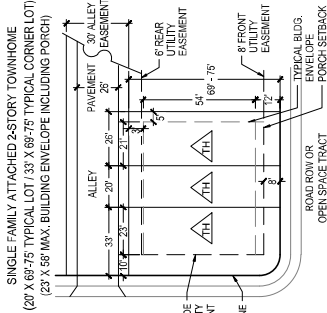
OFFICIAL DEVELOPMENT PLAN
PREPARED: 08.16.2024
REVISIONS
08.08.2024
10.10.2024

6 OF 156
EXCEPTIONS



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 156

LOT TYPICALS



LOT SETBACKS

SINGLE FAMILY ATTACHED TOWNHOME		SFA MOOP MINIMUM SETBACKS	PROPOSED SETBACKS (1/2)
FRONT TO LIVING AREA:		6'-12"	12'
FRONT TO PORCH:			8'
SIDE (INTERNAL):		0'	0'/5'
SIDE (CORNER):		8'	10'
SIDE (ABUTTING LOCAL STREET):			
REAR:		5'	3' (4)

SINGLE FAMILY ATTACHED PAIRED HOME		SFA MOOP MINIMUM SETBACKS	PROPOSED SETBACKS (1/2)
FRONT TO LIVING AREA:		10'	12'
FRONT TO PORCH:		5'	8'
SIDE (INTERNAL):		5' (10' BT STRUCTURES)	0'/5'
SIDE (CORNER):			
SIDE (ABUTTING LOCAL STREET):		10'	10'
REAR:		1'	3'

SINGLE FAMILY DETACHED (SFD) HOME		SFD MOOP MINIMUM SETBACKS	PROPOSED SETBACKS (1/2)
FRONT TO LIVING AREA:		14'	12' (4)
FRONT TO PORCH:		6'	8'
SIDE (INTERNAL):		7'	5' (4)
SIDE (CORNER):			
SIDE (ABUTTING LOCAL STREET):		14'	10' (4)
REAR:		5'	3' (4)
REAR UPPER STORY		-	15'

MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

- HOMEOWNER MAINTENANCE:**
 - DRIVEWAYS
 - PORCHES, PATIOS & STEPS
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS COMMON TO THE BUILDING FOUNDATION)
 - ON-LOT LEADER WALK TO IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT (INCLUDING SNOW REMOVAL)
 - ON-LOT FENCES (SFD ONLY)
 - ON-LOT LANDSCAPE AND IRRIGATION
 - ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
 - SIDE YARDS INSIDE PRIVATE FENCED AREA
- HOA MAINTENANCE:**
 - ALLEYS (INCLUDING SNOW REMOVAL)
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS COMMON TO THE BUILDING FOUNDATION)
 - ON-LOT LEADER WALK TO IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT (INCLUDING SNOW REMOVAL)
 - ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
 - TRACTS OUTLOTS
 - OFF-SITE DETENTION POND
 - RETAINING WALLS
 - FENCING (INCLUDING ON-LOT FOR SFA ONLY)
 - TREE LAWS
 - TRASH PICKUP

PROPOSED SETBACKS NOTES

- ALL SETBACKS SHOWN ARE MINIMUMS.
- SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION.
- CORRIDORS, TAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, DECKS, PORCHES, STAIRS, OPENINGS, OR OTHER STRUCTURES MAY ENCRUSH INTO A SETBACK A MAXIMUM OF 2 FT.
- SEE EXCEPTIONS SHEETS 5-8.
- SEE DETAILED LOT TYPICALS FOR EACH FLOOR PLAN, STARTING ON SHEET 90.

*REAR UPPER STORY SETBACK IS APPLIED TO LOTS 72-77, LOTS 105-113, AND LOTS 114-121. ALL OF WHICH FEATURE BUILDINGS 30 FEET OR GREATER IN HEIGHT. TYPICAL ALLEY SECTIONS ARE PROVIDED WITH THIS ODP THAT DETAIL BUILDING SETBACKS (BUILDING TO PROPERTY LINE AND FIRE SETBACKS (BUILDING TO PAVEMENT EDGE)) TO BE USED FOR ALLEYS ADJACENT TO THE LOTS LISTED ABOVE. TYPICAL ALLEY SECTIONS ARE MORE LOCATION SPECIFIC THAN THE PROPOSED MINIMUM SETBACK TABLES AS THEY PROVIDE DIMENSIONS FOR BUILDINGS TO PAVEMENT LOCATION WHICH VARIES DEPENDING ON THE LOCATION OF THE ALLEY (ALLEY LOCATION DOES NOT IMPACT LOT DEPTH). THIS MINIMUM SETBACKS ARE MAINTAINED AND PROVIDES INFORMATION SPECIFIC TO FIRE REQUIREMENTS.

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



DATE: 10.10.2024

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 08.16.2024	REVISIONS
08.08.2024	10.10.2024

7 OF 156
LOT TYPICALS

**A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER**

Downloaded from <http://ajph.org/> on November 10, 2015



Downloaded from <http://ajphaphysocpharm.sagepub.com/> at 11:06 11 November 2014

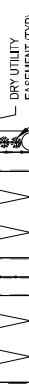


FROM

[illegible]

 DRY UTILITY
 EASEMENT (TYP)
 SURVEYOR'S

[illegible]



1. TREE AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANTING CONDITION. GENERAL PARAMETERS OF A MINIMUM OF 1 TREE AND 3 SHRUBS PER 500 SF OF LANDSCAPE AREA IN FRONT YARDS ARE REQUIRED FOR FRONT YARDS AND SIDE YARDS OUTSIDE OF PRIVATE FENCING. WHERE APPROPRIATE WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FINAL PRODUCT CONFIGURATION, THERE SHOULD BE APPROPRIATE SPACE EXITS AND UTILITY EASEMENTS TO NOT PROHIBIT THE PLANTING OF TREES AND SHRUBS. SUBSTITUTIONS SHALL NOT BE ALLOWED ON THE PRIVATE LOTS. DEVELOPER SHALL SHOW AT TIME OF BUILDING PERMIT WHETHER TREES CAN OR CANNOT BE PLANTED ON THE PRIVATE LOTS.

FOR THE ODP.

T TYPICALS

SN 170

08.20
10.20

08.20
10.20

08.20
10.20

08.20
10.20

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 156



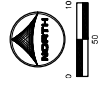
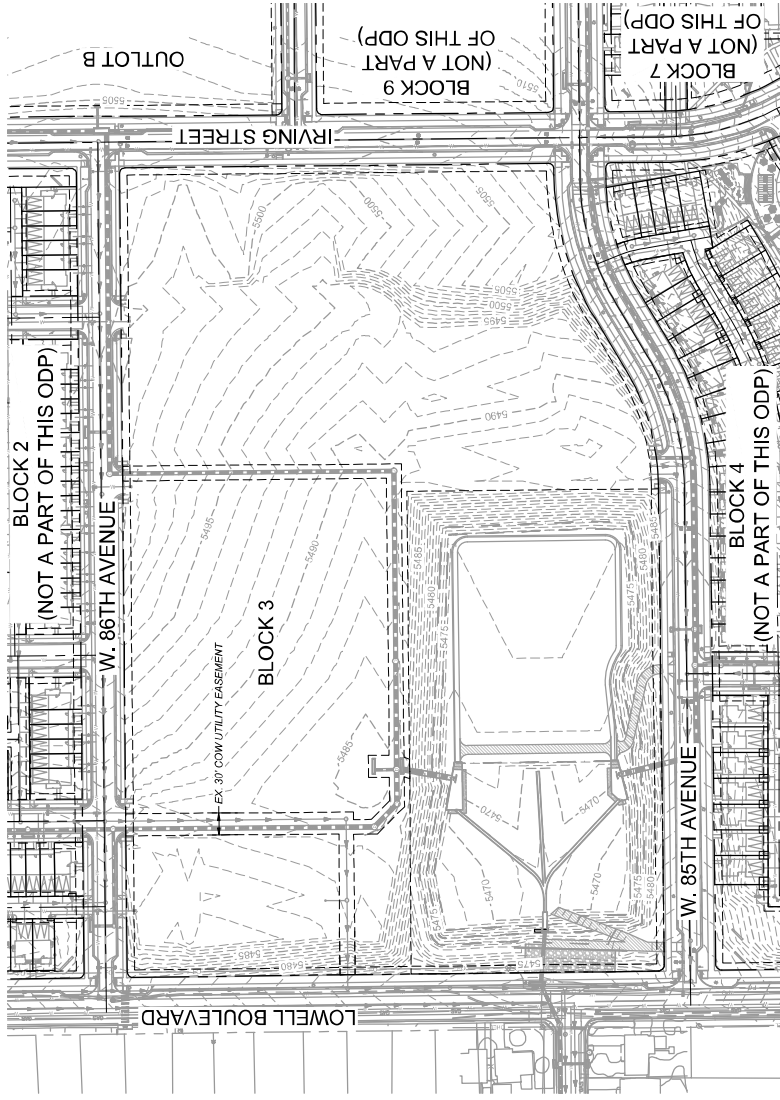
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024
9 OF 156
EXISTING CONDITIONS

- LEGEND:
- RIGHT OF WAY
 - EASEMENT LINE
 - EXISTING SANITARY SEWER
 - EXISTING WATER LINE
 - EXISTING STORM MANHOLE
 - EXISTING FIBER OPTIC
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING STREET LIGHT
 - EXISTING SIGN
 - EXISTING POST
 - EXISTING TELECOMM MANHOLE
 - EXISTING FIBER OPTIC
 - EXISTING MINOR CONTOUR (1')
- NOTES:
- ALL EXISTING INFRASTRUCTURE TO REMAIN UNLESS OTHERWISE NOTED.



- NOTES:**
1. ALL PROPOSED PUBLIC SIDEWALKS ARE 6' UNLESS OTHERWISE NOTED.
 2. ALL PRIVATE WALKS TO SPD AND SFA ARE 4'.
 3. ALL PROPOSED CURB & GUTTER IS 5' CIRCULAR.
 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 5. UPLANDS FOAM WILL BE RESPONSIBLE FOR MAINTENANCE OF PAVEMENT.
 6. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 - 7.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 19 OF 156

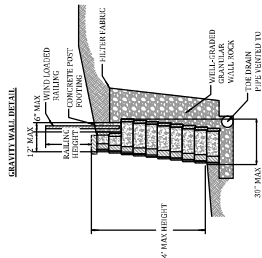
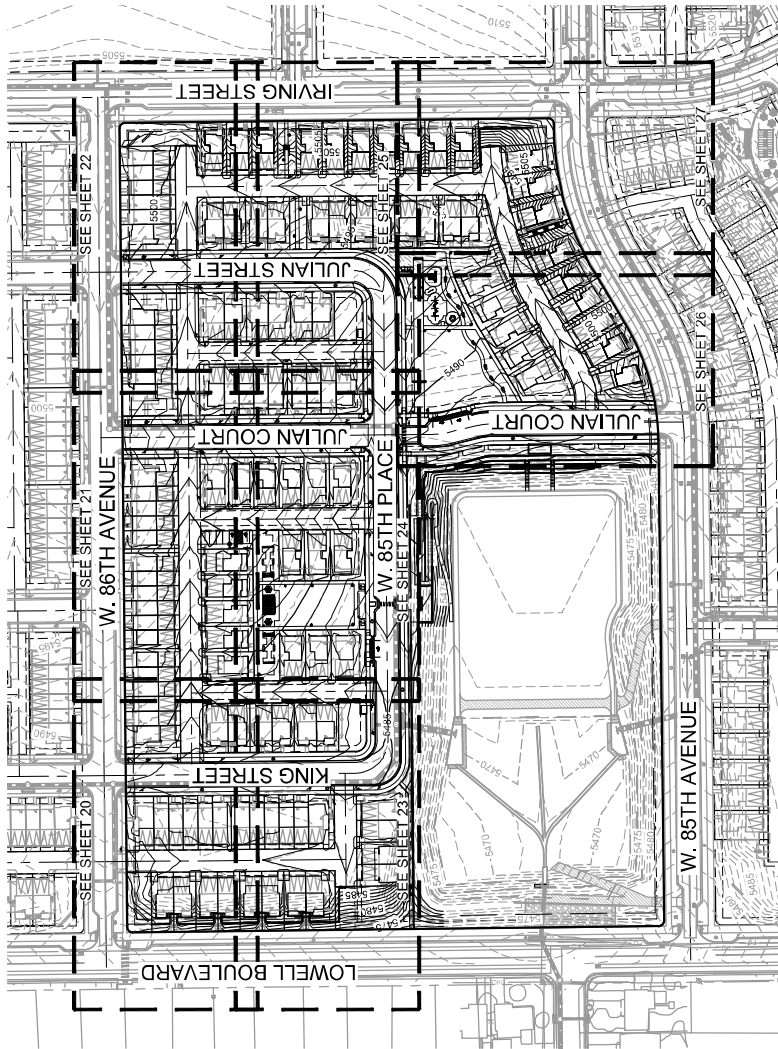


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024
19 OF 156
OVERALL GRADING PLAN



- NOTES:
1. THE GRATE WALL DETAIL IS A DESIGNER'S BEST PRACTICE BASED ON CURRENTLY AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT DIMENSIONS AND DETAILS OF THE GRATE WALL DETAIL WITH THE MANUFACTURER OF THE GRATE WALL DETAIL. THE GRATE WALL DETAIL SHALL BE INSTALLED WITHIN THE PLANNED UNIT DEVELOPMENT.
 2. SETTING WALL FACE TO BE ALAN BLOCK OR ASSILAR PATTERN WITH CAP. CAN BE END. REFER TO OTHER ENTITIES.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 20 OF 156

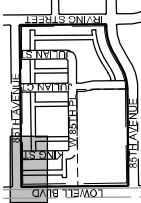


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024
20 OF 156
GRADING PLAN



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - SWALE
 - DRAINAGE ARROW
 - WALL FILING

ABBREVIATIONS:

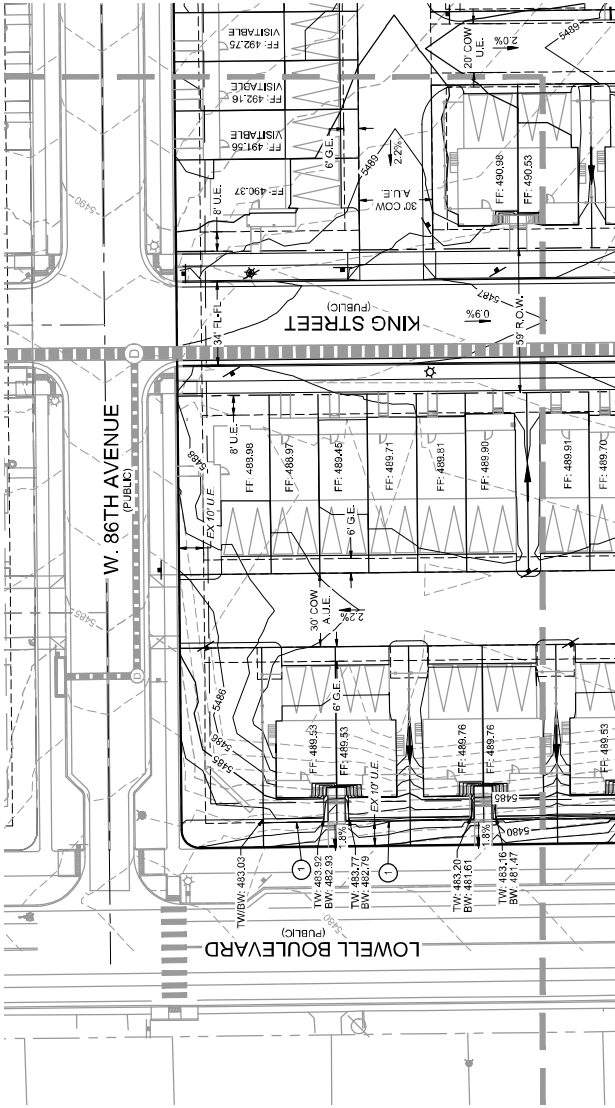
TW - FINISHED GRADE AT TOP OF WALL
BW - FINISHED GRADE AT BOTTOM OF WALL
COW - PUBLIC ACCESS
CON U.E. - PUBLIC ACCESS
COW U.E. - COW UTILITY EASEMENT
G.E. - GAS EASEMENT
U.E. - UTILITY EASEMENT

- KEYNOTE LEGEND:**
- 1. VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 10)
 - 2. STAIRS
 - 3. SIDEWALK RAMPS
 - 4. WALL FILING

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE WALL LOCATIONS AND EXTENTS. WALLS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30 IN HEIGHT.

2. PRIVATE, UNLESS OTHERWISE NOTED.

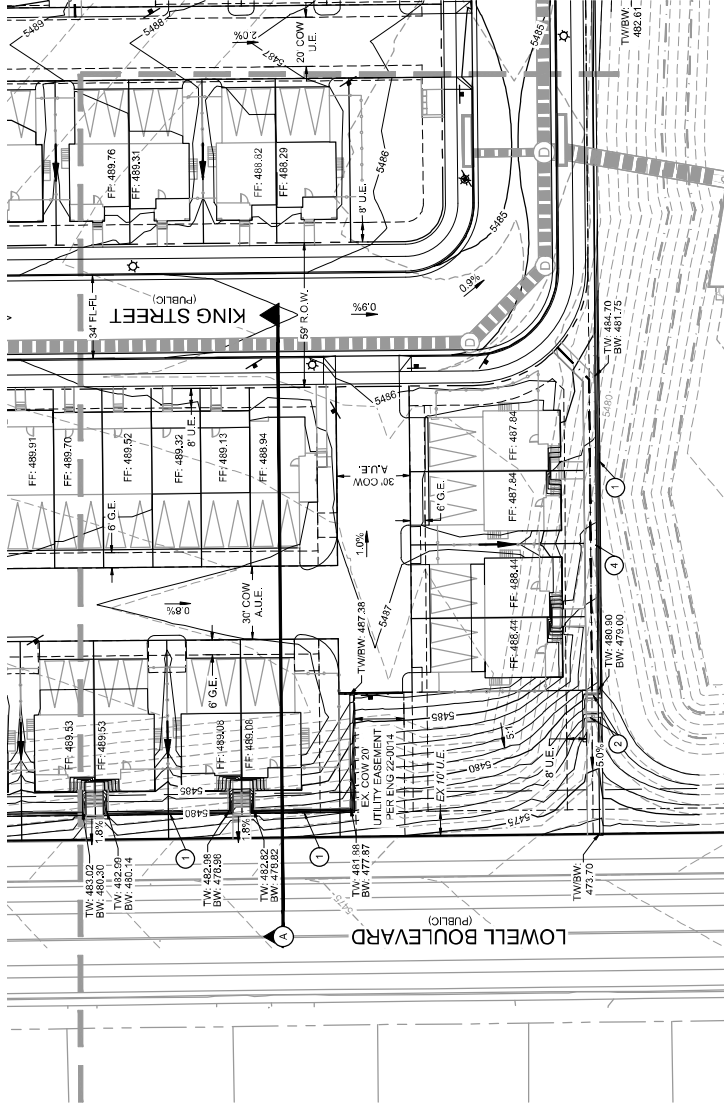


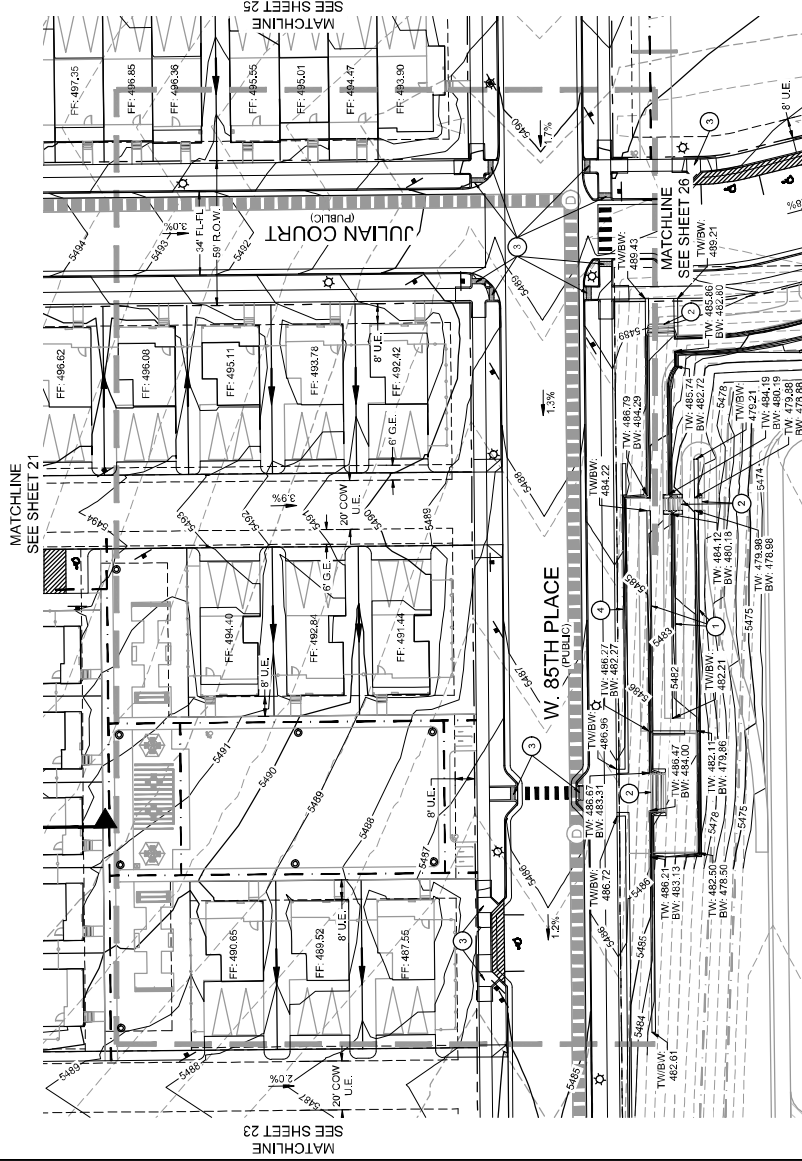
MATCHLINE
SEE SHEET 23

SEE SHEET 21

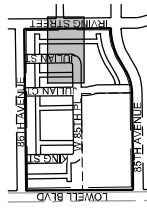
IX

MATCHLINE
SEE SHEET 21





OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 25 OF 156



LEGEND:

=====	PROPERTY LINE
-----	LOT LINE
-----	RIGHT OF WAY
-----5500	PROPOSED MAJOR CONTOUR
-----	PROPOSED MINOR CONTOUR
-----5500	EXISTING MAJOR CONTOUR
-----	EXISTING MINOR CONTOUR
-----	ACCESSIBLE ROUTE
-----	DRAINAGE ARROW
-----	SWALE
-----	WALL RAILING

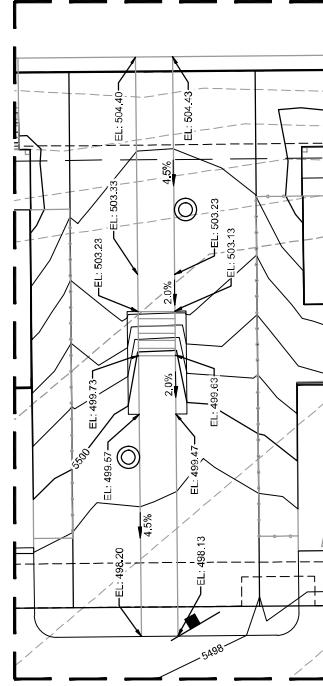
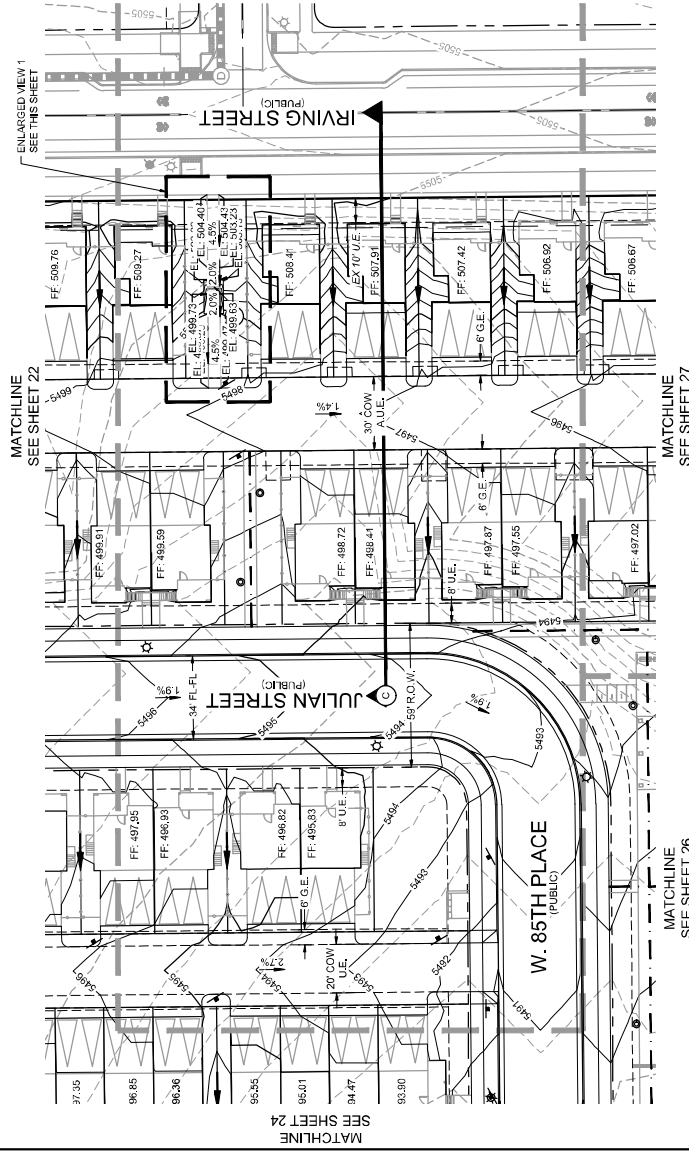
ABBREVIATIONS:
 TW - FINISHED GRADE AT TOP OF WALL
 BW - FINISHED GRADE AT BOTTOM OF WALL
 A.E. - PUBLIC ACCESS EASEMENT
 COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 COW U.E. - COW UTILITY EASEMENT
 G.E. - GAS EASEMENT
 U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

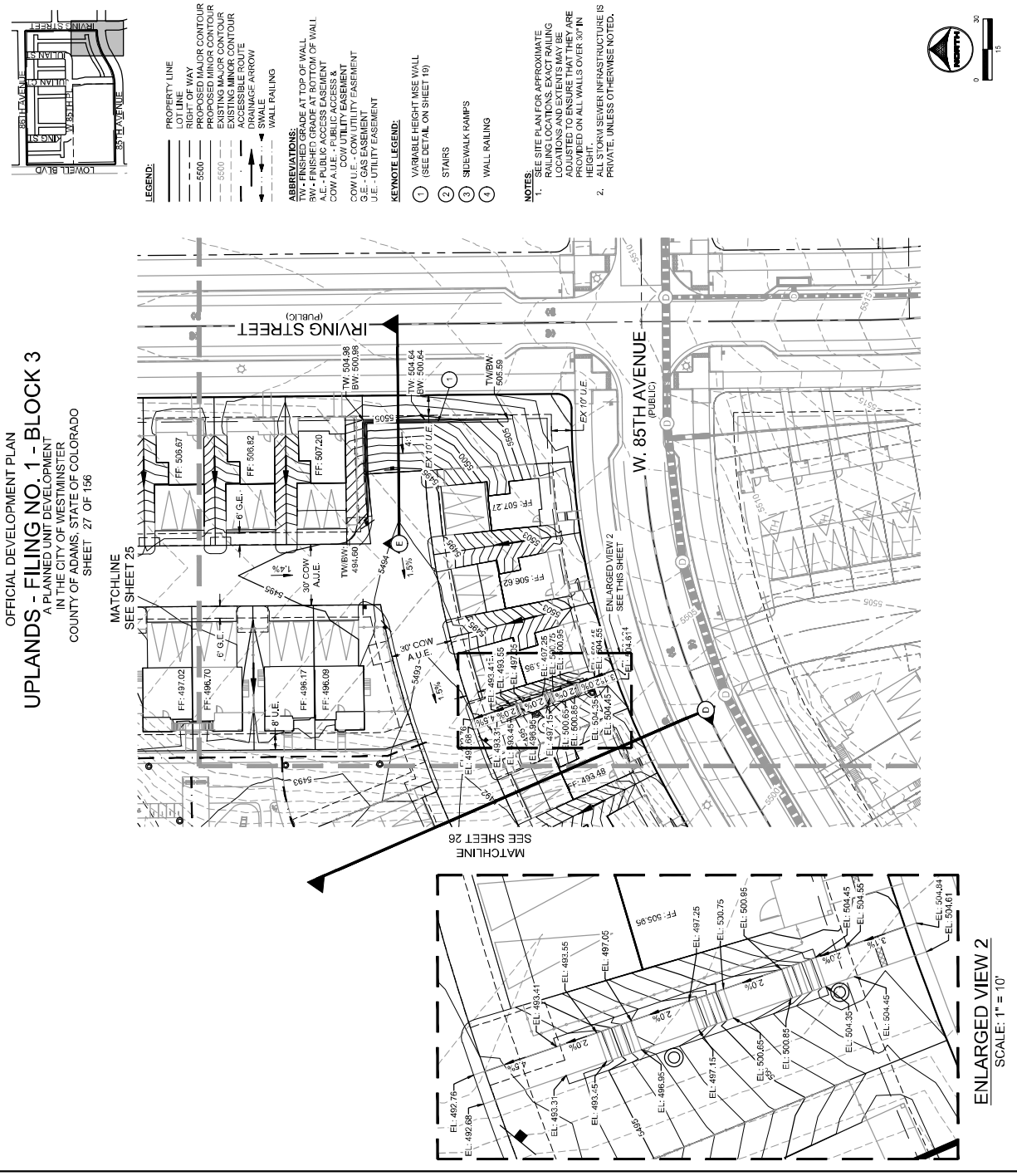
- 1 VARIABLE HEIGHT MSE WALL
(SEE DETAIL ON SHEET 19)
- 2 STAIRS
- 3 SIDEWALK RAMP'S
- 4 WALL RAILING

NOTES:

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED.



ENLARGED VIEW 1
SCALE: 1" = 10'



LOCAL W/ DETACHED WALK
W/ PARKING (59' ROW)

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 31 OF 156



UPLANDS

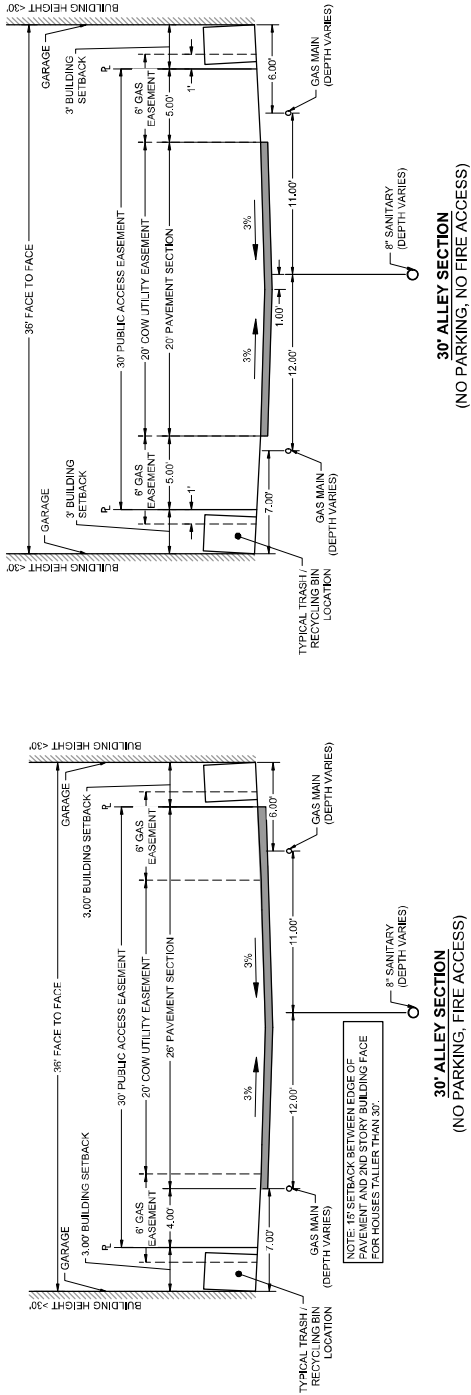
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

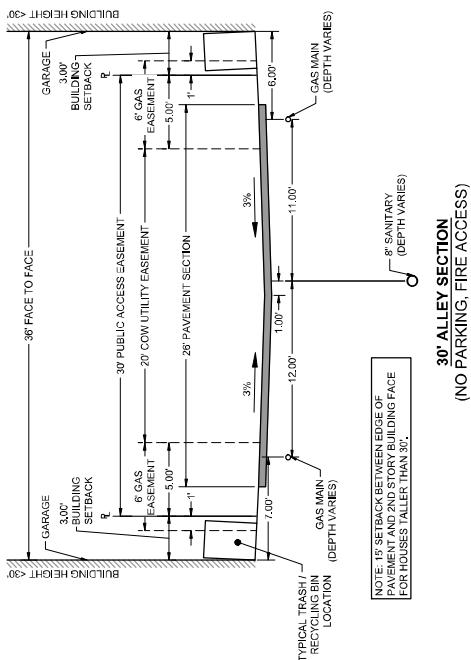
OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

31 OF 156
TYPICAL SECTIONS

ONE UTILITY



30' ALLEY SECTION
(NO PARKING, FIRE ACCESS)



30' ALLEY SECTION
(NO PARKING, FIRE ACCESS)

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 33 OF 156

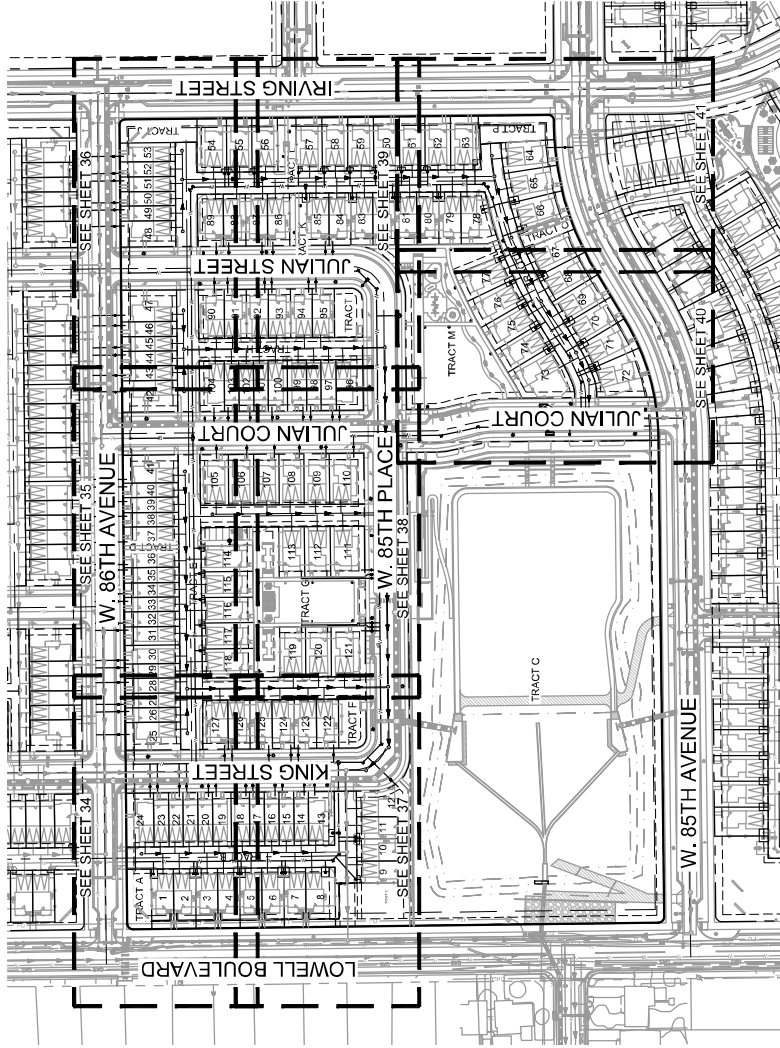
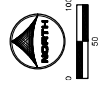


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024
33 OF 156
OVERALL UTILITY PLAN



5

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 35 OF 156

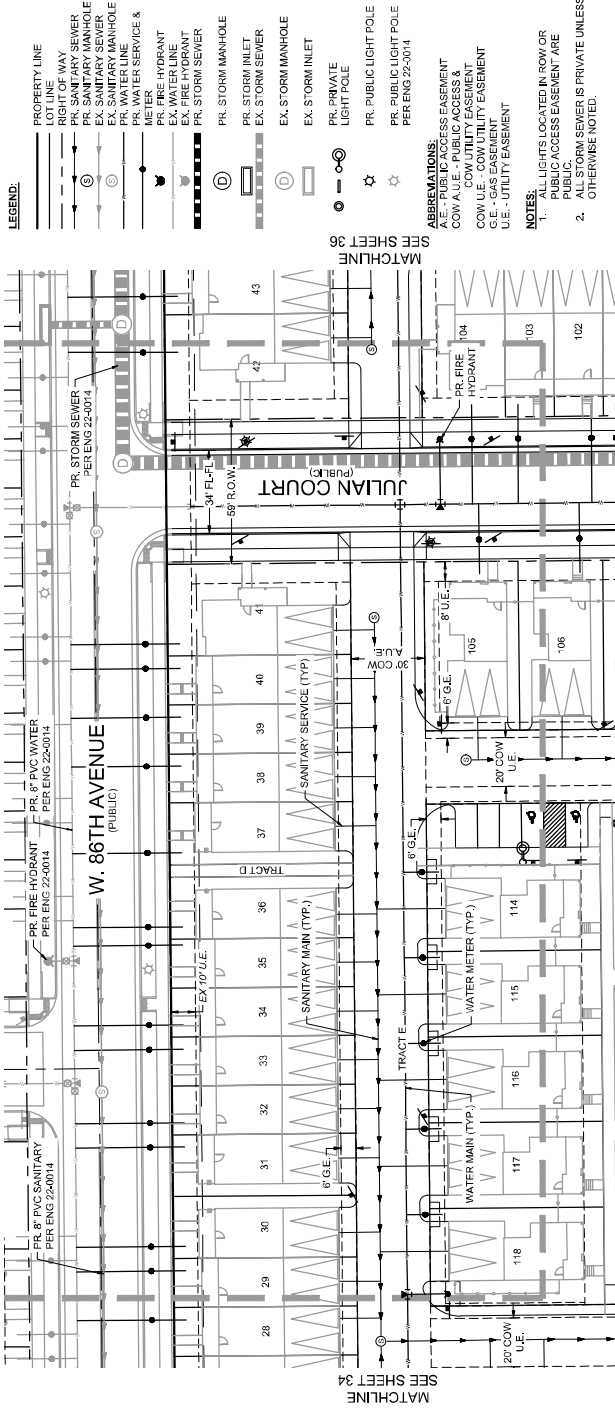
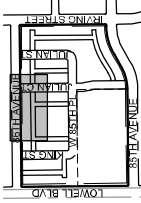


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024
35 OF 156
UTILITY PLAN



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT-OF-WAY
- PR. SANITARY SEWER
- EX. SANITARY SEWER
- PR. SANITARY MANHOLE
- EX. SANITARY MANHOLE
- PR. WATER SERVICE & METER
- PR. FIRE HYDRANT
- EX. FIRE HYDRANT
- PR. STORM SEWER
- PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM SEWER
- EX. STORM MANHOLE
- PR. PRIVATE LIGHT POLE
- PR. PUBLIC LIGHT POLE
- PER ENG 22-2014

ABBREVIATIONS:
P.U.E. - PUBLIC UTILITY EASEMENT
COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
COW U.E. - COW UTILITY EASEMENT
P.U.E. - UTILITY EASEMENT

NOTES:
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.

SEE SHEET 36

SEE SHEET 34

MATCHLINE
SEE SHEET 38

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 36 OF 156

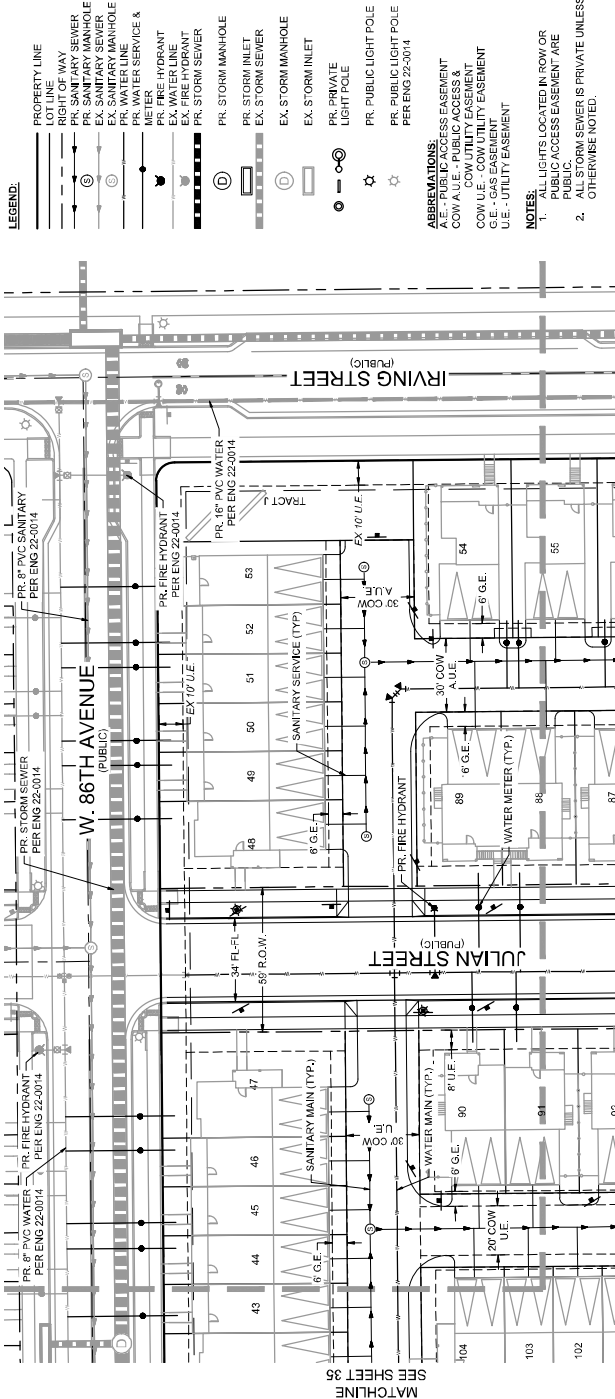
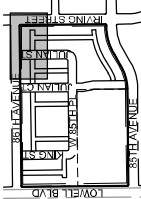


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024
36 OF 156
UTILITY PLAN



LEGEND:

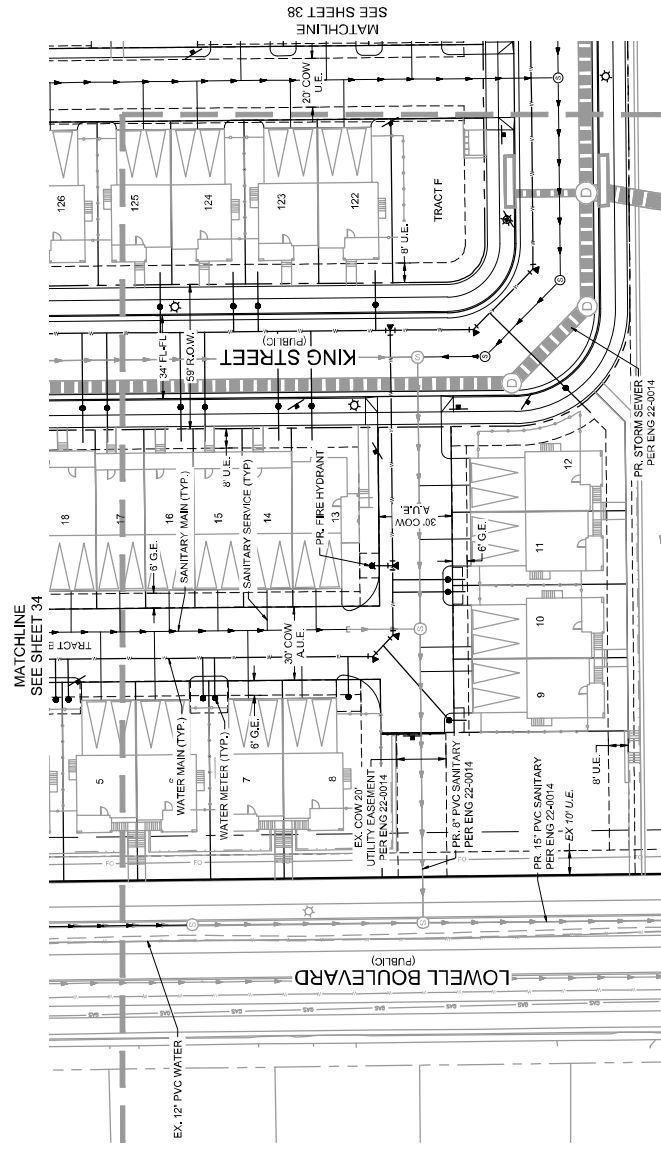
- PROPERTY LINE
- LOT LINE
- RIGHT-OF-WAY
- PR. SANITARY SEWER
- EX. SANITARY MANHOLE
- PR. SANITARY SEWER
- EX. SANITARY MANHOLE
- PR. WATER SERVICE & METER
- PR. FIRE HYDRANT
- EX. FIRE HYDRANT
- PR. STORM SEWER
- PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM SEWER
- EX. STORM MANHOLE
- PR. PRIVATE LIGHT POLE
- PR. PUBLIC LIGHT POLE
- PR. PUBLIC LIGHT POLE PER ENG 22-2014

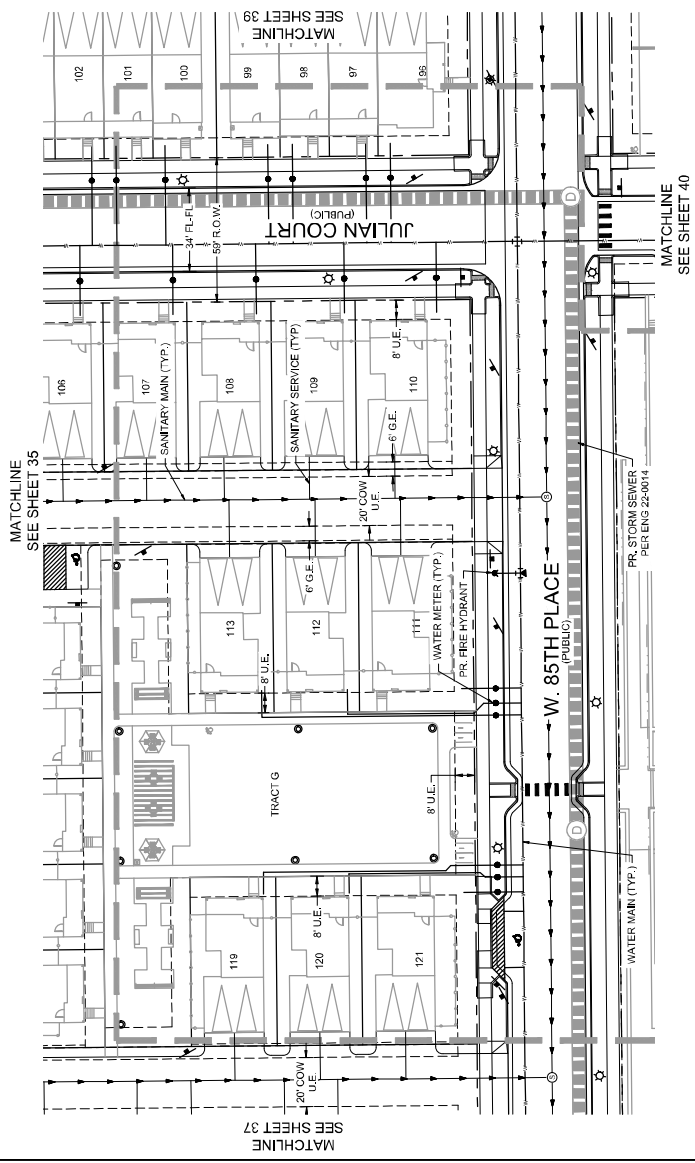
ABBREVIATIONS:
PR - PRIVATE
EX - EXISTING
COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
COW U.E. - COW UTILITY EASEMENT
U.E. - UTILITY EASEMENT

NOTES:
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.

MATCHLINE
SEE SHEET 39

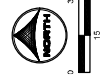
MATCHLINE
SEE SHEET 35





NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 41 OF 156



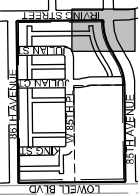
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 05.16.2024	REVISIONS
10.10.2024	08.08.2024
10.10.2024	

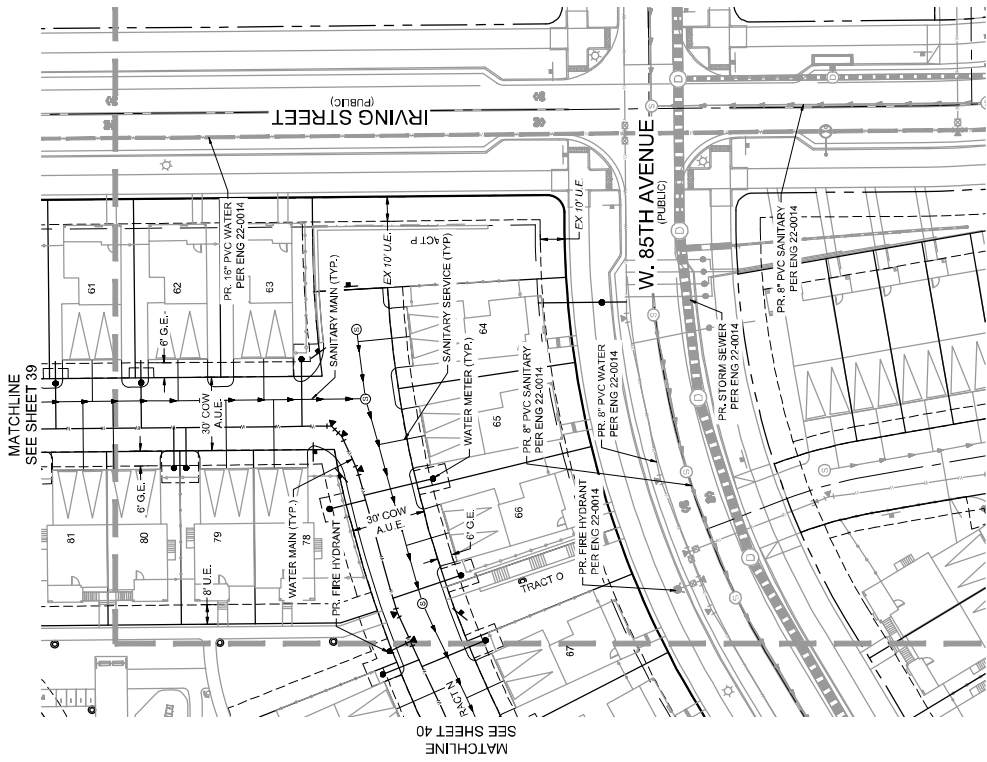
41 OF 156
UTILITY PLAN

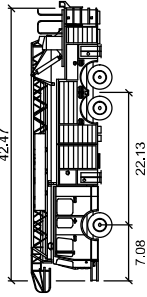


- LEGEND:
- PROPERTY LINE
 - LOT LINE
 - RIGHT-OF-WAY
 - PR. SANITARY SEWER
 - EX. SANITARY MANHOLE
 - EX. SANITARY SEWER
 - PR. SANITARY MANHOLE
 - PR. WATER SERVICE & METER
 - PR. FIRE HYDRANT
 - PR. FIRE HYDRANT
 - EX. FIRE HYDRANT
 - PR. STORM SEWER
 - PR. STORM MANHOLE
 - PR. STORM INLET
 - EX. STORM SEWER
 - EX. STORM MANHOLE
 - EX. STORM INLET
 - PR. PRIVATE LIGHT POLE
 - PR. PUBLIC LIGHT POLE
 - PR. PUBLIC LIGHT POLE
 - PER ENG 22-0014

- ABBREVIATIONS:
- PR. - PRIVATE
 - EX. - EXISTING
 - COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 - COW U.E. - COW UTILITY EASEMENT
 - U.E. - UTILITY EASEMENT

- NOTES:
- ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
 - ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.





- EX, FIRE HYDRANT
- PR, FIRE HYDRANT PER ENG 22014
- PR, FIRE HYDRANT
- TU, TUCKUNDER

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 42 OF 156

NOTE:
ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANUEVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.

Westminister Fire Truck

- Width : 8.33
- Track : 6.91
- Lock to Lock Time : 6.0
- Slewing Angle : 37.1
- Inside Cramp Angle : 40.0
- Wall to Wall Turning Rad. : 45.17



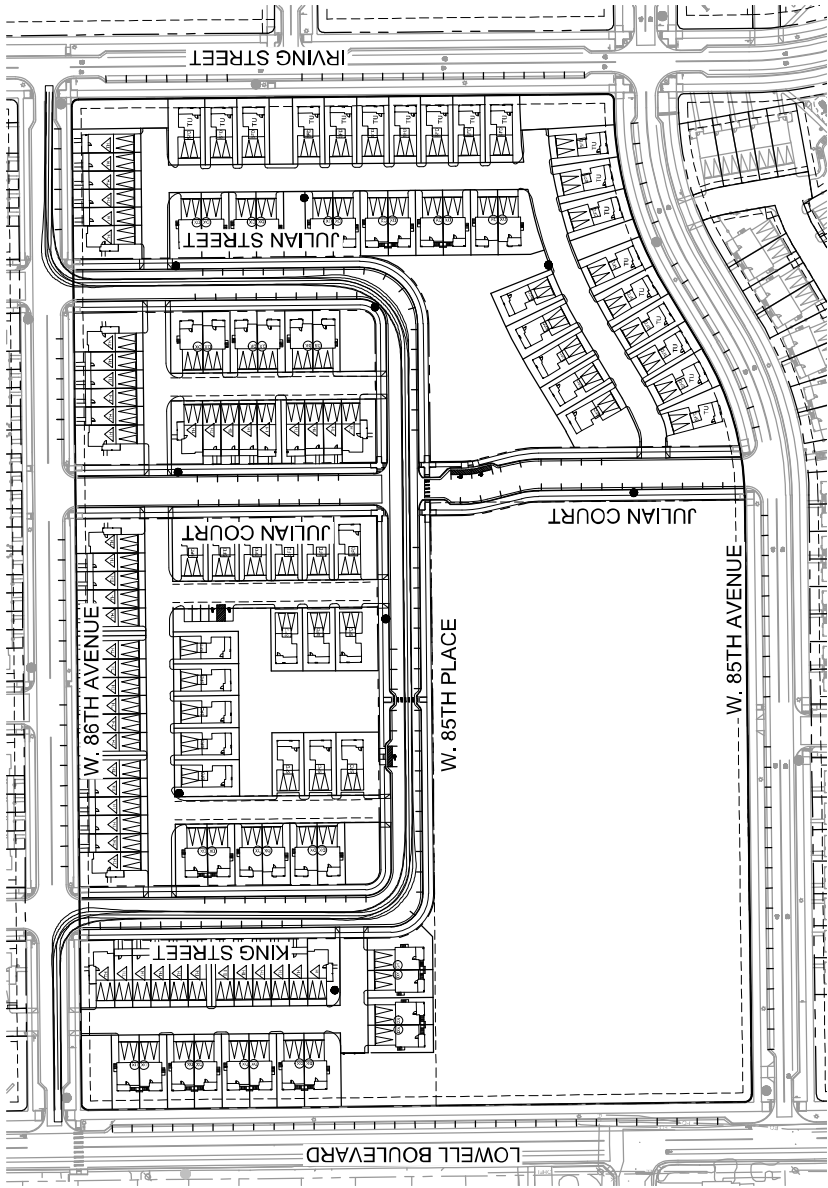
UPLANDS

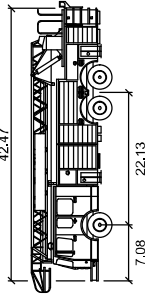
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.09.2024
10.10.2024

42 OF 156
FIRE TRUCK TURNING
EXHIBIT





- EX, FIRE HYDRANT
- PR, FIRE HYDRANT PER ENG 22.014
- PR, FIRE HYDRANT
- TU, TUCKUNDER

Westminister Fire Truck

- Width : 8.33
- Track : 6.91
- Lock to Lock Time : 6.0
- Slewing Angle : 37.1
- Inside Cramp Angle : 40.0
- Wall to Wall Turning Rad. : 45.17

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 43 OF 156

NOTE:
ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANUEVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



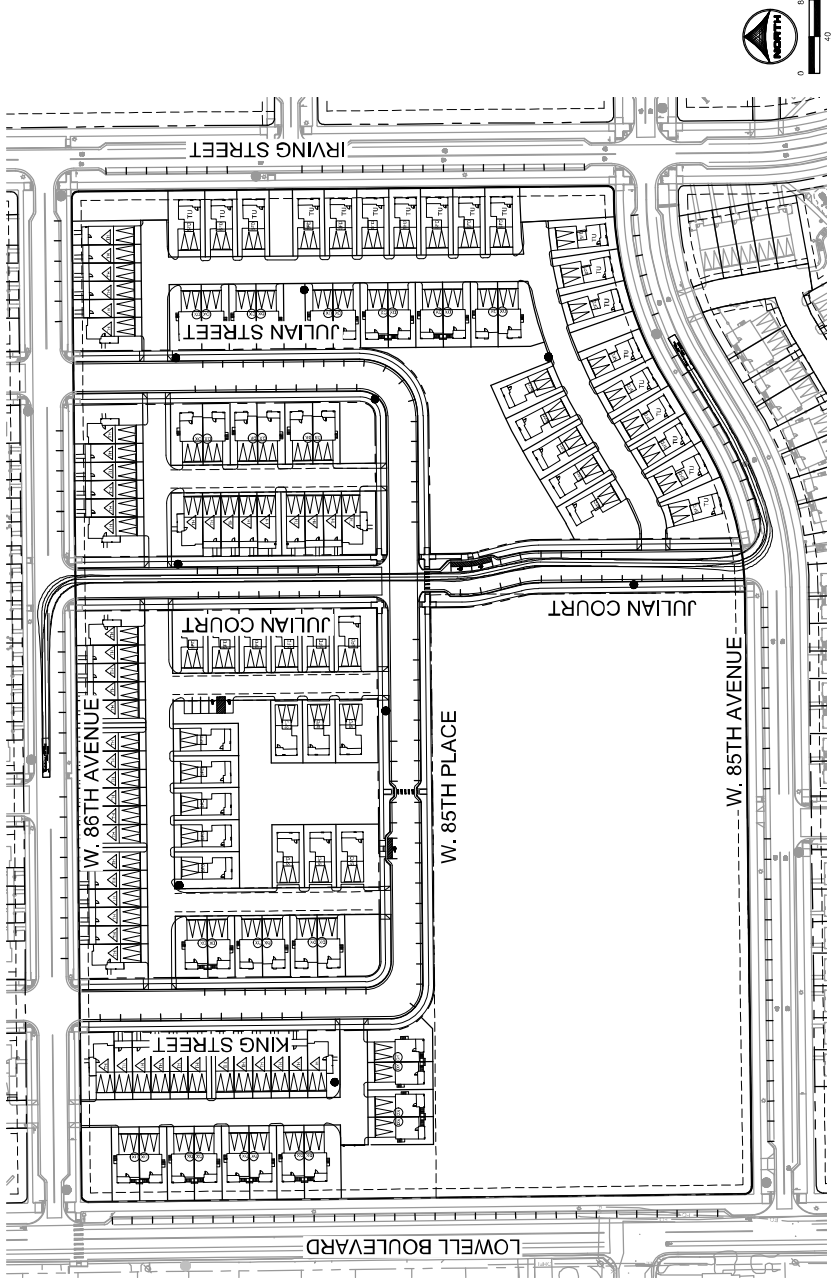
UPLANDS

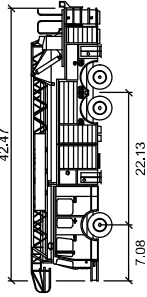
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.09.2024
10.10.2024

43 OF 156
FIRE TRUCK TURNING
EXHIBIT





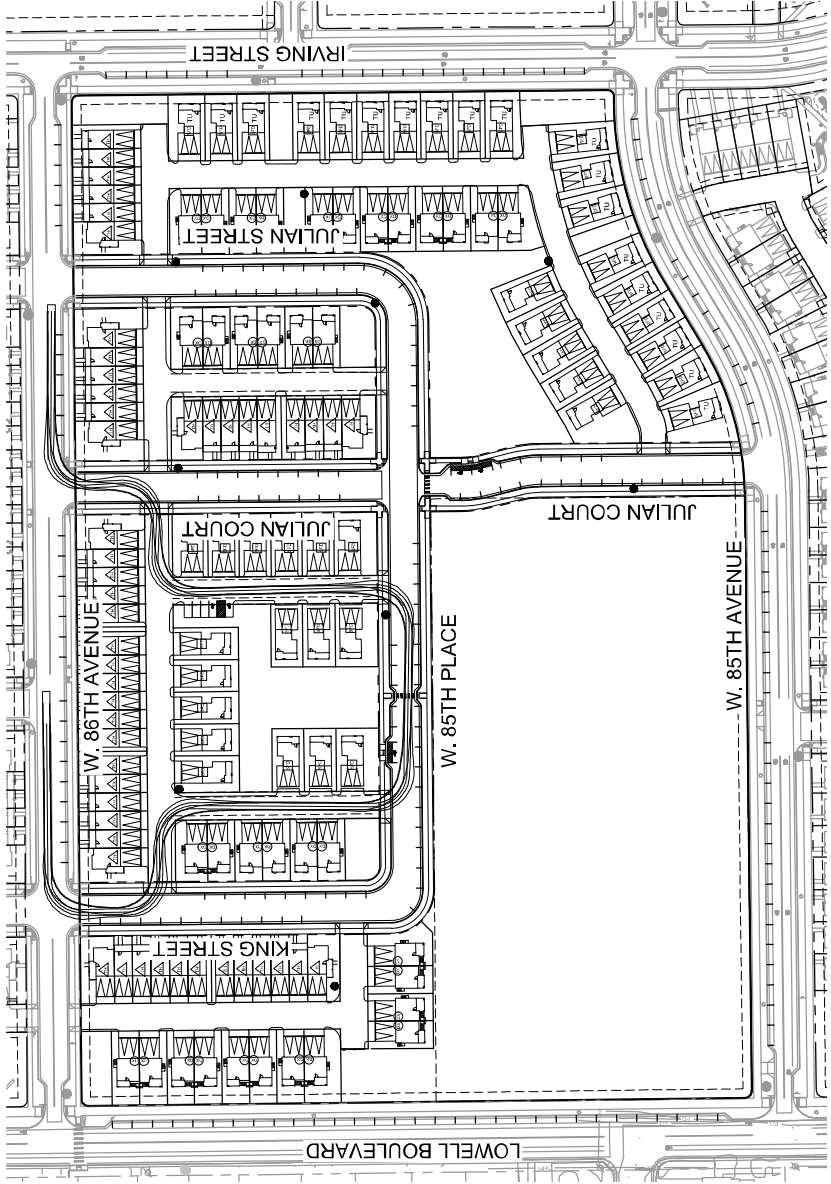
- EX, FIRE HYDRANT
- PR, FIRE HYDRANT PER ENG 22.014
- PR, FIRE HYDRANT
- TU, TUCKUNDER

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 44 OF 156

NOTE:
ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.

Westminister Fire Truck

- Width : 8.33
- Track : 6.91
- Lock to Lock Time : 6.0
- Slewing Angle : 37.1
- Inside Cramp Angle : 40.0
- Wall to Wall Turning Rad. : 45.17

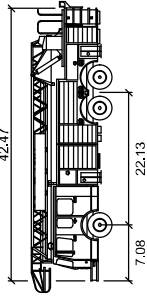


UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.09.2024
10.10.2024



- EX, FIRE HYDRANT
- PR, FIRE HYDRANT PER ENG 22.014
- PR, FIRE HYDRANT
- TU TUCKUNDER

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 45 OF 156

NOTE:
ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHAND OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.

Westminister Fire Truck

- Width : 8.33
- Track : 6.91
- Lock to Lock Time : 6.0
- Slewing Angle : 37.1
- Inside Cramp Angle : 40.0
- Wall to Wall Turning Rad. : 45.17



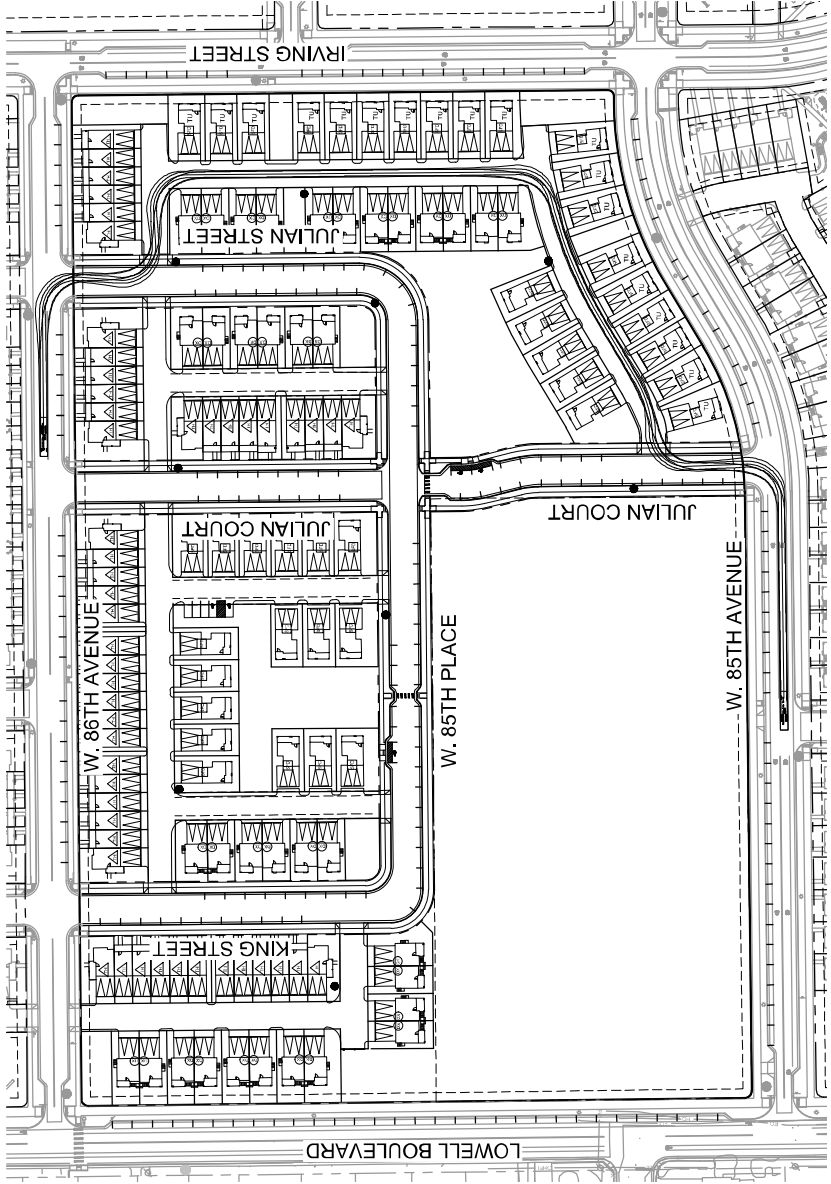
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.09.2024
10.10.2024

45 OF 156
FIRE TRUCK TURNING
EXHIBIT

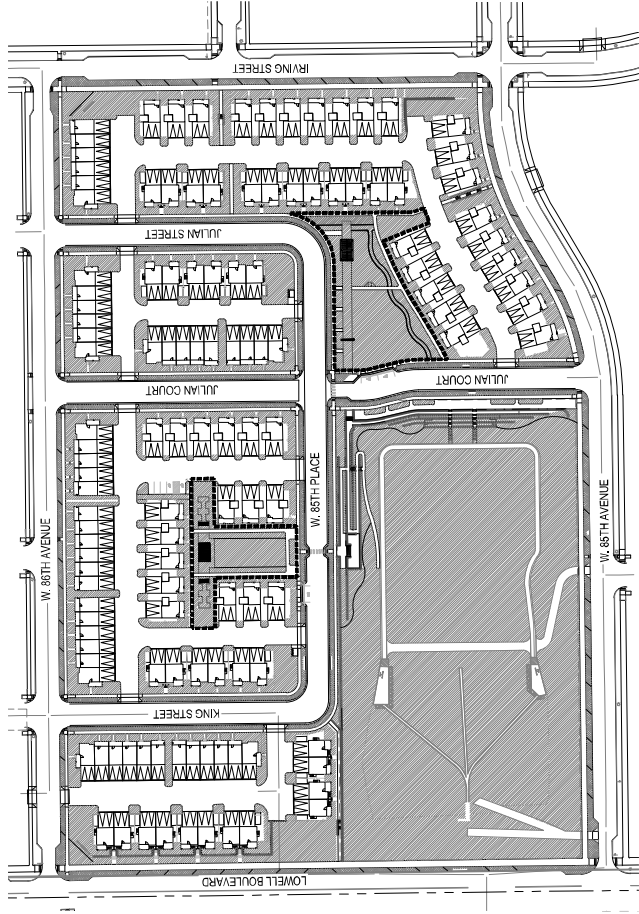


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET: 47 OF 156

MATERIALS SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
M-03	CRUSHER FINES	CRUSHER FINES	PIONEER SAND COMPANY OR APPROVED EQUAL	TAN OR APPROVED EQUAL	LESS THAN 3/8"	SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH.
M-05	PLAY SAFETY SURFACING	ENGINEERED WOOD FIBER	RECREATION PLUS, LTD. OR APPROVED EQUAL	NATURAL	SEE PLAN FOR DIMENSIONS	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-06	STEEL EDGING	INTERLOCKING ROLLED TOP EDGER	RYERSON OR APPROVED EQUAL	BLACK	6" X 14" GAUGE	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
M-07	RETAINING WALL STONE	AB ASHLAR PATTERN WITH CAP	ALIAN BLOCK OR APPROVED EQUAL	TAN BLEND	8" H X 12" D X 18" L	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-10	LANDSCAPE BOULDER - SIZE A	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-11	LANDSCAPE BOULDER - SIZE B	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS
M-12	LANDSCAPE BOULDER - SIZE C	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-15	WOOD MULCH	GORILLA HAIR CEDAR WOOD MULCH	PIONEER SAND OR APPROVED EQUAL	GORILLA HAIR CEDAR MULCH	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-17	ENHANCED CONCRETE - STANDARD GREY	CONCRETE COLOR PIGMENT	DAVIS COLORS OR APPROVED EQUAL	STANDARD GREY / ACID ETCH FINISH	SCORING PER PLAN	MIX AND INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE 5 X 5 X 6" MOCK-UP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

PA-A(3) LANDSCAPE AREA EXHIBIT



UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

47 OF 156
LANDSCAPE SCHEDULES



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED AND DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 48 OF 156

SITE AMENITY SCHEDULE



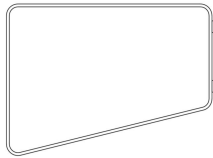
UPLANDS

DATE: 10.10.2024

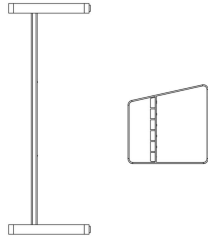
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 06.16.2024	REVISIONS
08.08.2024	10.10.2024

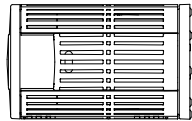
48 OF 156
LANDSCAPE SCHEDULES



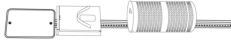
[S.46] DESCRIPTION: BACKLESS BENCH
MANUFACTURER: SITE PIECES
MODEL: MONOLINE FLAT BENCH
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



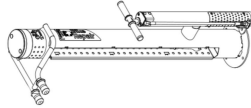
[S.48] DESCRIPTION: BIKE RACK
MANUFACTURER: SITE PIECES
MODEL: MONOLINE FLAT BENCH
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



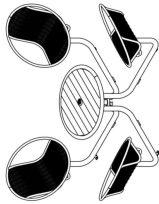
[S.47] DESCRIPTION: BIKE REPAIR STAND
MANUFACTURER: THE PARK CATALOG
MODEL: BIKE REPAIR STAND WITH AIR PUMP
OR APPROVED EQUAL
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



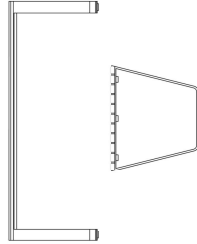
[S.42] DESCRIPTION: LITTER RECEPTACLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: MONOLINE LITTER RECEPTACLE
UNIT WITH SIDE OPENING OR APPROVED
EQUAL
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



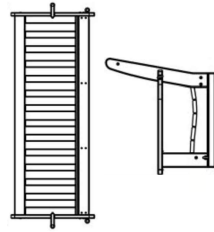
[S.47] DESCRIPTION: BIKE REPAIR STAND
MANUFACTURER: THE PARK CATALOG
MODEL: BIKE REPAIR STAND WITH AIR PUMP
OR APPROVED EQUAL
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



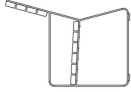
[S.44] DESCRIPTION: 4 TOP TABLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: 4 SEAT HOOP SEAT APPROVED EQUAL
WOOD TABLE TOP, HOOP SEAT, CASUAL
HEIGHT
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.
ACCESSIBILITY: MINIMUM OF ONE (1) TABLE
PER GROUPING OF TABLES TO BE SEAT ADA
VERSION. REFER TO PLAN FOR LOCATION.



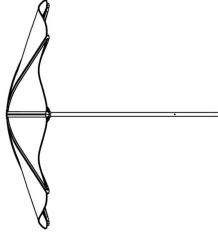
[S.48] DESCRIPTION: FARM TABLE
MANUFACTURER: SITE PIECES
MODEL: MONOLINE COMMUNITY TABLE OR
APPROVED EQUAL
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.



[S.49] DESCRIPTION: PORCH SWING
MANUFACTURER: POLYWOOD
MODEL: VINEYARD 80" PORCH SWING OR
APPROVED EQUAL
NOTES: REFER TO MANUFACTURER'S
INSTALLATION INSTRUCTIONS.



[S.49] DESCRIPTION: MONOLINE BACKED BENCH
MANUFACTURER: SITE PIECES
MODEL: MONOLINE BACKED BENCH
WITH MONOLINE BACK, APPROVED EQUAL
WOOD, MONOLINE BACK, APPROVED ALUMINUM
SLATS / MONOLINE POWDER COAT FINISH
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.

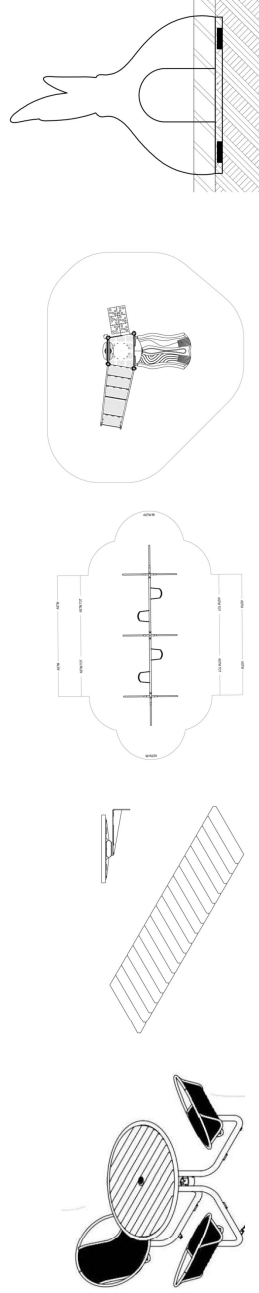


[S.10] DESCRIPTION: UMBRELLA
MANUFACTURER: LANDSCAPE FORMS
MODEL: CYGNUS SOLISTICE UMBRELLA OR
APPROVED EQUAL
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS. NO
SURFACE MOUNT STAND REQUIRED.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 49 OF 156

SITE AMENITY SCHEDULE



S-11 DESCRIPTION: 3 TOP TABLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: 3 SEATS CAROUSEL; HOOP OR
APPROVED EQUAL
COLOR / FINISH: LOLL NAVY BLUE FRAME,
THERMALLY MODIFIED ASH WOODEN TABLE
TOP, HOOP SEAT
NOTES: SURFACE MOUNT PER
MANUFACTURER'S SPECIFICATIONS.

S-48 DESCRIPTION: WALL MOUNTED BENCH MANUFACTURER: LANDSCAPE FORMS MODEL: LINK BENCH OR APPROVED EQUAL COLOR / FINISH: THERMALLY MODIFIED ASH WOOD SLAT / SOLI NAVY BLUE POWDER COAT FINISH

NOTES: PIANO KEY, STRAIGHT, BACKLESS, NO ARMS, WALL MOUNT SUPPORT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

S-49 DESCRIPTION: 4-SEAT SWINGS
MANUFACTURER: PLAYWORLD OR APPROVED
EQUAL
MODEL: CLASSIC STANDARD SWINGS 4-SEATS
#SWING-8-4
COLOR / FINISH: TBD
NOTES: INSTALL PER MANUFACTURER'S
SPECIFICATIONS, AGES 2-12.

S-60 DESCRIPTION: CHALLENGERS PLAYSET WITH TWIST AND SHOUT SLIDE
MANUFACTURER: PLAYWORLD OR APPROVED EQUAL
MODEL: CHALLENGERS #350-1731
COLOR / FINISH: TBD
NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS, AGES 2-5.

S-51 DESCRIPTION: ONION CLIMBER
MANUFACTURER: ID SCULPTURE OR
APPROVED EQUAL
MODEL: SC138
COLOR / FINISH: STANDARD
NOTES: INSTALL PER MANUFACTURER'S
SPECIFIC CATIONS. AGES 5-12.

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

DATE: 10.10.2024

DATE: _____

10.10.2024

S-62 DESCRIPTION: SLIDE-N-LEARN PANEL
MANUFACTURER: PLAYWORLD OR
APPROVED EQUAL
MODEL: #ZZCH4446
COLOR / FINISH: STANDARD
NOTES: INSTALL PER MANUFACTURER'S
SPECIFICATIONS, AGES 2-12.

S-53 DESCRIPTION: SCAVENGER HUNT PANEL
MANUFACTURER: PLAYWORLD OR
APPROVED EQUAL
MODEL: #ZZCH4547
COLOR / FINISH: STANDARD
NOTES: INSTALL PER MANUFACTURER'S
SPECIFICATIONS, AGES 2-12.

S-54 DESCRIPTION: BALANCE BEAM CURVED
MANUFACTURER: PLAYWORLD OR
APPROVED EQUAL
MODEL: #ZZXX1020
COLOR / FINISH: TBD
NOTES: INSTALL PER MANUFACTURER'S
SPECIFICATIONS, AGES 2-12.

S-55 DESCRIPTION: **TIMBER BENCH**
MANUFACTURER: **STREETLIFE OR**
APPROVED EQUAL
MODEL: **HEAVY-HEAVY (H-H) INDUSTRY**
BENCH
COLOR / FINISH: **FSC HARDWOOD III -**
VIRGIN / POWDER COATED SUPPORTS
NOTES: **INSTALL PER MANUFACTURER'S**
SPECIFICATIONS.



49 OF 156

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
R E V I S I O N S
08.08.2024
10.10.2024

OFFICIAL DEVELOPMENT PLAN									
UPLANDS - FILING NO. 1 - BLOCK 3									
PLANNED DEVELOPMENT									
IN THE CITY OF WESTMINSTER									
COUNTY OF ADAMS, STATE OF COLORADO									
SHEET 50 OF 156									
A(3) PLANT SCHEDULE									
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD	
DECIDUOUS TREES									
ACBM	12	ACER GRANDIDENTATUM	BIGTOOTH MAPLE	B & B	2" CAL	MOD	25'-30'	25'-30'	
ACSE	15	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER MAPLE	B & B	3" CAL	LOW	25'-30'	20'-25'	
ACPS	14	ACER PSEUDOPLATANUS	SYCAMORE MAPLE	B & B	2" CAL	MOD	40'-50'	30'-40'	
ACFF	20	ACER SACCARUM 'FALL HESTA'	FALL HESTA SUGAR MAPLE	B & B	2" CAL	MOD	50'-60'	30'-40'	
CASP	11	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL	LOW	40'-50'	25'-30'	
CEOC	27	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL	LOW	50'-60'	30'-40'	
GYDI	24	GYNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	3" CAL	LOW	40'-50'	30'-40'	
KOPA	6	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	B & B	2" CAL	LOW	25'-30'	25'-30'	
KUCA	15	KOELREUTERIA MACROCARPA	BURR OAK	B & B	2" CAL	LOW	40'-50'	40'-50'	
QUMU	13	QUERUS MUEHLBERGII	CHINKAPIN OAK	B & B	2" CAL	MOD	40'-50'	40'-50'	
ULPR	13	ULMUS AMERICANA 'PRINCETON'	AMERICAN OAK	B & B	2" CAL	MOD	50'-60'	40'-50'	
ULAL	16	ULMUS PARVIFOLIA 'ALLEE'	ALLEE® JACBARK ELM	B & B	2" CAL	MOD	40'-50'	30'-40'	
EVERGREEN TREES									
JUSP	31	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6' HEIGHT	LOW	15'-20'	4'-6'	
JURM	18	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6' HEIGHT	LOW	25'-30'	8'-10'	
PIDE	3	PICEA GLAUC 'DENSATA'	BLACK HILLS SPRUCE	B & B	8' HT.	MOD	15'-20'	10'-15'	
PIPU	9	PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HEIGHT	MOD	50'-60'	25'-30'	
PIUY	3	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	B & B	6' HEIGHT	MOD	20'-25'	8'-10'	
PIED	4	PINUS EDULIS	PINON PINE	B & B	6' HT.	LOW	20'-25'	10'-15'	
PING	18	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	8' HT.	LOW	40'-50'	30'-40'	
ORNAMENTAL TREES									
ACTW	16	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL	LOW	20'-25'	15'-20'	
AMAB	12	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6' CLUMP	MOD	25'-30'	15'-20'	
CECA	8	CERCIS CANADENSIS	EASTERN REDBUD	B & B	6' CLUMP	MOD	25'-30'	15'-20'	
CRIN	17	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN	B & B	2" CAL	LOW	20'-25'	15'-20'	
MASS	6	MALES X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2" CAL	MOD	20'-25'	20'-25'	
PRMO	16	PRUNUS ARNICA 'MOORPARK'	MOORPARK APOCOT	B & B	2" CAL	MOD	20'-25'	20'-25'	
PRCH	19	PRUNUS X VIRGINIANA 'P02'	SUCKER PUNCH CANADA CHOKECHERRY	B & B	2" CAL	LOW	25'-30'	15'-20'	
SYRE	6	STRYINGA RETICULATA	JAPANESE TREE LILAC	B & B	2" CAL	MOD	20'-25'	15'-20'	
DECIDUOUS SHRUBS									
AMBT	3	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	CONT.	#5	LOW	15' <	12'-15'	
ATBN	23	ATERISIA CANA	SILVER SAGEBRUSH	CONT.	#5	LOW	3'-4'	2'-3'	
BETA	34	BERBERIS X TARAI	EMERALD CAROUSEL® BARBERRY	CONT.	#5	LOW	5'-6'	5'-6'	
COMI	104	COMAROSTAPHYLLIS MILEFOLIUM	FERNBUSH	CONT.	#5	LOW	4'-5'	5'-6'	
COIS	21	CORNUS SERICEA 'BANTI'	ISANTI REDOSIER DOGWOOD	CONT.	#5	MOD	5'-6'	4'-5'	
COLO	1	CORNUS STOLONIFERA	SHOCKER	CONT.	#5	MOD	15'-15'	7'-8'	
ERAI	110	ERIOGONIA ALBA	BABY BLUE RABBITRUSH	CONT.	#5	LOW	2'-3'	2'-3'	
ERNA	46	ERIOGONIA ALBA 'MAUSEGOSA'	TALL BLUE RABBITRUSH	CONT.	#5	LOW	5'-6'	4'-5'	
EUCC	5	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5	MOD	5'-6'	5'-6'	
FAPA	11	FALCATA X BRACHYOTIS 'DWARF'	ARCHIE PLUME	CONT.	#5	LOW	5'-6'	5'-6'	
FOAR	16	FOSTYTHIA X HENRIUS 'DWARF'	ARNOLD'S NINE FOSTYTHIA	CONT.	#5	LOW	7'-8'	5'-6'	
LICH	3	LOUSTRIUM VULGARE 'CHELONE'	CHELONE PRIVET	CONT.	#5	LOW	2'-3'	3'-4'	
LOAR	11	LOUSTRIUM VULGARE 'LOBENSE'	LOBENSE PRIVET	CONT.	#5	LOW	2'-3'	3'-4'	
PEAT	169	PEROVSKIA ATROPURPUREA	RUSSIAN SAGE	CONT.	#5	LOW	2'-3'	2'-3'	
PELS	231	PEROVSKIA ATROPURPUREA 'LITTLE SPRIE'™	LITTLE SPRIE RUSSIAN SAGE	CONT.	#5	LOW	2'-3'	2'-3'	
PHAL	17	PHLOX CAROLINENSIS 'LUMINA'™	CONFETTI™ PHLOX	CONT.	#5	LOW	2'-3'	2'-3'	
PHSE	12	PHLOX CAROLINENSIS 'SEMPER'™	SEMPER™ PHLOX	CONT.	#5	MOD	2'-3'	2'-3'	
PODR	154	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3'	2'-3'	
PONC	94	POTENTILLA FRUTICOSA 'MOXAY'S WHITE'	MOXAY'S WHITE BUSH CINQUEFOIL	CONT.	#5	LOW	2'-3'	2'-3'	
PRBS	3	PRUNUS BESSEYI	WESTERN SAND CHERRY	CONT.	#5	LOW	5'-6'	5'-6'	
PRPB	8	PRUNUS BESSEYI 'PINNINE BUTTES'	PINNINE BUTTES SAND CHERRY	CONT.	#5	LOW	5'-6'	5'-6'	
PRPE	1	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	CONT.	#5	MOD	5'-6'	5'-6'	
RIAR	8	RIBES ALPINA 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	CONT.	#5	LOW	2'-3'	2'-3'	
ROAR	22	ROSA X DOUBLE 'MOCKOUT'	DOUBLE MOCKOUT ROSE	CONT.	#5	MOD	3'-4'	3'-4'	
RODO	26	ROSA X FLOWER 'CARPET CORAL'	CORAL FLOWER CARPET ROSE	CONT.	#5	LOW	2'-3'	3'-4'	
ROFL	23	ROSA X YEARLY 'WILD'	YEARLY WILD FLORIBUNDA ROSE	CONT.	#5	LOW	2'-3'	3'-4'	
RONW	23	ROSA X YEARLY 'WILD'	YEARLY WILD FLORIBUNDA ROSE	CONT.	#5	LOW	2'-3'	3'-4'	
SPAL	16	STAPHYLICARPOS X BODENROSI 'MARLEEN'	MARLEEN SNOWBERRY	CONT.	#5	LOW	3'-4'	2'-3'	
STOR	36	STAPHYLICARPOS X BODENROSI 'MARLEEN'	MARLEEN SNOWBERRY	CONT.	#5	LOW	3'-4'	2'-3'	
STMA	3	STRYINGA NETERI 'PALBIN'	DWARF KOREAN LILAC	CONT.	#5	LOW	5'-6'	5'-6'	

UPLANDS

NOTE:
25% MIN SHADE TREES ARE INCREASED TO 3" CAL AND 25% MIN
OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT.

EVERGREEN TOTALS	
TOTAL TREES	374
ROW TREES	137
COMMON AREA (NONROW) TREES	237
TOTAL EVERGREEN TREES REQUIRED (33%)	120
TOTAL PERCENTAGE OF EVERGREEN TREES PROVIDED	86
TOTAL PERCENTAGE OF EVERGREEN TREES	23%
PERCENTAGE OF EVERGREEN TREES EXCLUDING ROW TREES	34%

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024



50 OF 156
LANDSCAPE SCHEDULES

UPLANDS - FILING NO. 1 - BLOCK 3

PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

A(3) PLANT SCHEDULE

SHEET 50 OF 156

OFFICIAL DEVELOPMENT PLAN

UPLANDS - FILING NO. 1 - BLOCK 3

PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

A(3) PLANT SCHEDULE

SHEET 50 OF 156

OFFICIAL DEVELOPMENT PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED LAND DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 51 OF 156



A(3) PLANT SCHEDULE CONT.

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
SY MI	43	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	CONT.	#5	LOW	4'-5'	4'-5'
SY YU	6	SYRINGA VULGARIS	COMMON LILAC	CONT.	#5	LOW	10'-15'	11'-12'
VI MA	6	VIBURNUM BURJEATICUM	MANCHURIAN VIBURNUM	CONT.	#5	LOW	10'-15'	7'-8'
EVERGREEN SHRUBS								
AR CO	10	ARCTOSTAPHYLOS X COLORADOENSIS	MOCK BEARBERRY MANZANITA	CONT.	#5	LOW	1'-2'	4'-5'
AR PA	14	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	CONT.	#5	LOW	1'-2'	4'-5'
BU BE	73	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY'	GREEN BEAUTY JAPANESE BOXWOOD	CONT.	#5	MOD	4'-5'	4'-5'
HE PA	17	HESPERALOE PARVIFLORA	RED YUCCA	CONT.	#5	LOW	3'-4'	3'-4'
JU BH	24	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	#5	LOW	1'-2'	5'-6'
JU BL	6	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG CREEPING JUNIPER	CONT.	#5	LOW	1'-2'	9'-10'
JU BR	35	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	CONT.	#5	LOW	1'-2'	7'-8'
JU CC	59	JUNIPERUS SABINA 'CALGARY CARPET' TM	CALGARY CARPET JUNIPER	CONT.	#5	LOW	1'-2'	7'-8'
MA CO	32	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	CONT.	#5	LOW	2'-3'	2'-3'
MA RE	53	MAHONIA REFENS	CREEPING MAHONIA	CONT.	#5	LOW	2'-3'	3'-4'
PIMO	6	PINUS MUGO 'MOPS'	MOPS MUGO PINE	CONT.	#5	LOW	4'-5'	5'-6'
YU GO	4	YUCCA FILAMENTOSA 'GOLDEN SWORD'	GOLDEN SWORD ADAMS NEEDLE	CONT.	#5	LOW	1'-2'	2'-3'
ORNAMENTAL GRASSES								
AN WI	89	ANDROPOGON GERARDI 'WINDWALKER'	WINDWALKER BIG BLUE STEM	CONT.	#1	LOW	5'-6'	2'-3'
BO BA	220	BOULEDOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	#1	LOW	1'-2'	1'-2'
CA KF	380	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	4'-5'	2'-3'
CO SE	5	CORTADERIA SELLOANA	PAMPA GRASS	CONT.	#1	LOW	9'-12'	5'-6'
ER RA	12	ERIANthus RAVENNAE	RAVENNA GRASS	CONT.	#1	LOW	9'-12'	3'-4'
HA AU	100	HAKONICHLIOA MACRA 'AUREOLA'	GOLDEN VARIEGATED FOREST GRASS	CONT.	#1	MOD	1'-2'	1'-2'
HE SE	236	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT.	#1	MOD	2'-3'	1'-2'
MI AL	72	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	CONT.	#1	MOD	4'-5'	2'-3'
MI VA	34	MISCANTHUS SINENSIS 'VARIEGATUS'	VAREGATED MAIDEN GRASS	CONT.	#1	MOD	4'-5'	2'-3'
MU RE	34	MULLENBERGIA REVERCHONI 'UNDAUNTED'	UNDAUNTED MUHLY	CONT.	#1	LOW	2'-3'	1'-2'
PA SH	165	PANICUM VIRGATUM 'SHEWANDOH'	SWITCH GRASS	CONT.	#1	LOW	3'-4'	2'-3'
PN SH	33	PANICUM VIRGATUM 'SHEWANDOH'	SHEWANDOH SWITCH GRASS	CONT.	#1	LOW	3'-4'	2'-3'
PE HA	193	PENNISETUM ALOPECUROIDES 'HAMELI'	HAMELI FOUNTAIN GRASS	CONT.	#1	LOW	1'-2'	1'-2'
SC SC	362	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	3'-4'	2'-3'
SP HE	265	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	LOW	2'-3'	1'-2'
PERENNIALS								
AC MO	229	ACHILLEA X MOONSHINE	MOONSHINE YARROW	CONT.	#1	LOW	2'-3'	1'-2'
AG RU	81	AGASTACHE RUPESTRIS	SUNSET HYSSOP	CONT.	#1	LOW	2'-3'	1'-2'
AA AP	39	AGASTACHE RUPESTRIS 'APACHE SUNSET'	APACHE SUNSET THREADLEAF HYSSOP	CONT.	#1	LOW	1'-2'	1'-2'
AN SR	22	ANEMONE X HYBRIDA 'SERENADE'	SERENADE JAPANESE ANEMONE	CONT.	#1	MOD	1'-2'	1'-2'
AS SP	3	ASCLEPIAS SPECIOSA	SHOWY MILKWEEED	CONT.	#1	MOD	3'-4'	1'-2'
AS TU	18	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEEED	CONT.	#1	LOW	1'-2'	2'-3'
CA RA	19	CAMPIS RADICANS	TRUMPET CREEPER	CONT.	#1	LOW	13'-15'	3'-4'
CO MO	36	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	CONT.	#1	LOW	1'-2'	1'-2'
EG PU	50	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	#1	LOW	1'-2'	1'-2'
GE RZ	26	GERANIUM X GERVAI	ROZANNE GERANIUM	CONT.	#1	LOW	1'-2'	1'-2'
HE RC	10	HEMEROCALLIS X ROCKET CITY	ROCKET CITY DAYLILY	CONT.	#1	LOW	1'-2'	1'-2'
HE PP	51	HEUCHERA MICRANTHA 'PURPLE PALACE'	PALACE PURPLE CORAL BELLS	CONT.	#1	MOD	1'-2'	1'-2'
HO PA	44	HOSTA FORTUNEI 'PATRIOT'	PATRIOT HOSTA	CONT.	#1	MOD	1'-2'	2'-3'
HO KR	16	HOSTA X 'KROSSA REGAL'	KROSSA REGAL HOSTA	CONT.	#1	MOD	2'-3'	3'-4'
LY AU	52	LYSMACHIA NUMMULARIA 'AUREA'	GOLDEN CREEPING JENNY	CONT.	#1	MOD	3'-4'	1'-2'
NE LU	6	NEPETA X 'PSHKE' TM	LITTLE TRUDY CATMINT	CONT.	#1	LOW	<1'	1'-2'
NE WL	342	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT.	#1	LOW	2'-3'	2'-3'
PE PE	17	PENSTEMON EATONI	FIRECRACKER PENSTEMON	CONT.	#1	LOW	1'-2'	1'-2'
RU FU	101	RUBROCKIA FULGIDA 'GOLDSTRIUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	2'-3'	1'-2'
SA IN	40	SALVIA SYLVESTRIS 'MANICHAUT'	MAY NIGHT SALVIA	CONT.	#1	LOW	2'-3'	1'-2'
ST BY	12	STACHYS BYZANTINA	LAMB'S EAR	CONT.	#1	LOW	1'-2'	1'-2'
VIBV	11	VINCA MINOR 'BOWLES'	BOWLES COMMON PERIWINKLE	CONT.	#1	LOW	<1'	1'-2'

UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

51 OF 156
LANDSCAPE SCHEDULES



COMMON NAME	% OF MIX	P.S. SCORE
A. KALI BIL BUSH	8.33%	0.83
CANADA VILDRYE	8.33%	0.83
CLAYTONIA	8.33%	0.83
NOBGRASS	8.33%	0.83
PRAIRIE COROGRASS	8.33%	0.83
RAVENNA GRASS	8.33%	0.83
THREE SQUARE BILBUSH	8.33%	0.83
HARDSTEN BILBUSH	8.33%	0.83
RAVENNA GRASS	8.33%	0.83
BALD BILBUSH	8.33%	0.83
CREEPING SPIDERUSH	8.33%	0.83
WOOLY SEDGE	8.33%	0.83
TOTAL 100%		100% P.S. SCORE

NOTE:
ALL NATIVE SEED SHALL BE MAINTAINED AND IRRIGATED AT A MAXIMUM OF 1 INCHES IN HEIGHT WHEN ADJACENT TO PATHWAYS. HEIGHT SHALL BE MAINTAINED FOR A MINIMUM OF 42 INCHES FROM PATHWAY EDGES ON BOTH SIDES.

*IF BROADCAST METHOD IS USED, RATES SHALL BE DOUBLED

NATIVE TURF GRASS: NATURE'S PRAIRIE TURF BY TURF MASTER SOIL, LLC

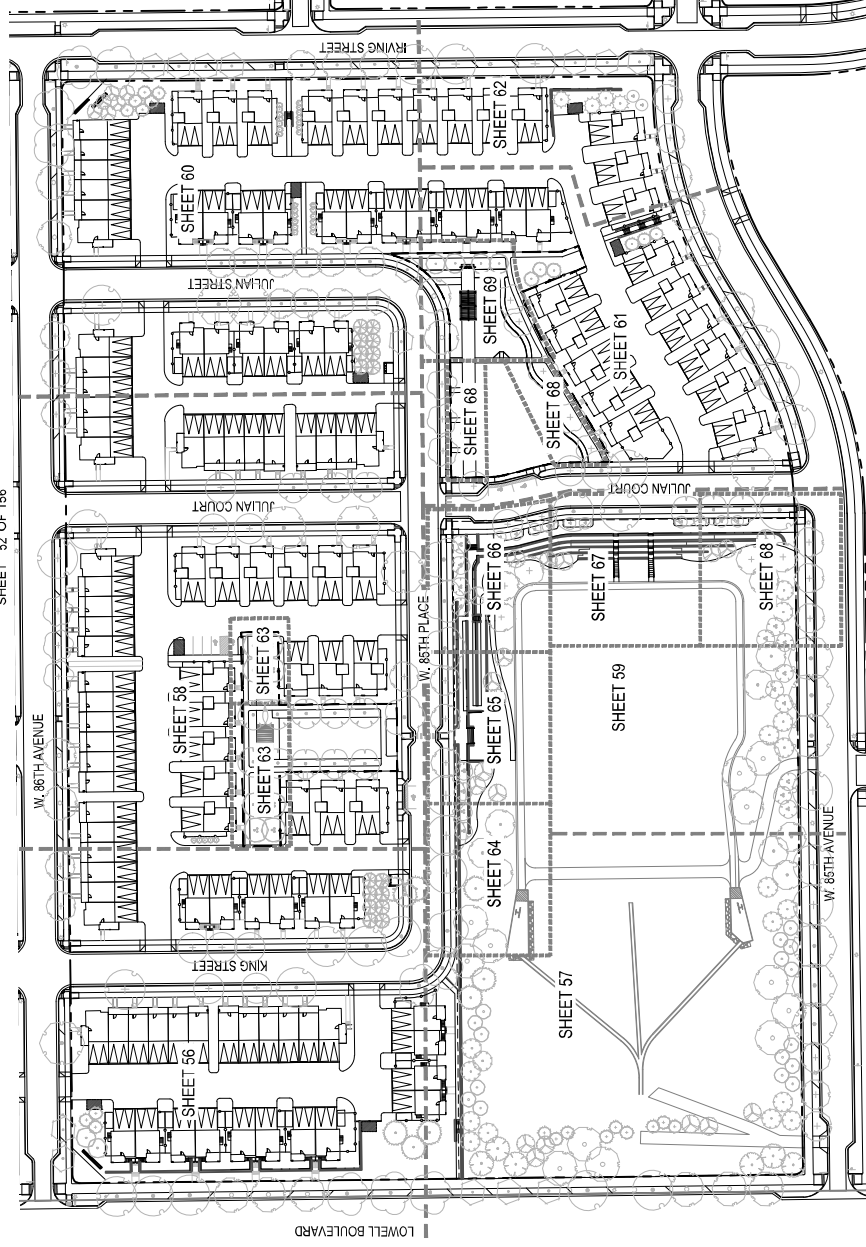
NATURE'S PRAIRIE TURF BLEND

SOD: VOTEX TEXAS HYBRID BLUEGRASS BLEND BY KORY SOIL, LLC

NOTE:
NATURE'S PRAIRIE TURF GRASS IS TO BE MAINTAINED TO A MAX HEIGHT OF 6" WITHIN TREE LAWNS AS WELL AS A 4' STRIP ALONG CURBS. ALL OTHER AREAS OF THE LOT NATURE'S PRAIRIE SOIL SHALL BE ALLOWED TO GROW TO NATURE HEIGHT OF 6"

WETLAND NATIVE SEED: PRESI PRAIRIE WETLAND MIX BY PAWNEE BUTTES SEED, INC.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 52 OF 156

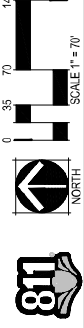


LEGEND

-  SNOW STORAGE LOCATIONS
 MATCH LINE
 SITE BOUNDARY
 ENLARGEMENT LINE

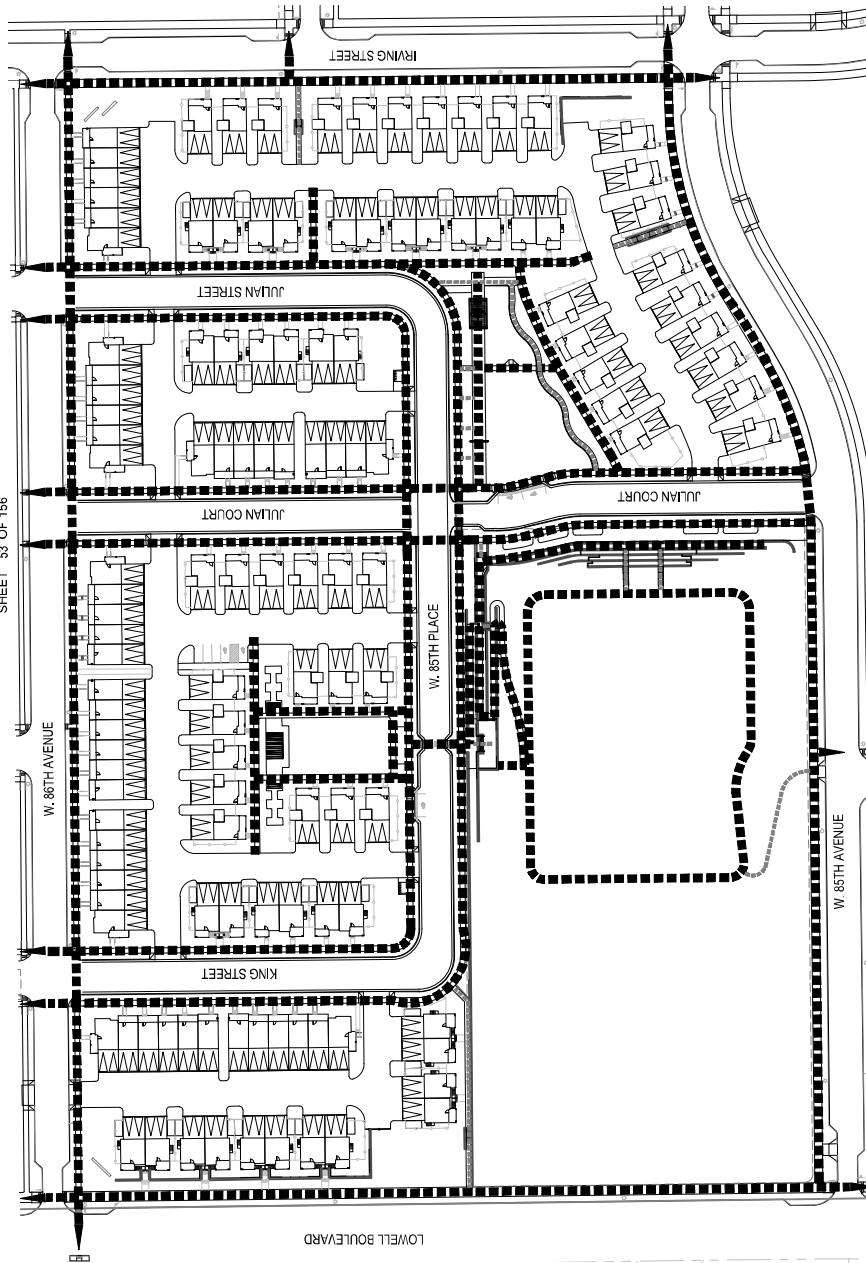
NOTE:

NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIALS SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.

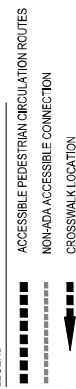


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3

IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 53 OF 156

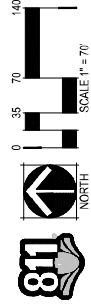


LEGEND



NOTE:

NOTE:
1. ADDITIONAL CROSSINGS MAY BE PROVIDED ONCE ADJACENT NEIGHBORHOOD LAYOUTS ARE DETERMINED TO PROMOTE SAFE PEDESTRIAN CROSSING.



SCALE 1" = 70'

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 54 OF 156

W. 86TH AVENUE

DATE: 10.10.2024

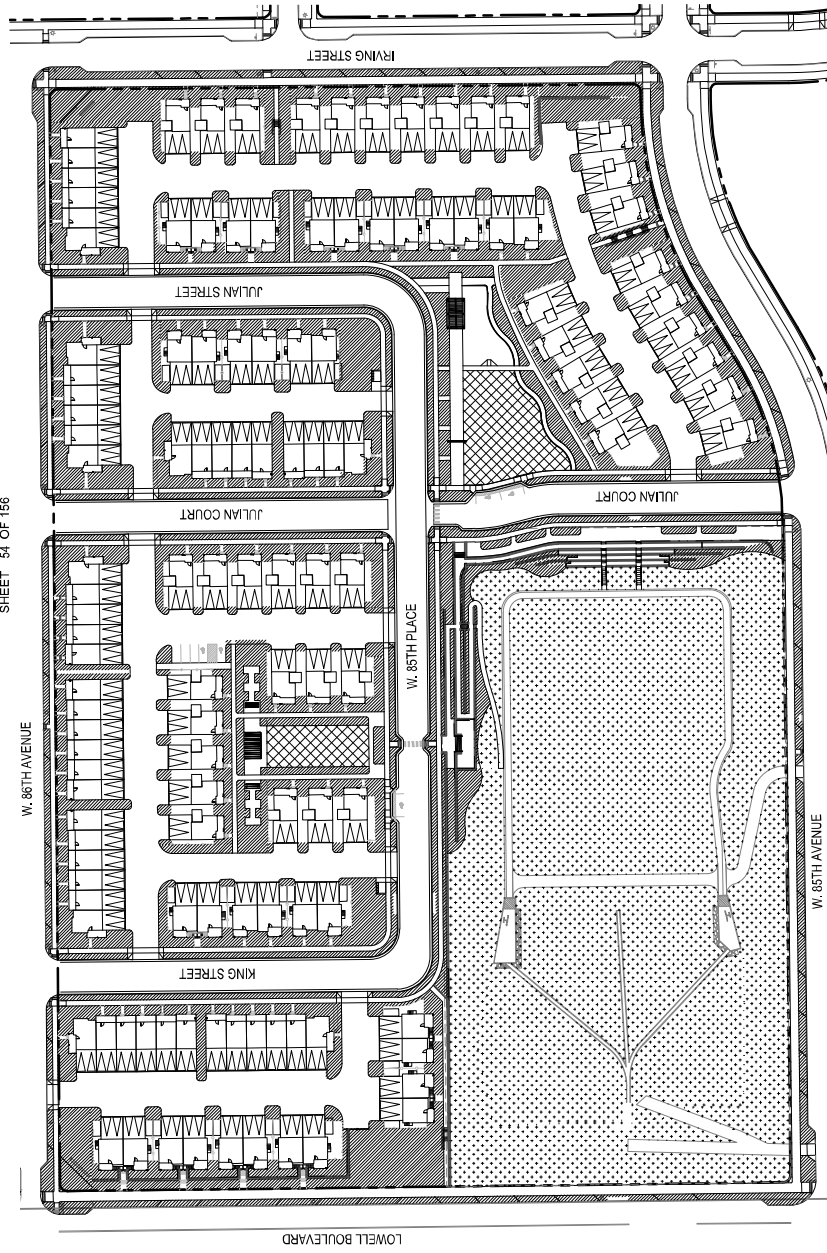
WUPLANDS

DATE: _____

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 05.16.2024	REVISIONS	08.08.2024	10.10.2024		
---------------------------	----------------------	-----------	------------	------------	--	--

54 OF 156
HYDROZONE PLAN



NOTES:

1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.
2. TOTAL LANDSCAPE AREA EXCLUDES SFD HOMES.
3. ALL IRRIGATION USES A POTABLE WATER SOURCE.
4. WOOD MULCH AS SPECIFIED IN MATERIAL SPECIFICATION SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.
5. HOSE BIBS WILL BE PROVIDED FOR INDIVIDUAL HOMEOWNER USE ON ALL SFD AND PAIRED HOMES.

LANDSCAPE WATER BUDGET			
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH	4.5	12,831	X 18 GAL = 230,958
MEDIUM	33.1	94,803	X 10 GAL = 940,030
LOW	62.4	173,963	X 3 GAL = 536,889
TOTAL ALL HYDROZONES	100	286,597	TOTAL GAL = 1,715,877
TOTAL GAL / TOTAL LANDSCAPED AREA =			5.0
MEDIUM (PRIVATELY IRRIGATED AREA)*	100%	87,941	X 10 GAL = 879,410

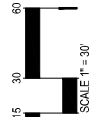
NOTES:

* PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEETS 8 & 9 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.



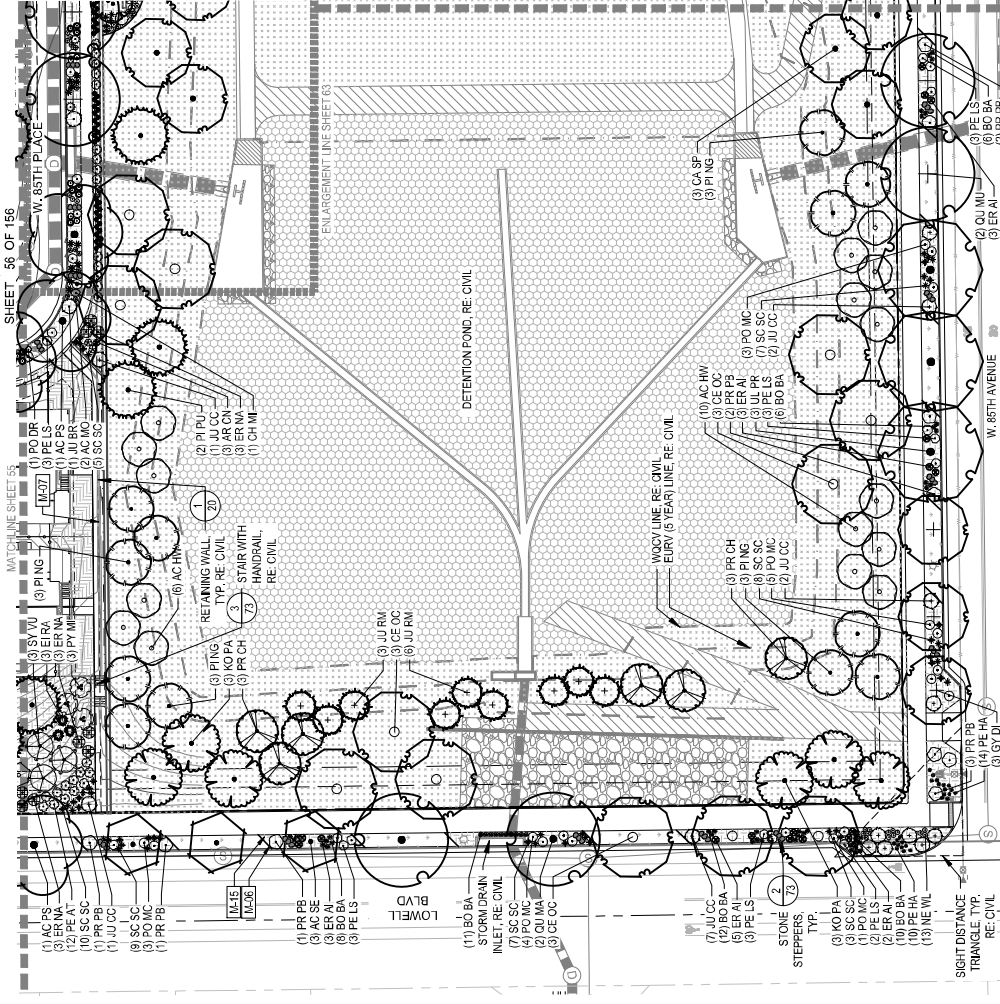
SCALE 1" = 70'

SCALE 1" = 70'



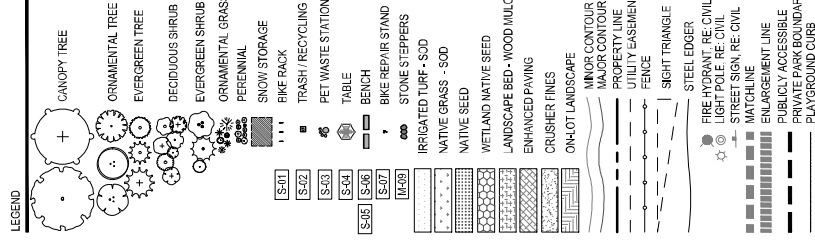
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 56 OF 156



NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER.

KEY MAP PAA-3



UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO
DATE: 10.10.2024



OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024
56 OF 156
LANDSCAPE PLAN

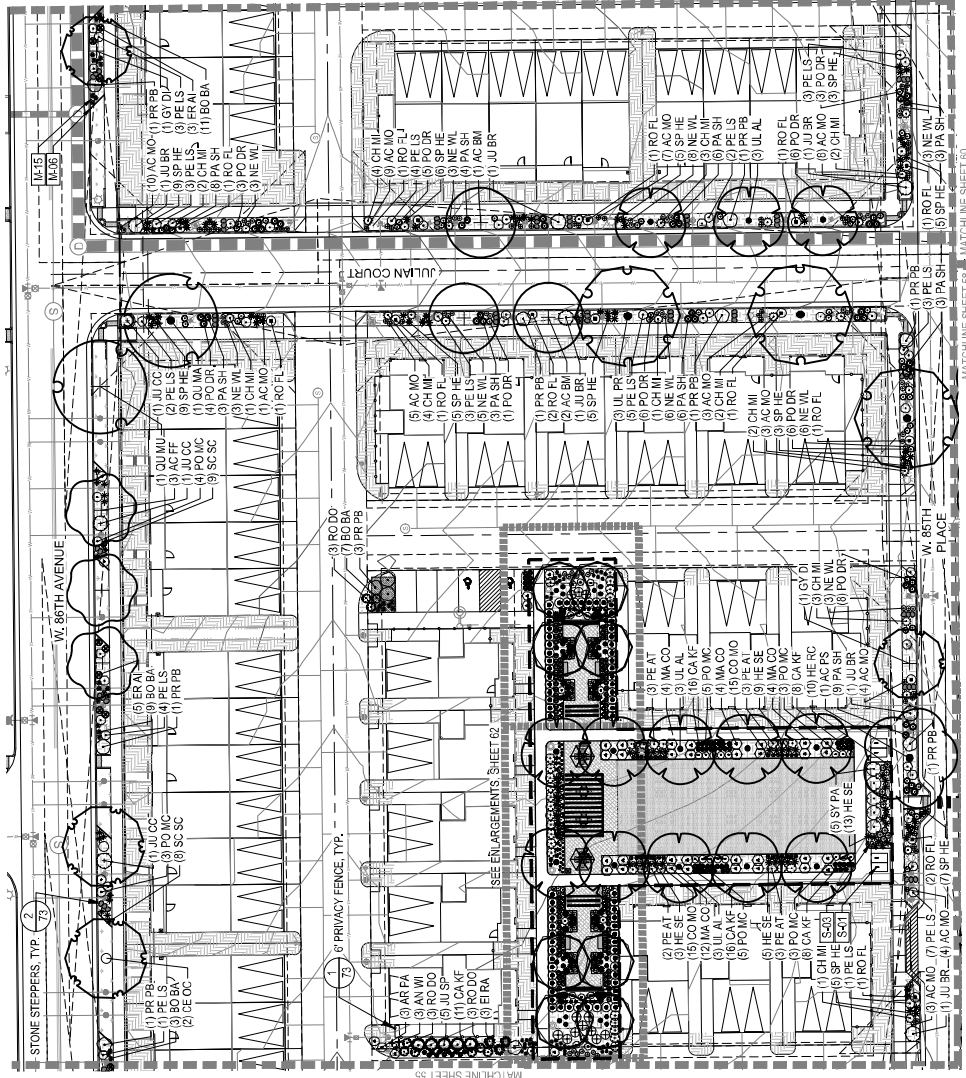
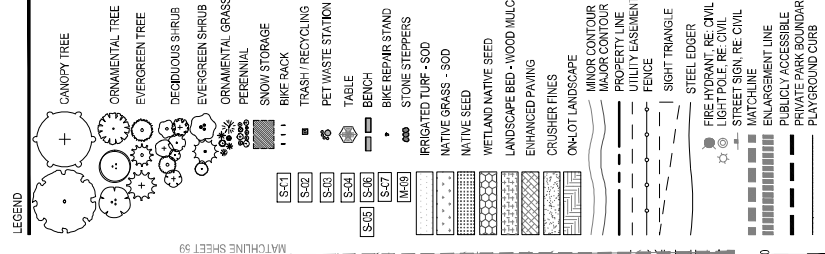
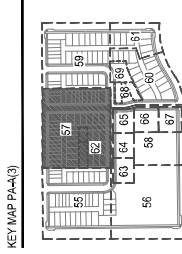
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 57 OF 156



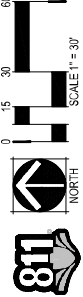
UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

08.08.2024	REVISIONS
10.10.2024	PREPARED: 05.16.2024
57	OF 156
LANDSCAPE PLAN	



NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
BE THE PRIMARY GROUND COVER.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 58 OF 156



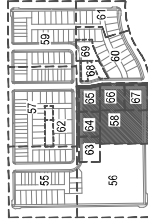
UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 06.16.2024	REVISIONS
08.08.2024	10.10.2024

58 OF 156
LANDSCAPE PLAN

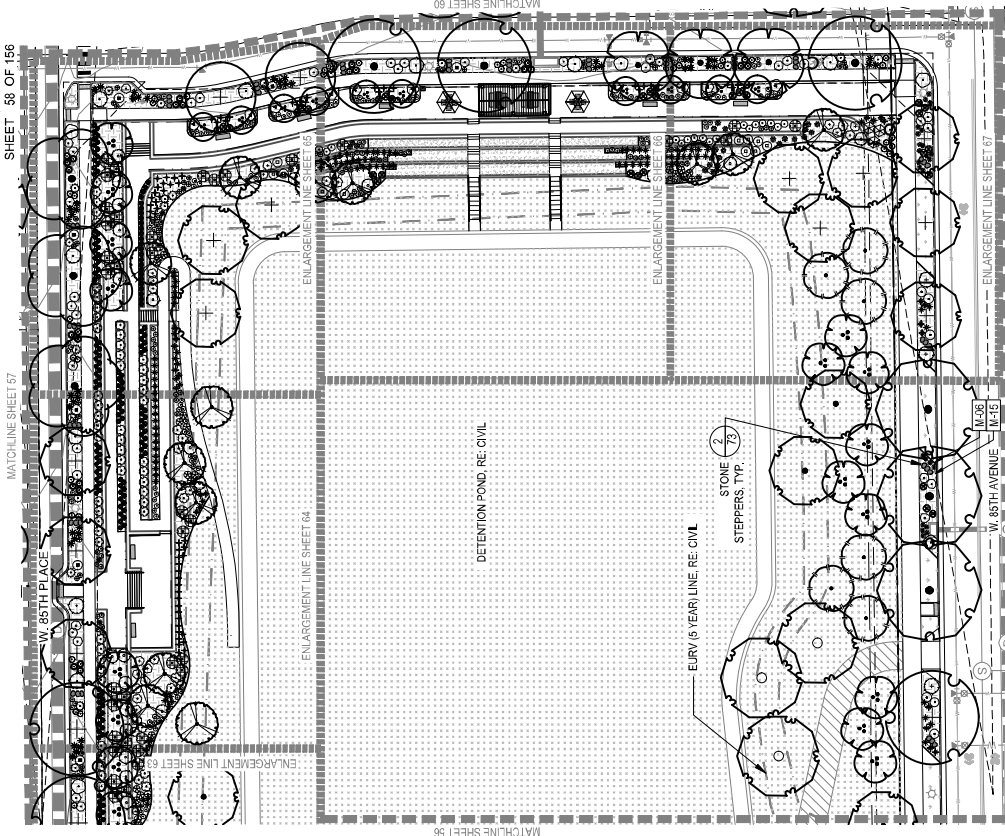
KEY (MAP PAA-1)



LEGEND	
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	SNOW STORAGE
	BIKE RACK
	TRASH / RECYCLING
	PET WASTE STATION
	TABLE
	BENCH
	BIKE REPAIR STAND
	STONE STEPPERS
	IRRIGATED TURF - SOD
	NATIVE GRASS - SOD
	NATIVE SEED
	WETLAND NATIVE SEED
	LANDSCAPE BED - WOOD MULCH
	ENHANCED PAVING
	CRUSHER FINES
	ON-LOT LANDSCAPE
	MINOR CONTOUR
	MAJOR CONTOUR
	PROPERTY LINE
	UTILITY EASEMENT
	FENCE
	SIGHT TRIANGLE
	STEEL EDGER
	FIRE HYDRANT - RE CIVIL
	LIGHT POLE - RE CIVIL
	STREET SIGN - RE CIVIL
	PUBLICLY ACCESSIBLE
	PRIVATE PARK BOUNDARY
	PLAYGROUND CURB



0 15 30 60
SCALE 1" = 30'



NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
BE THE PRIMARY GROUND COVER.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 59 OF 156

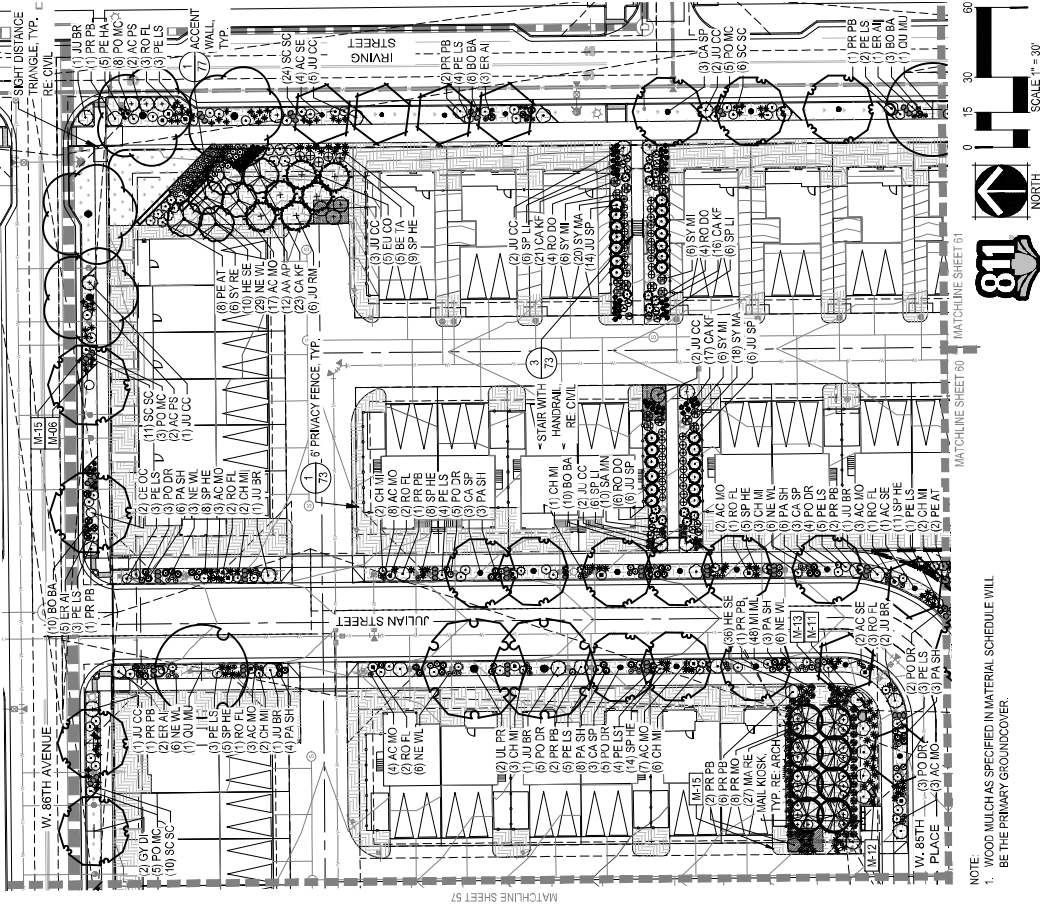
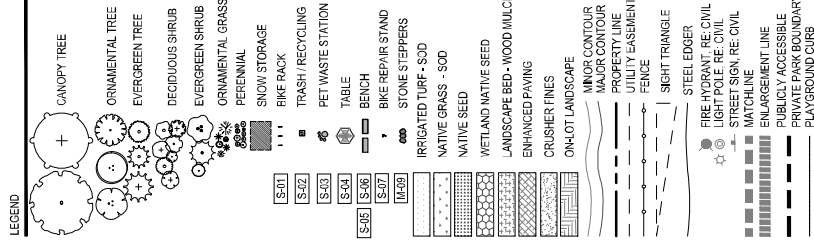
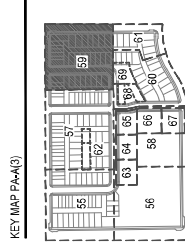


UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

59 OF 156
LANDSCAPE PLAN



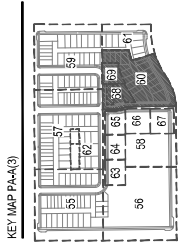
NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUNDCOVER.



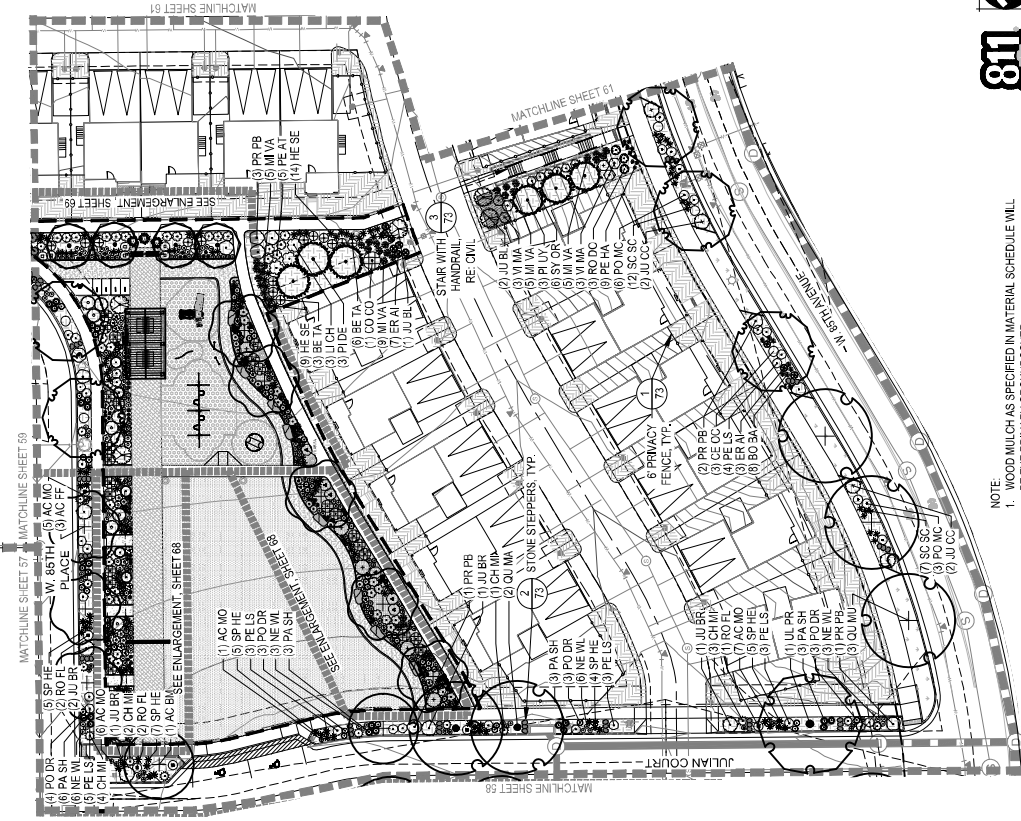
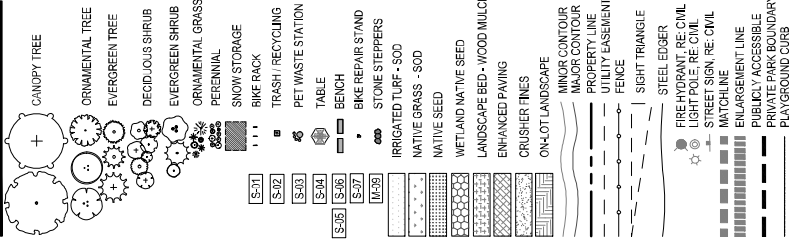
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 60 OF 156



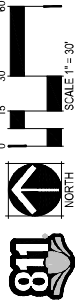
UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO
DATE: 10.10.2024



LEGEND



NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
BE THE PRIMARY GROUND COVER.



OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

60 OF 156
LANDSCAPE PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 61 OF 156



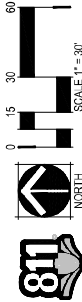
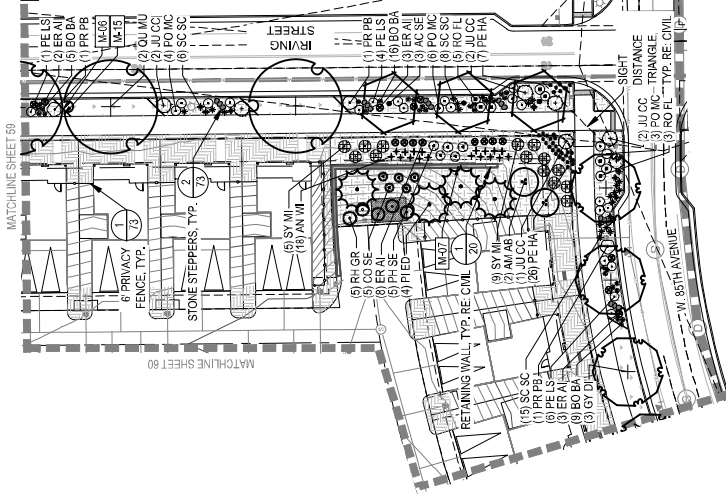
UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

08.08.2024	REVISIONS
10.10.2024	PREPARED: 05.16.2024
61	OF 156
LANDSCAPE PLAN	



LEGEND
CANOPY TREE
ORNAMENTAL TREE
EVERGREEN TREE
DECIDUOUS SHRUB
EVERGREEN SHRUB
ORNAMENTAL GRASS
PERENNIAL
SNOW STORAGE
RIKE RACK
TRASH / RECYCLING
PET WASTE STATION
BENCH
BIKE REPAIR STAND
STONE STEPPERS
IRRIGATED TURF - SOD
NATIVE GRASS - SOD
NATIVE SEED
WETLAND NATIVE SEED
LANDSCAPE BED - WOOD MULCH
ENHANCED PAVING
CRUSHER FINES
ON-LOT LANDSCAPE
MINOR CONTOUR
MAJOR CONTOUR
PROPERTY LINE
UTILITY EASEMENT
FENCE
SIGHT TRIANGLE
STEEL EDGER
FIRE HYDRANT, RE. CIVIL
LIGHT POLE, RE. CIVIL
STREET SIGN, RE. CIVIL
MAIL BOX
ENLARGEMENT LINE
PUBLICLY ACCESSIBLE
PRIVATE PARK BOUNDARY
PLAYGROUND CURB



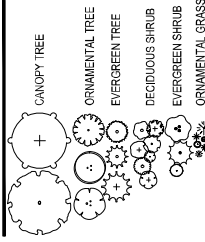
NOTE:
1. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
BE THE PRIMARY GROUND COVER.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 62 OF 156

KEY MAP PA-A(3)



LEGEND



S-01 BIKE RACK
 S-02 TRASH / RECYCLING
 S-03 PET WASTE STATION
 S-04 TABLE
 S-05 BENCH
 S-06 BIKE REPAIR STAND
 S-07 STONE STEPPERS
 M-03 IRRIGATED TURF - SOD
 S-08 NATIVE GRASS - SOD
 S-09 NATIVE SEED
 S-10 WETLAND NATIVE SEED
 S-11 LANDSCAPE BED - WOOD MULCH
 S-12 ENHANCED PAVING
 S-13 CRUISER FINES
 S-14 ON-LOT LANDSCAPE
 S-15 MINOR CONTOUR
 S-16 MAJOR CONTOUR
 S-17 PROPERTY LINE
 S-18 UTILITY EASEMENT
 S-19 FENCE
 S-20 SIGHT TRIANGLE
 S-21 STEEL EDGER
 S-22 FIRE-HYDRANT, RE-CHARGE
 S-23 LIGHT POLE, RE-CHARGE
 S-24 STREET SIGN, RE-CHARGE
 S-25 MATCH LINE
 S-26 PUBLICLY ACCESSIBLE
 S-27 PRIVATE PARK BOUNDARY
 S-28 PLAYGROUND CURB

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

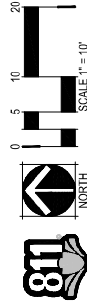
DATE: 10.10.2024

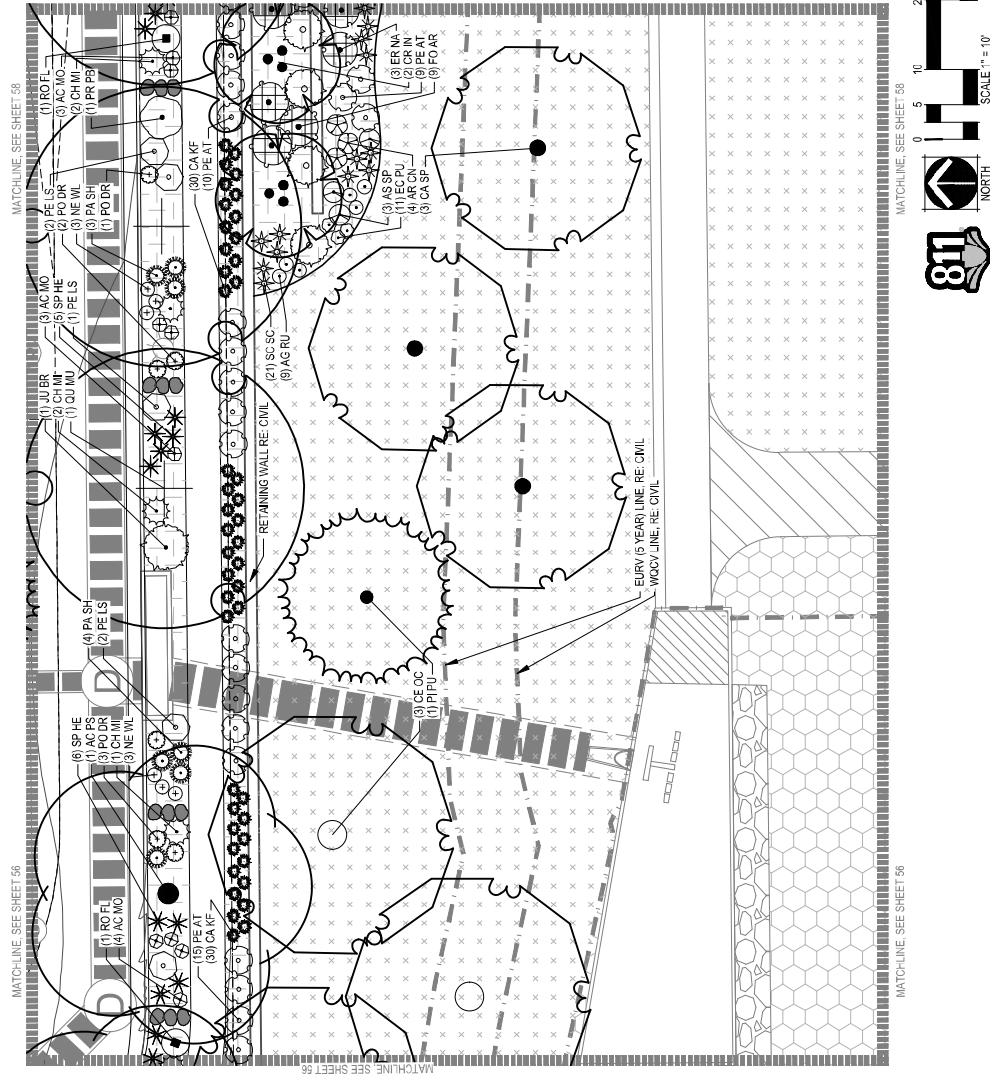
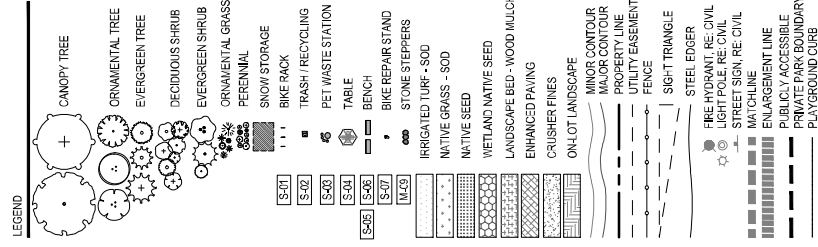
DATE: _____

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
R E V I S I O N S
08.08.2024
10.10.2024

62 OF 156
ENLARGEMENT PLAN





OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED LAND DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 64 OF 156



UPLANDS
DATE: 10.10.2024

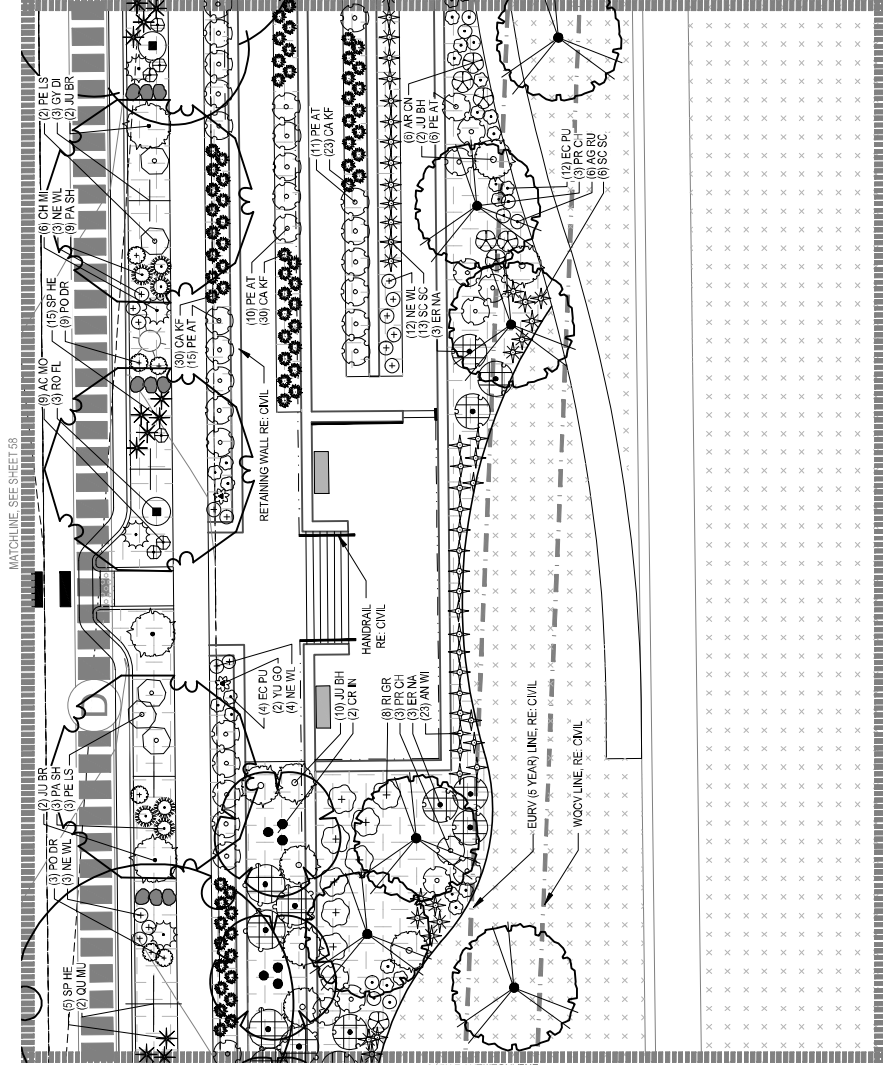
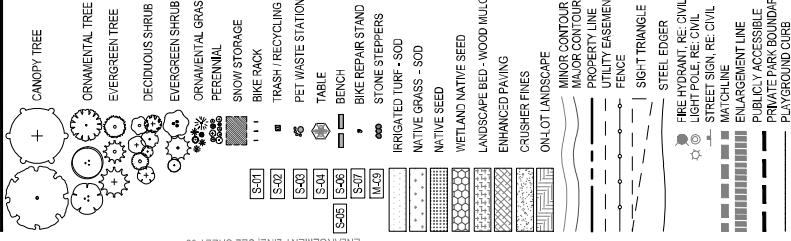
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

08.08.2024	REVISIONS
10.10.2024	PREPARED: 05.16.2024
08.08.2024	OFFICIAL DEVELOPMENT PLAN
64	OF 156
ENLARGEMENT PLAN	

KEY MAP PA-A(3)



LEGEND



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 65 OF 156



UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 06.16.2024	REVISIONS
08.08.2024	10.10.2024

65 OF 156
ENLARGEMENT PLAN

KEY MAP PA-A(3)



LEGEND

CANOPY TREE

ORNAMENTAL TREE

EVERGREEN TREE

DECIDUOUS SHRUB

EVERGREEN SHRUB

ORNAMENTAL GRASS

PERENNIAL

SNOW STORAGE

BIKE RACK

TRASH / RECYCLING

PET WASTE STATION

TABLE

BENCH

BIKE REPAIR STAND

STONE STEPPERS

IRRIGATED TURF - SOD

NATIVE GRASS - SOD

NATIVE SEED

WETLAND NATIVE SEED

LANDSCAPE BED - WOOD MULCH

ENHANCED PAVING

CRUSHER FINES

ON-LOT LANDSCAPE

MINOR CONTOUR

MAJOR CONTOUR

PROPERTY LINE

UTILITY EASEMENT

FENCE

SIGHT TRIANGLE

STEEL EDGER

FIRE HOSE REEL

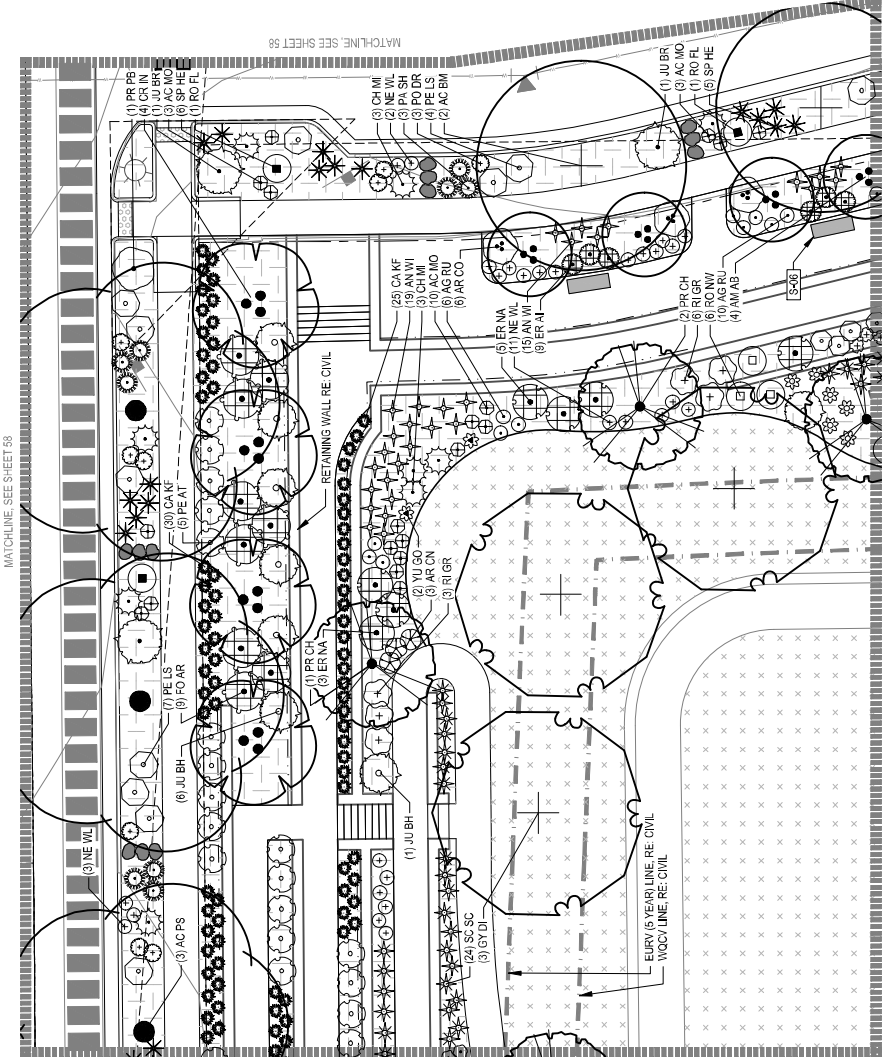
STREET SIGN, RE. CIVIL

ENLARGEMENT LINE

PRIVATE PARK BOUNDARY

PLAYGROUND CURB

MAITCHLINE



811

NORTH

SCALE 1" = 10'

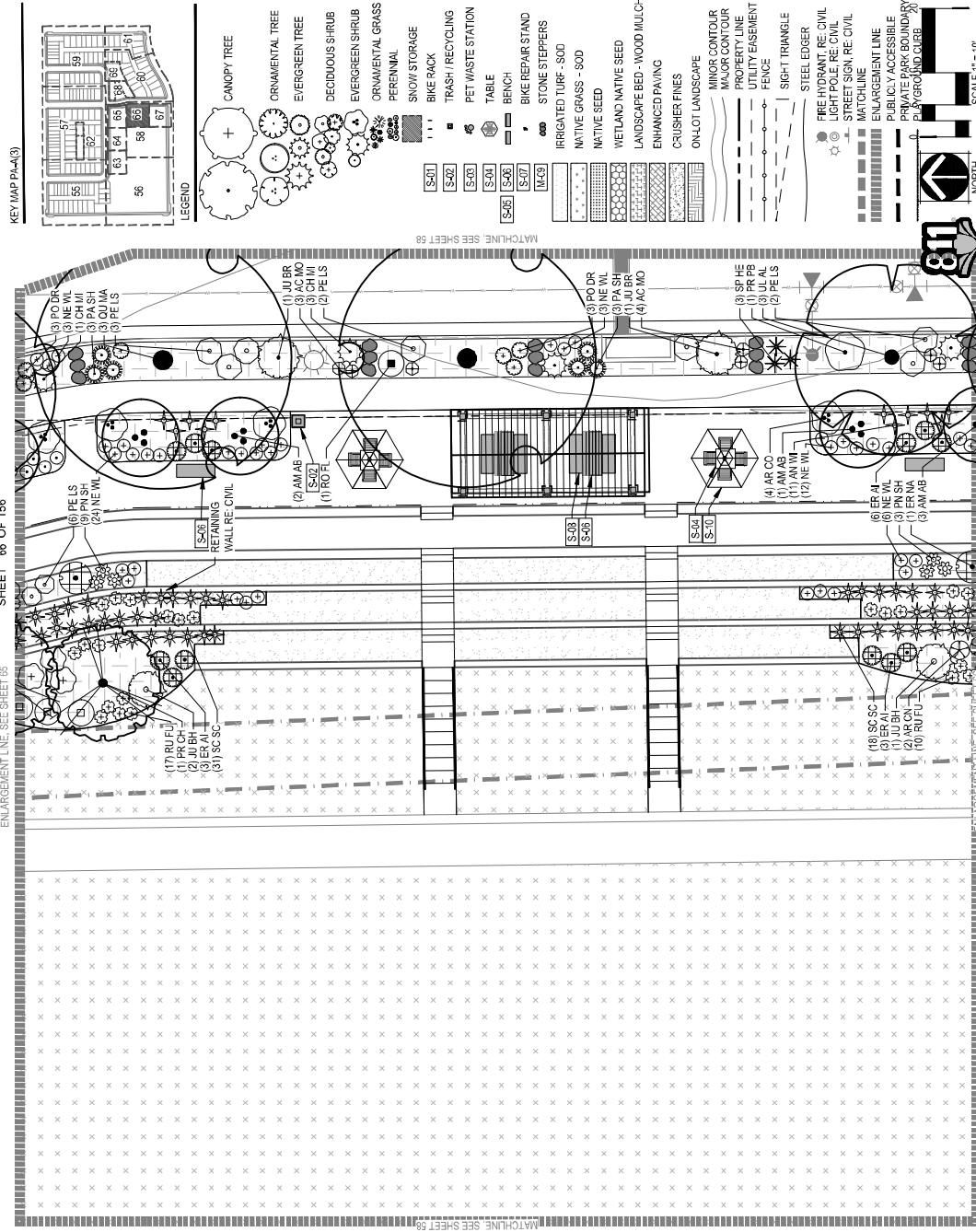
MATCHLINE, SEE SHEET 59

ENLARGEMENT LINE, SEE SHEET 64

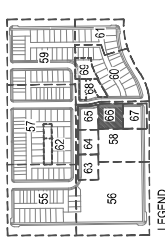
ENLARGEMENT LINE, SEE SHEET 66

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

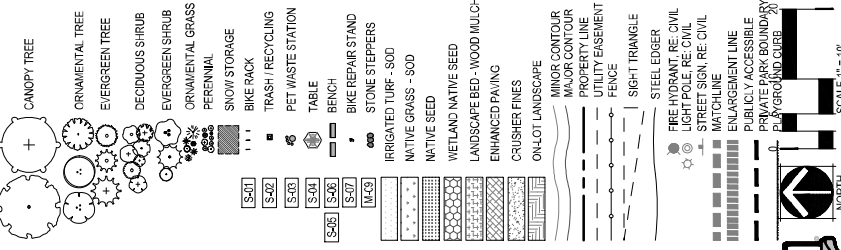
ENLARGEMENT LINE - SEE SHEET 66
SHEET 66 OF 156



KEY MAP PA-A(3)



LEGEND



UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS
DATE: 10.10.2024

NORRIS
DESIGN
ARCHITECTS
1000 14TH AVENUE
WESTMINSTER, CO 80057
303.426.1111
WWW.NORRISDESIGN.COM

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024
66 OF 156
ENLARGEMENT PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED URBAN DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

ENLARGEMENT LINE SEE SHEET 58
SHEET 67 OF 156



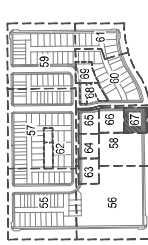
UPLANDS

DATE: 10.10.2024

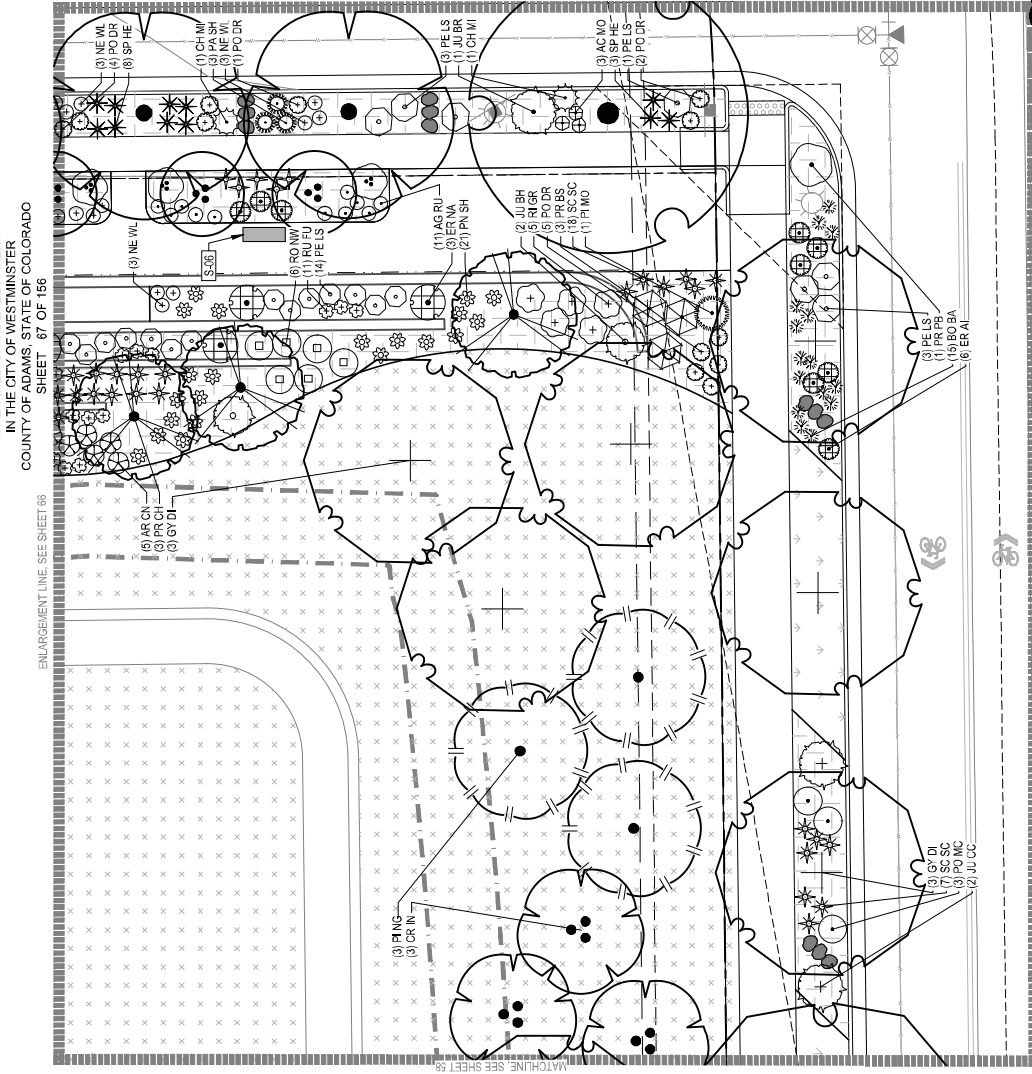
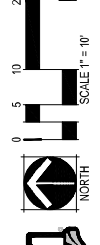
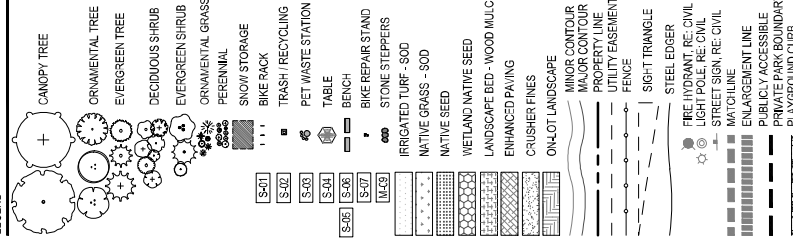
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

08.08.2024	REVISIONS
10.10.2024	PREPARED: 05.16.2024
67 OF 156	ENLARGEMENT PLAN

KEY MAP PL-A-3



LEGEND



MATCHLINE, SEE SHEET 58



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 68 OF 156

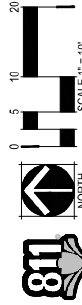
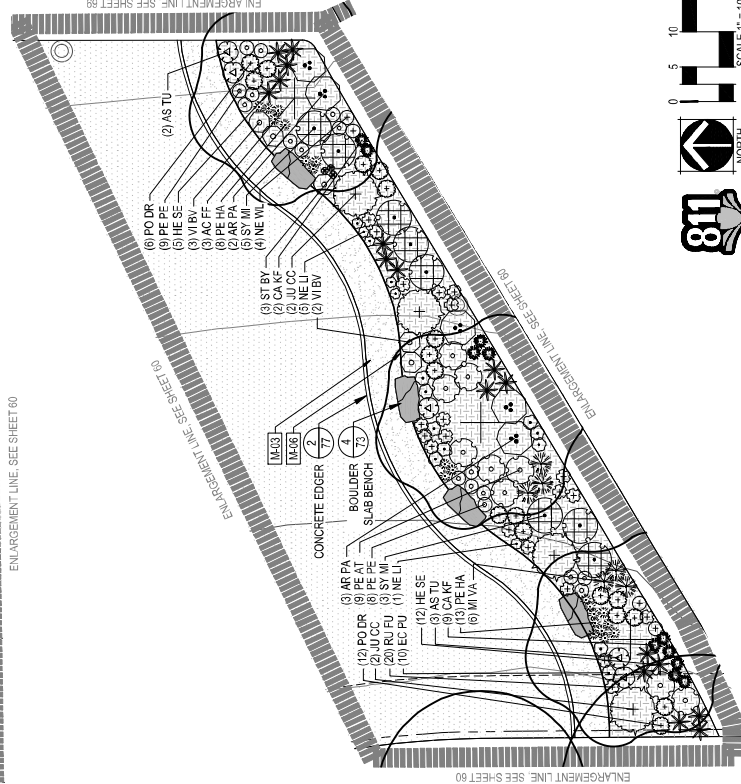
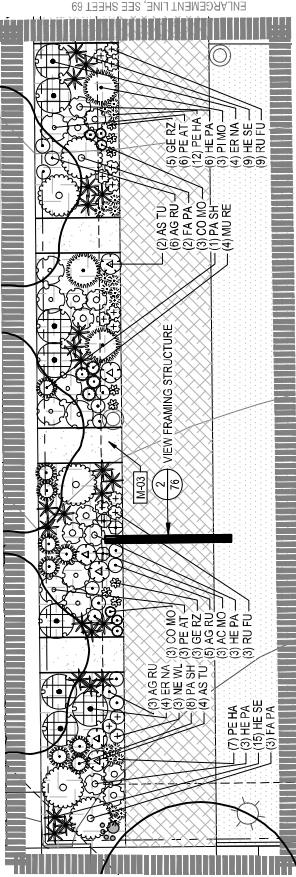
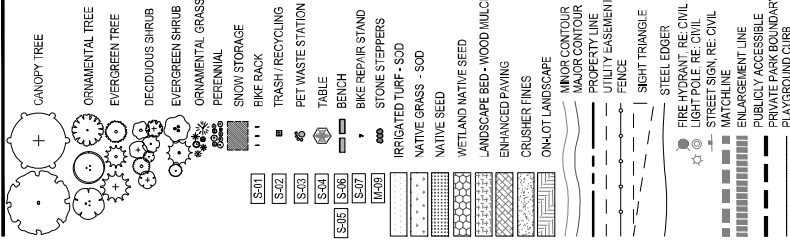


UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO
DATE: 10.10.2024

KEY MAP PAA-3



LEGEND



OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

68 OF 156
ENLARGEMENT PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 89 OF 156



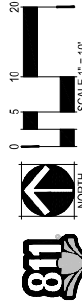
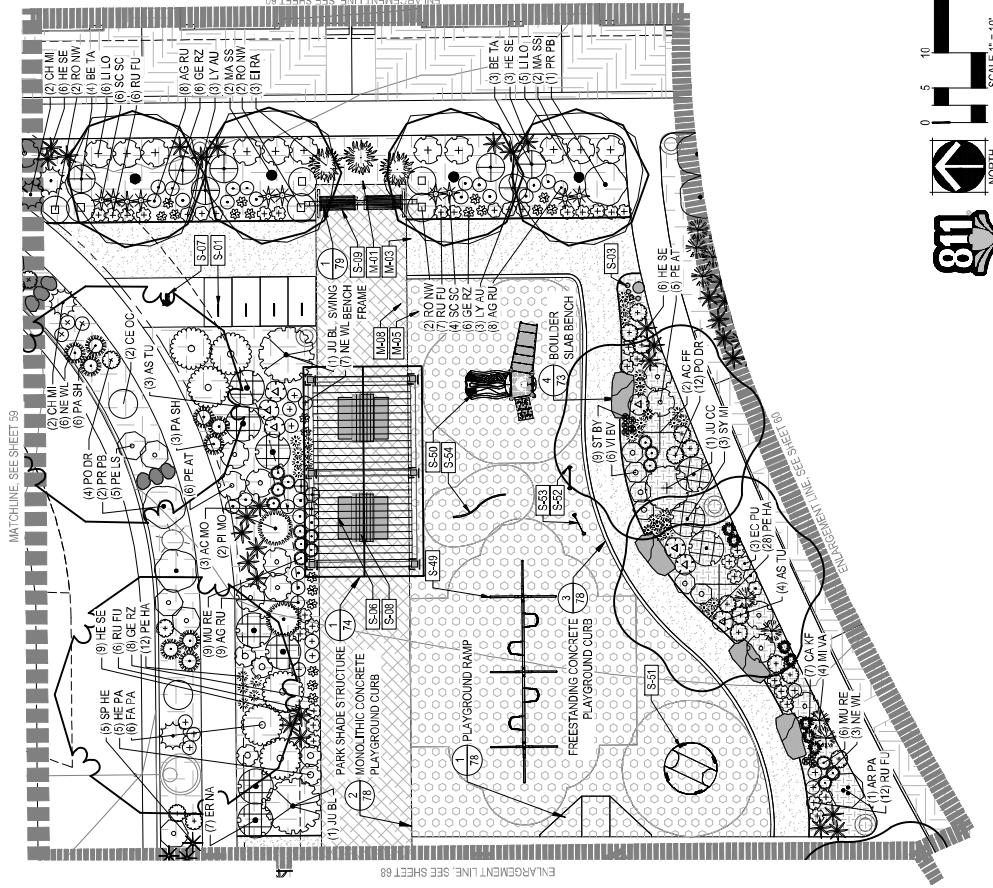
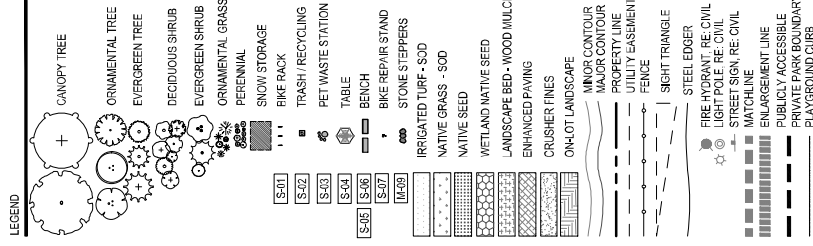
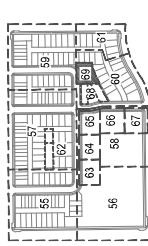
UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
08.08.2024
10.10.2024
PREPARED: 06.16.2024
OFFICIAL DEVELOPMENT PLAN

69 OF 156
ENLARGEMENT PLAN

KEY MAP PA-A(3)





UPLANDS

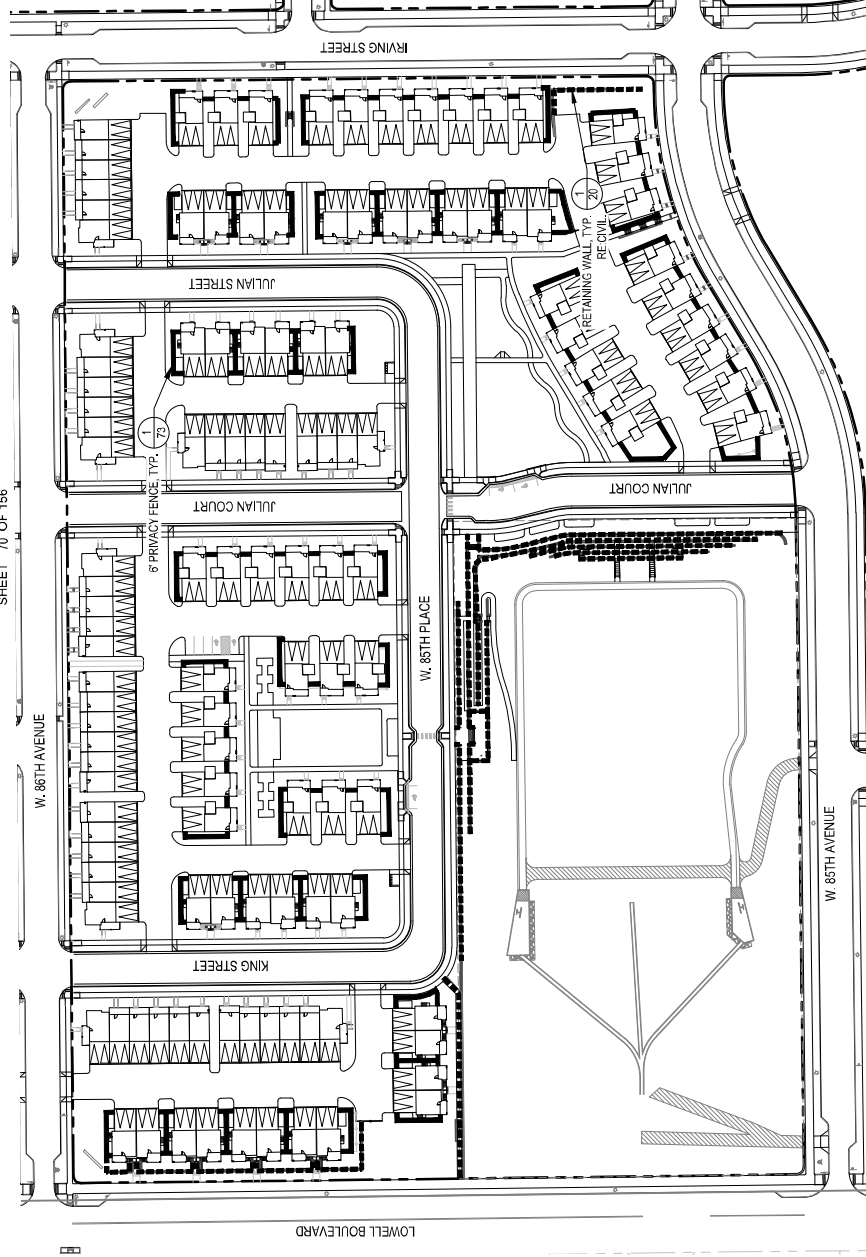
DATE: 10.10.2024

**UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

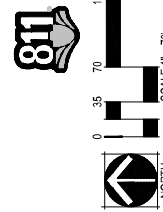
70 OF 156
FENCING PLAN

UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 70 OF 156



LEGEND

- SITE BOUNDARY
 - 6\"/>
- NOTE: ALL FENCING WILL BE CONSTRUCTED BY THE HOME BUILDER AND WILL BE MAINTAINED / REPLACED BY THE HOA.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 71 OF 156



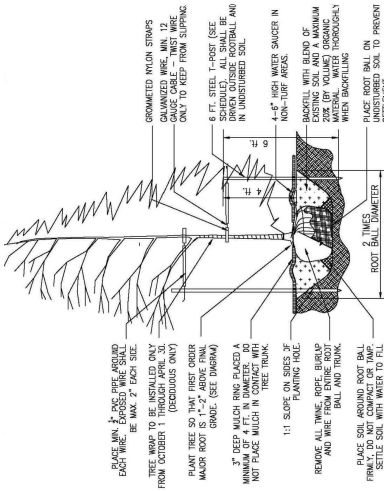
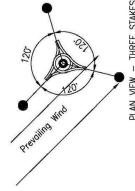
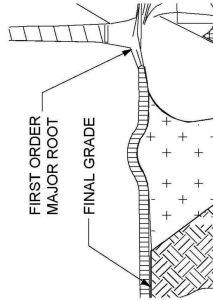
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

71 OF 156
LANDSCAPE DETAILS



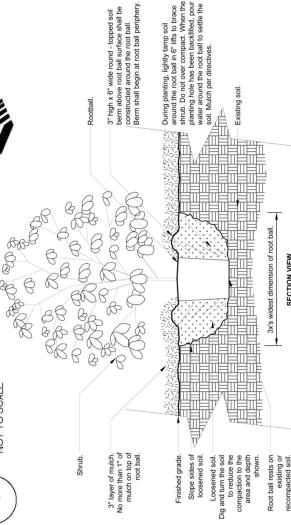
PRUNING NOTES:

ALL PRUNING SHALL COMPLY WITH ALL ANSI STANDARDS.
DO NOT HEAVILY PRUNE THE TREE AS PLANTING. PRUNE ONLY LEADERS AND BROKEN BRANCHES. LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
1 1/2\"/>

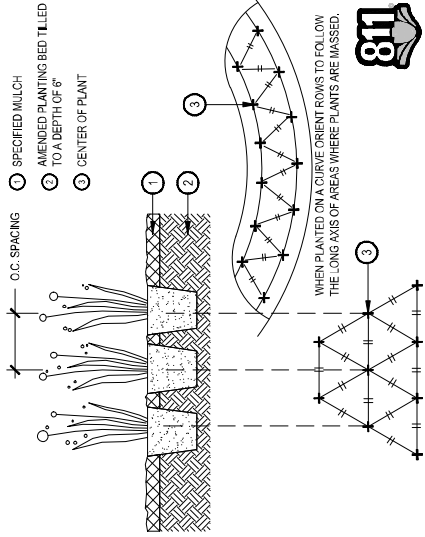
1 TREE PLANTING DETAIL
NOT TO SCALE



NOTES:

1. Shrubs shall be of quality per ANSI Standards Z.60.
2. Backfill with soil from planting hole that has been previously modified to meet City

2 SHRUB PLANTING DETAIL



3 PERENNIAL PLANT LAYOUT

SCALE: 1\"/>



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED AND DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 72 OF 156



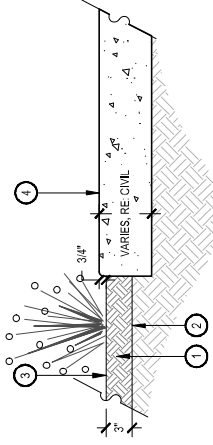
UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

DATE: 10.10.2024

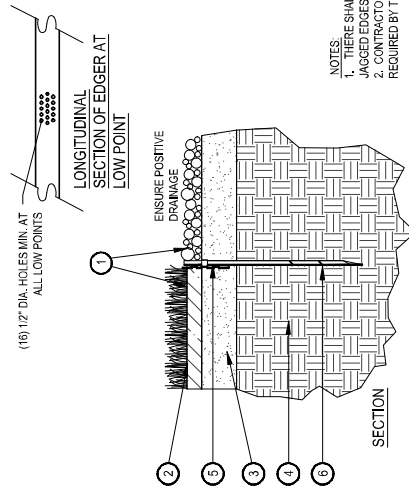
08.08.2024
10.10.2024
REVISIONS
PREPARED: 05.16.2024
OFFICIAL DEVELOPMENT PLAN

72 OF 156
LANDSCAPE DETAILS

- SPECIFIED LANDSCAPE MULCH
- FINISHED SOIL GRADE
- FINISHED GRADE
- CONCRETE FLATWORK, RE. CIVIL



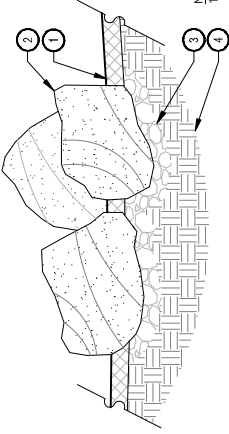
- FINISHED GRADE - TOP OF SOD
- FINISHED GRADE - TOP OF MULCH
- TURF THATCH
- AMENDED SOIL PER SPECIFICATIONS
- SUBGRADE
- STEEL EDGER - DRILL (1/8\"/>



NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

2 TYPICAL CONCRETE TO PLANTING BED TRANSITION
SCALE: 1/2" = 1'-0"

- REFER TO LANDSCAPE PLAN FOR ABUTTING LANDSCAPE SURFACE, NO GAPS
- NATURALLY SET SANDS ONE BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE. SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL
- 3" MINIMUM COMPACTED AGGREGATE
- UNDISTURBED GRADE



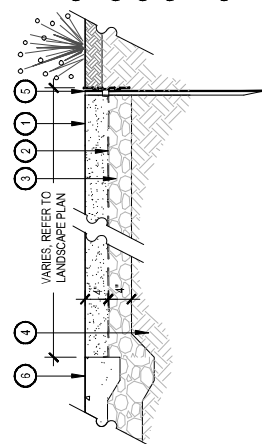
NOTES:
1. REFER TO LANDSCAPE MATERIALS SCHEDULE FOR BOULDER SPECIFICATIONS AND ADDITIONAL NOTES.
2. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
3. APPROXIMATE WIDTHS SHOWN ON PLAN.

BOULDER SIZES	QTY.	ITEM	SIZE
A	6	A' SIZED BOULDER	24" - 30" DIAMETER X 18" MINIMUM DEPTH
B	4	B' SIZED BOULDER	30" - 48" DIAMETER X 24" MINIMUM DEPTH
C	3	C' SIZED BOULDER	48" - 60" DIAMETER X 32" MINIMUM DEPTH



1 STEEL EDGER
SCALE: 1" = 1'-0"

- 4" COMPACTED CRUSHER FINES WITH STABILIZER SOLUTIONS NATURALIZED
- DECOMPOSED GRANITE PATH STABILIZER OR ADA APPROVED EQUAL
- GEOTEXTILE FABRIC - MIRAFI 140NS OR APPROVED EQUAL
- COMPACTED CRUSHED STONE
- COMPACTED SUBGRADE
- EDGER AT ABUTTING LANDSCAPE REFER TO LANDSCAPE PLAN
- ABUTTING CONCRETE FLATWORK, REFER TO CIVIL PLAN



NOTES:
1. ROLLER COMPACT DECOMPOSED GRANITE WET WITH STABILIZER PER MANUFACTURER SPECIFICATIONS. COMPACT IN 2" LIFTS
2. PITCH TO DRAIN SURFACE AT 1:2% PER CIVIL GRADING PLAN.
3. TOLERANCES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
4. REFER TO LANDSCAPE PLAN FOR ABUTTING CONDITIONS.
5. HOA WILL MAINTAIN ALL LANDSCAPE AND CRUSHER FINES SURFACES ON A ROUTINE BASIS TO MAINTAIN COMPACTION AND CONTROL ANY POTENTIAL MATERIAL TRAVELING.

4 LANDSCAPE BOULDER
SCALE: 1" = 1'-0"

3 CRUSHER FINES
SCALE: 1" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 74 OF 156



UPLANDS

DATE: 10.10.2024

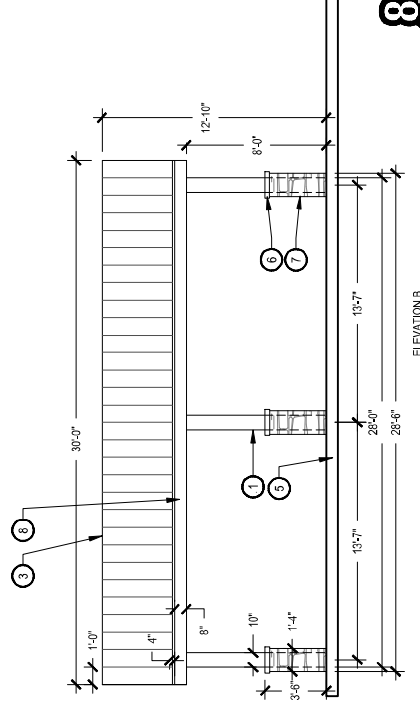
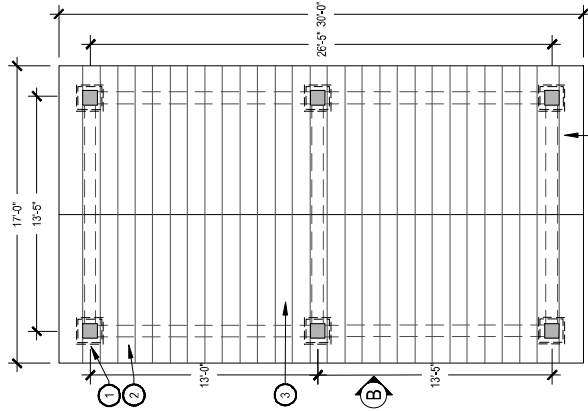
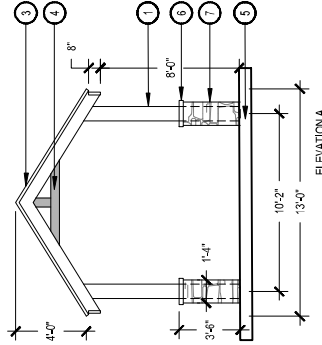
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 06.16.2024	REVISIONS
08.08.2024	10.10.2024

74 OF 156
LANDSCAPE DETAILS

- 1 10"x10" ROUGH SAWN CEDAR COLUMN, BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- 2 6"x6" ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- 3 7"x12" STANDING SEAM METAL ROOF TO MATCH MAIL KOSK, RE. ARCH.
- 4 ROUGHSAWN DECORATIVE DETAIL TO MATCH MAIL KOSK, RE. ARCH.
- 5 CONCRETE PAVING, RE. PLAN
- 6 3" THICK PRECAST GREY CONCRETE CAP, 1" OVERHANG TYP.
- 7 STONE TO MATCH MAIL KOSK, RE. ARCH
- 8 6"x2" ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).

NOTES:
1. DETAIL PROVIDED FOR GENERAL APPEARANCE BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS



SCALE: 1/4" = 1'-0"

PLAN VIEW

1 PARK SHADE STRUCTURE

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 75 OF 156



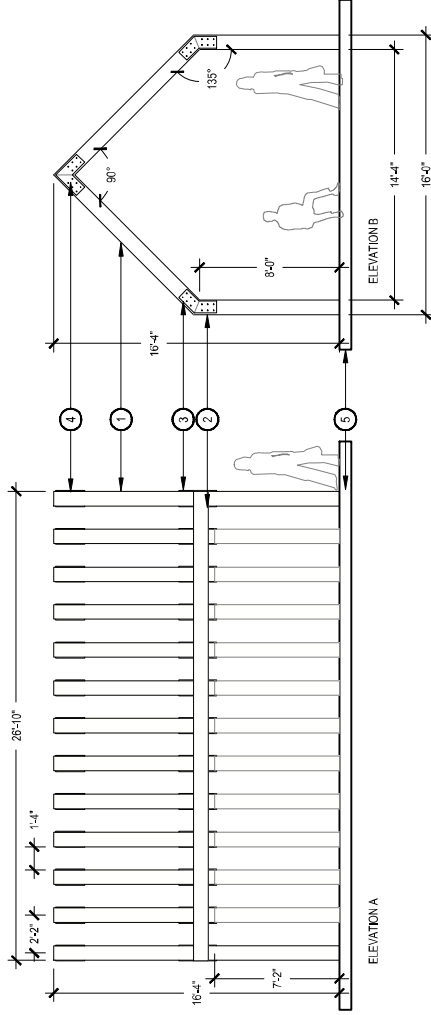
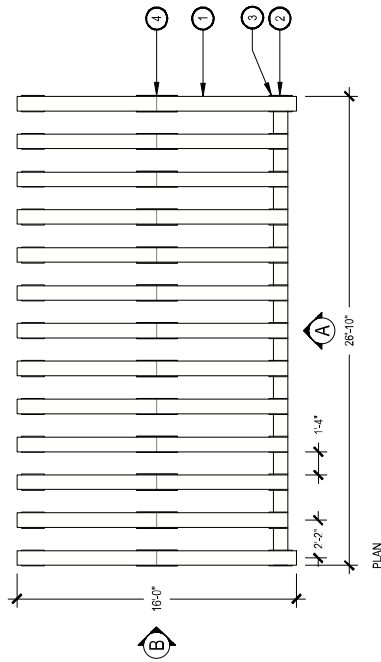
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 06.16.2024	REVISIONS
08.08.2024	10.10.2024

75 OF 156
LANDSCAPE DETAILS



- 10 x 10" ROUGH SAWN CEDAR COLUMN, BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- 10 x 10" ROUGH SAWN CEDAR BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL).
- 45 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- 90 DEGREE TRUSS BRACKET, 12 GAUGE WITH FASTENING BOLTS
- CONCRETE PAVING, RE. PLAN

NOTES:
1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, AND AREA REQUIREMENTS SHOWN IN THIS OFFICIAL DEVELOPMENT PLAN. PROVIDE FOOTING DETAILS.



SCALE: 1/4" = 1'-0"

UPLANDS A3 FRAME SHELTER

1

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 76 OF 156



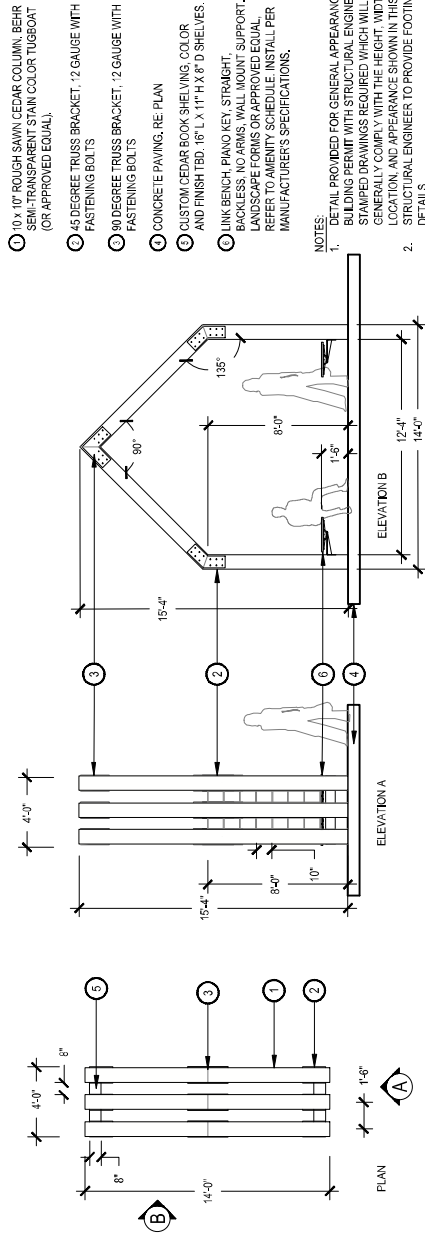
UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

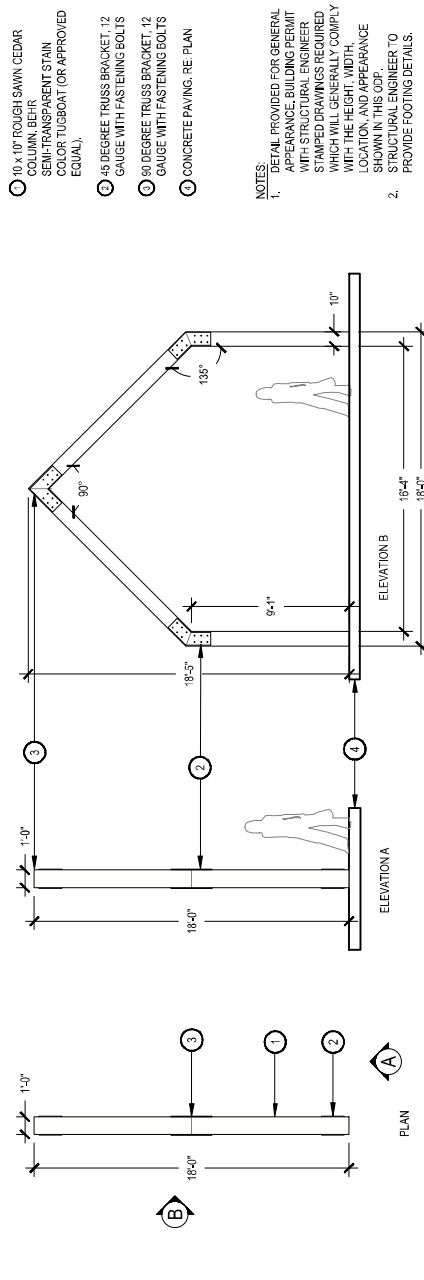
OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

76 OF 156
LANDSCAPE DETAILS



1 READING NOOK SHELTER

SCALE: 1/4" = 1'-0"



2 VIEW FRAMING STRUCTURE

SCALE: 1/4" = 1'-0"

SCALE: 1 1/2" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 78 OF 156



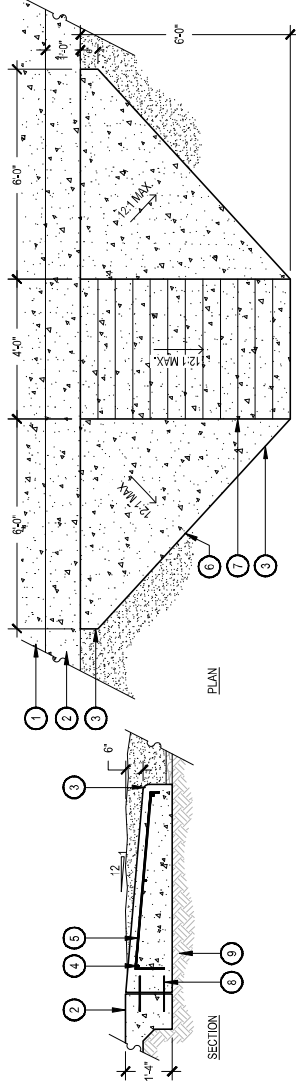
UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

DATE: 10.10.2024

08.08.2024	REVISIONS
10.10.2024	PREPARED: 05.16.2024
OFFICIAL DEVELOPMENT PLAN	

78 OF 156
LANDSCAPE DETAILS

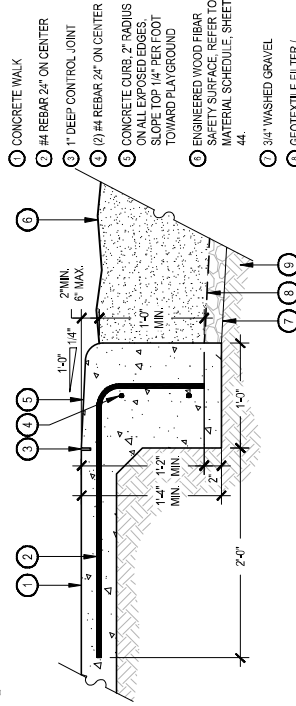
- 1 CONCRETE WALK
- 2 MONOLITHIC CONCRETE CURB, REFER TO DETAIL 2, SHEET 79
- 3 2" RADIUS ON ALL EXPOSED EDGES
- 4 (3) #4 REBAR
- 5 #4 REBAR 16" ON CENTER
- 6 PLAY SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET L-02
- 7 TOOLED SCORE JOINTS, 6" APART
- 8 (2) #4 DOWELS 18" ON CENTER
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



- NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

1 PLAYGROUND RAMP

SCALE: 1/2" = 1'-0"

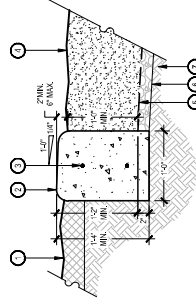


- NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.
 3. SCORE JOINTS ON THE WALKS PERPENDICULAR TO THE CURB SHALL EXTEND THROUGH THE ENTIRE DEPTH OF THE CURB.
 4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

2 MONOLITHIC CONCRETE PLAYGROUND CURB

SCALE: 1 1/2" = 1'-0"

- 1 ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
- 2 CONCRETE CURB, 2" RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND
- 3 (2) #4 REBAR 24" ON CENTER
- 4 ENGINEERED WOOD FIBER SAFETY SURFACE, REFER TO MATERIAL SCHEDULE
- 5 GEOTEXTILE FILTER / DRAINAGE MAT
- 6 3/4" WASHED GRAVEL
- 7 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



- NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,500 PSI AT 28 DAYS.
 2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.
 3. SCORE JOINTS SHALL BE SPACES 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.
 4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

3 FREE STANDING CONCRETE PLAYGROUND CURB

SCALE: 1" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 79 OF 156



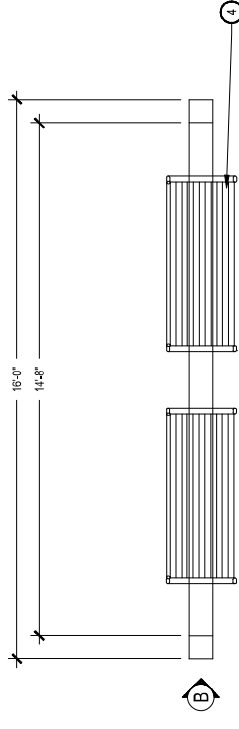
UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS	
08.08.2024	10.10.2024
PREPARED: 06.16.2024	
OFFICIAL DEVELOPMENT PLAN	

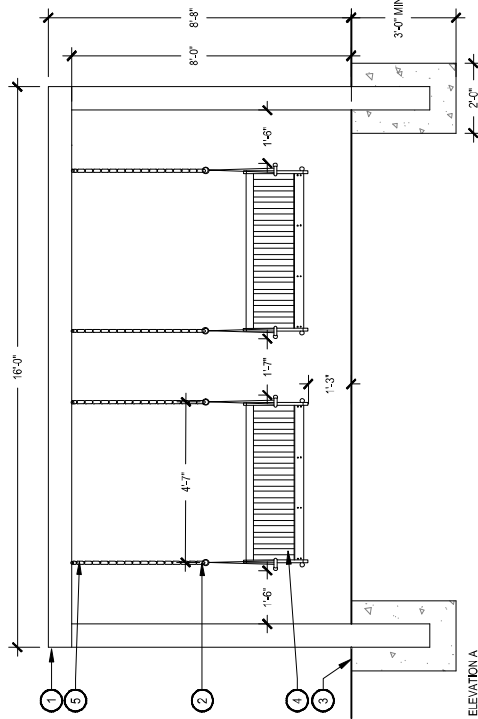
79 OF 156
LANDSCAPE DETAILS

- ① 8" X 8" STEEL FRAME-POWDER COAT FINISH IN BROWN HAMMERTONE (OR APPROVED EQUAL); MANUFACTURER: CARDINAL PAINT
- ② CHAIN WITH QUICK LINK CONNECTION
- ③ CONCRETE
- ④ POLYWOOD PORCH SWING, SEE AMENITY SCHEDULE
- ⑤ 3/8" SHANK DIAMETER EYE BOLT

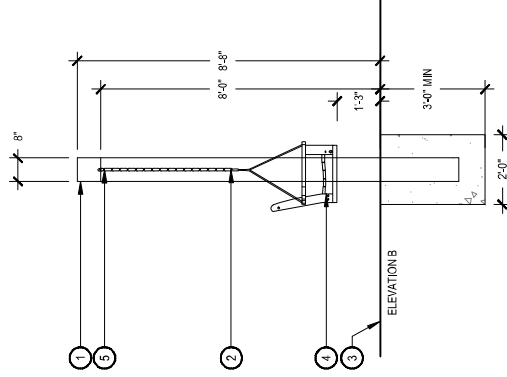


PLAN

A



ELEVATION A



ELEVATION B

- NOTES:
1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.
 3. RECOMMEND APPROXIMATELY A 2' MINIMUM CLEARANCE IN THE BACK AND FRONT, AND A MINIMUM OF 1' ON EITHER SIDE.
 4. SEE LOLL ADIRONDACK PORCH SWING FOR ADDITIONAL DETAILS, INSTALLATION METHODS, AND SPECIFICATIONS.


1 SWING BENCH FRAME

SCALE: 1/2" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 80 OF 156



Godden|Sudik
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
303.455.4437
www.goddensudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111



DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 06.16.2024	REVISIONS
08.08.2024	10.10.2024

80 OF 156
TOWNHOME - ATTACHED
CHARACTERISTICS TABLE

SFA TOWNHOME - MODP ARCHITECTURAL CHARACTERISTICS TABLE				
MODEL:	2-STORY SCANDINAVIAN	2-STORY CRAFTSMAN	2-STORY SHINGLE	
(SFA STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X	
(SFA STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE	NOTE: SEE EXCEPTION REQUEST ON SHEET 5			
(MODP MASONRY) 50% AVERAGE ON ALL ELEVATIONS	X	X	X	
(MODP STORIES) 3 STORIES MAX.	X	X	X	
(MODP HEIGHT) 40' MAX.	X	X	X	
(MODP PRIVATE OUTDOOR SPACE) REAR, SIDE, FRONT YARDS OR BALCONIES / PATIOS / PORCHES / DECKS	NOTE: SEE EXCEPTION REQUEST ON SHEET 6			
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X	
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X	
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X	
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & BUILDING TYPES	X	X	X	
(TMUND 1.5.5) BUILDING TYPES	X	X	X	
"BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X	
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	X	
(TMUND 2.4.1) ALLEY ACCESSED GARAGE	X	X	X	
(TMUND 2.4.1) ENTRY PORCHES PROMINENT ARCHITECTURAL FEATURE	X	X	X	
(TMUND 2.4.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X	
(TMUND 2.4.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X	
(W.M.C. 11-7-4(B)(2)) OFF STREET PARKING, 2 SPACES PER UNIT, 3 SPACES PER 4+ BEDROOM UNIT & 1 SPACE PER 3 UNIT FOR GUEST	NOTE: SEE EXCEPTION REQUEST ON SHEET 5			
(TMUND 2.4.1) PRIVATE REAR YARD, FRONT YARD OR BALCONY	NOTE: SEE EXCEPTION REQUEST ON SHEET 6			
(TMUND 2.4.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X	


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 81 OF 156



Godden Sudik
A DIVISION OF
THE HNTB GROUP, INC.
303.455.4437
www.goddensudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111

SFA PAIRED HOME - MODP ARCHITECTURAL CHARACTERISTICS TABLE

MODEL:	DURLEY PLAN 1 & 2 ELEV. D	DURLEY PLAN 1 & 2 ELEV. E	DURLEY PLAN 1 & 2 ELEV. F	DURLEY PLAN 1 & 2 ELEV. D	DURLEY PLAN 1 & 2 ELEV. E	DURLEY PLAN 1 & 2 ELEV. F	DURLEY PLAN 1 & 3 ELEV. D	DURLEY PLAN 1 & 3 ELEV. E	DURLEY PLAN 1 & 3 ELEV. F
(SFA STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X	X	X	X	X	X	X
(SFA STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	X	X	X	X	X	X
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE	NOTE: SEE EXCEPTION REQUEST ON SHEET 5								
(MODP MASONRY) 60% AVERAGE ON ALL ELEVATIONS	X	X	X	X	X	X	X	X	X
(MODP STORIES) 3 STORIES MAX.	X	X	X	X	X	X	X	X	X
(MODP HEIGHT) 40' MAX.	X	X	X	X	X	X	X	X	X
(MODP PRIVATE OUTDOOR SPACE) REAR, SIDE, FRONT YARDS OR BALCONIES / PATIOS / PORCHES / DECKS	X	X	X	X	X	X	X	X	X
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X	X	X	X	X	X	X
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X	X	X	X	X	X	X
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X	X	X	X	X	X	X
(TMUND 1.3.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X	X	X	X	X	X	X
(TMUND 1.3.5) BUILDING PROTOTYPES "BUILT" GREEN DESIGNATION FOR PROJECT	X	X	X	X	X	X	X	X	X
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRIES AS IMPORTANT STREETSCAPE ELEMENT	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRY PORCHES 1/3 MIN. OF FACADE	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) UNOBSTRUCTED PORCHES ARE 8'-8" DEPTH & 90 SQ. FT. MIN.	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) RAISED PORCHES	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) COVERED PORCH W/ EMPHASIS ON MATERIALS & DETAILS	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) STAIRS MAY NOT ENCROACH INTO ANY RIGHT OF WAY	X	X	X	X	X	X	X	X	X
(W.A.C.C. 17-416(2)) JOINT STREET PARKING, 2 SPACES PER UNIT, 3 SPACES PER BEDROOM UNIT & 1 SPACE PER 3 UNITS FOR GUESTS	NOTE: SEE EXCEPTION REQUEST ON SHEET 5								
(TMUND 2.3.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRIES & PORCHES SHOULD EXTEND IN FRONT OF MAIN FACADE & DETAILED	X	X	X	X	X	X	X	X	X



DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

UPLANDS - FILING NO. 1 - BLOCK 3

OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 84 OF 156

UPLANDS

10.10.2024

DATE:

UPLANDS FILING NO. 1 BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

84 OF 156

2-STORY TOWNHOME

STREETSCAPE

PREPARED: 05.16.2024

10.10.2024

REVISIONS

GODDEN SUDIK ARCHITECTS, P.C.

303.453.4437

www.goddenudik.com

3975 S. Quebec Street

Denver, CO 80211

2-STORY 5-PLEX CRAFTSMAN ELEVATION

MASONRY PERCENTAGES:

FRONT ELEVATION:

MASONRY = 778 S.F. = 53%

OTHER = 677 S.F.

TOTAL = 1,455 S.F.

REAR ELEVATION:

MASONRY = 354 S.F. = 32%

OTHER = 739 S.F.

TOTAL = 1,093 S.F.

LEFT ELEVATION:

MASONRY = 682 S.F. = 78%

OTHER = 196 S.F.

TOTAL = 880 S.F.

RIGHT ELEVATION:

MASONRY = 969 S.F. = 41%

OTHER = 523 S.F.

TOTAL = 898 S.F.

TOTAL BUILDING

MASONRY = 2,183 S.F. = 50%

OTHER = 2,143 S.F.

TOTAL = 4,326 S.F.

5-PLEX-A - LEFT - CRAFTSMAN STREETSCAPE

1/16" = 1'-0"

6

2-STORY 5-PLEX SHINGLE ELEVATION

MASONRY PERCENTAGES:

FRONT ELEVATION:

MASONRY = 830 S.F. = 73%

OTHER = 304 S.F.

TOTAL = 1,134 S.F.

REAR ELEVATION:

MASONRY = 349 S.F. = 35%

OTHER = 665 S.F.

TOTAL = 1,004 S.F.

LEFT ELEVATION:

MASONRY = 482 S.F. = 52%

OTHER = 445 S.F.

TOTAL = 927 S.F.

RIGHT ELEVATION:

MASONRY = 164 S.F. = 46%

OTHER = 623 S.F.

TOTAL = 977 S.F.

TOTAL BUILDING

MASONRY = 2,115 S.F. = 52%

OTHER = 1,927 S.F.

TOTAL = 4,042 S.F.

5-PLEX-A - LEFT - SHINGLE STREETSCAPE

1/16" = 1'-0"

4

2-STORY 4-PLEX SCANDINAVIAN ELEVATION

MASONRY PERCENTAGES:

FRONT ELEVATION:

MASONRY = 671 S.F. = 53%

OTHER = 582 S.F.

TOTAL = 1,253 S.F.

REAR ELEVATION:

MASONRY = 447 S.F. = 45%

OTHER = 539 S.F.

TOTAL = 986 S.F.

LEFT ELEVATION:

MASONRY = 604 S.F. = 60%

OTHER = 405 S.F.

TOTAL = 1,009 S.F.

RIGHT ELEVATION:

MASONRY = 532 S.F. = 60%

OTHER = 358 S.F.

TOTAL = 890 S.F.

TOTAL BUILDING

MASONRY = 2,254 S.F. = 54%

OTHER = 1,899 S.F.

TOTAL = 4,153 S.F.

4-PLEX-A - LEFT - SCANDINAVIAN STREETSCAPE

1/16" = 1'-0"

2

5-PLEX-A - FRONT - CRAFTSMAN STREETSCAPE

1/16" = 1'-0"

5

5-PLEX-A - FRONT ELEVATION - SHINGLE STREETSCAPE

1/16" = 1'-0"

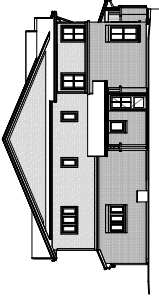
3

4-PLEX-A - FRONT - SCANDINAVIAN STREETSCAPE

1/16" = 1'-0"

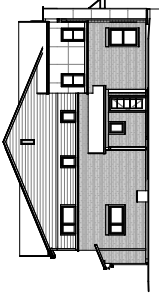
1

2 STORY 6 PLEX
SHINGLE ELEVATION
MASONRY PERCENTAGES:
FRONT ELEVATION:
MASONRY = 1,163 S.F. = 70%
OTHER = 488 S.F.
TOTAL = 1,652 S.F.
REAR ELEVATION:
MASONRY = 352 S.F. = 33%
OTHER = 706 S.F.
TOTAL = 1,057 S.F.
LEFT ELEVATION:
MASONRY = 481 S.F. = 52%
OTHER = 457 S.F.
TOTAL = 933 S.F.
RIGHT ELEVATION:
MASONRY = 481 S.F. = 52%
OTHER = 452 S.F.
TOTAL = 933 S.F.
TOTAL BUILDING
MASONRY = 2,477 S.F. = 54%
OTHER = 1,096 S.F.
TOTAL = 4,573 S.F.



6
6-PLEX-C - LEFT - SHINGLE STREETSCAPE
1/16" = 1'-0"


2 STORY 6 PLEX
SCANDINAVIAN ELEVATION
MASONRY PERCENTAGES:
FRONT ELEVATION:
MASONRY = 968 S.F. = 49%
OTHER = 1,008 S.F.
TOTAL = 1,976 S.F.
REAR ELEVATION:
MASONRY = 485 S.F. = 40%
OTHER = 717 S.F.
TOTAL = 1,202 S.F.
LEFT ELEVATION:
MASONRY = 603 S.F. = 58%
OTHER = 439 S.F.
TOTAL = 1,042 S.F.
RIGHT ELEVATION:
MASONRY = 603 S.F. = 58%
OTHER = 439 S.F.
TOTAL = 1,042 S.F.
TOTAL BUILDING
MASONRY = 2,659 S.F. = 51%
OTHER = 2,603 S.F.
TOTAL = 5,262 S.F.



4
6-PLEX-C - LEFT - SCANDINAVIAN STREETSCAPE
1/16" = 1'-0"

UPPLANDS FILING NO. 1 BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

DATE: 10.10.2024



Godden|Sudik
ARCHITECTS
303.453.4427
www.goddenusdik.com
3975 S. Quebec Street
Denver, CO 80111


OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

86 OF 156
2 STORY TOWNHOME
STREETSCAPE

Attachment 2

UPPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 86 OF 156

OFFICIAL DEVELOPMENT PLAN

 **Godden/Sudik**
ARCHITECTS
SEE WHAT COULD BE
303.455.4437
www.goddensudik.com
5975 S. Quebec Street
Suite 250
Centennial, CO 80111

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 05.16.2024	REVISIONS	08.08.2024	10.10.2024

87 OF 156
 PAIRED HOME & MAIL
 KIOSK STREETSCAPE

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 87 OF 156

SFA PAIRED HOME STREETSCAPE



<p>ANTH-MONOTONY RULES</p> <p>NO SINGLE FAMILY DWELLING ON THE SAME MODEL SHALL BE BUILT ON THE SAME LOT OR NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.</p> <p>NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS. ANY SINGLE LOT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET. HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.</p> <p>NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK. A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET. FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.</p> <p>EXHIBIT WILL BE PROVIDED WITH FUTURE PRELIMINARY MAP SHOWING PRE-PLANT OF ALL TOWNHOMES, DUPLEXES, SFD TUCKUNDERS, AND SFD 3-STORY HOMES TO MEET ANTH-MONOTONY.</p>	<p>ANTH-MONOTONY RULES</p> <p>NO SINGLE FAMILY DWELLING ON THE SAME MODEL SHALL BE BUILT ON THE SAME LOT OR NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.</p> <p>NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS. ANY SINGLE LOT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET. HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.</p> <p>NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK. A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET. FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.</p> <p>EXHIBIT WILL BE PROVIDED WITH FUTURE PRELIMINARY MAP SHOWING PRE-PLANT OF ALL TOWNHOMES, DUPLEXES, SFD TUCKUNDERS, AND SFD 3-STORY HOMES TO MEET ANTH-MONOTONY.</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

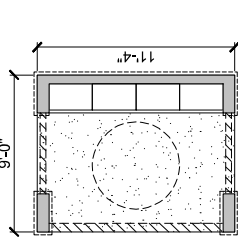
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 89 OF 156

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
R E V I S I O N S
08.08.2024
10.10.2024

89 OF 156
MAIL KIOSK
STRUCTURE

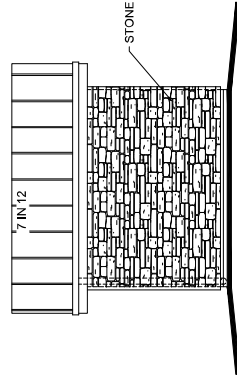


MAIL KIOSK FLOOR PLAN

SCALE: 1/4" = 1'-0"

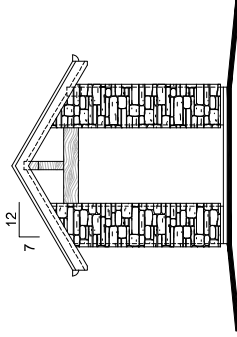
NOTE:

1. SOLAR POWERED LIGHTING WILL BE PROVIDED

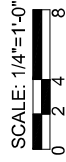


ELEVATION - RIGHT

SCALE: 1/4" = 1'-0"



ELEVATION - REAR



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 90 OF 156

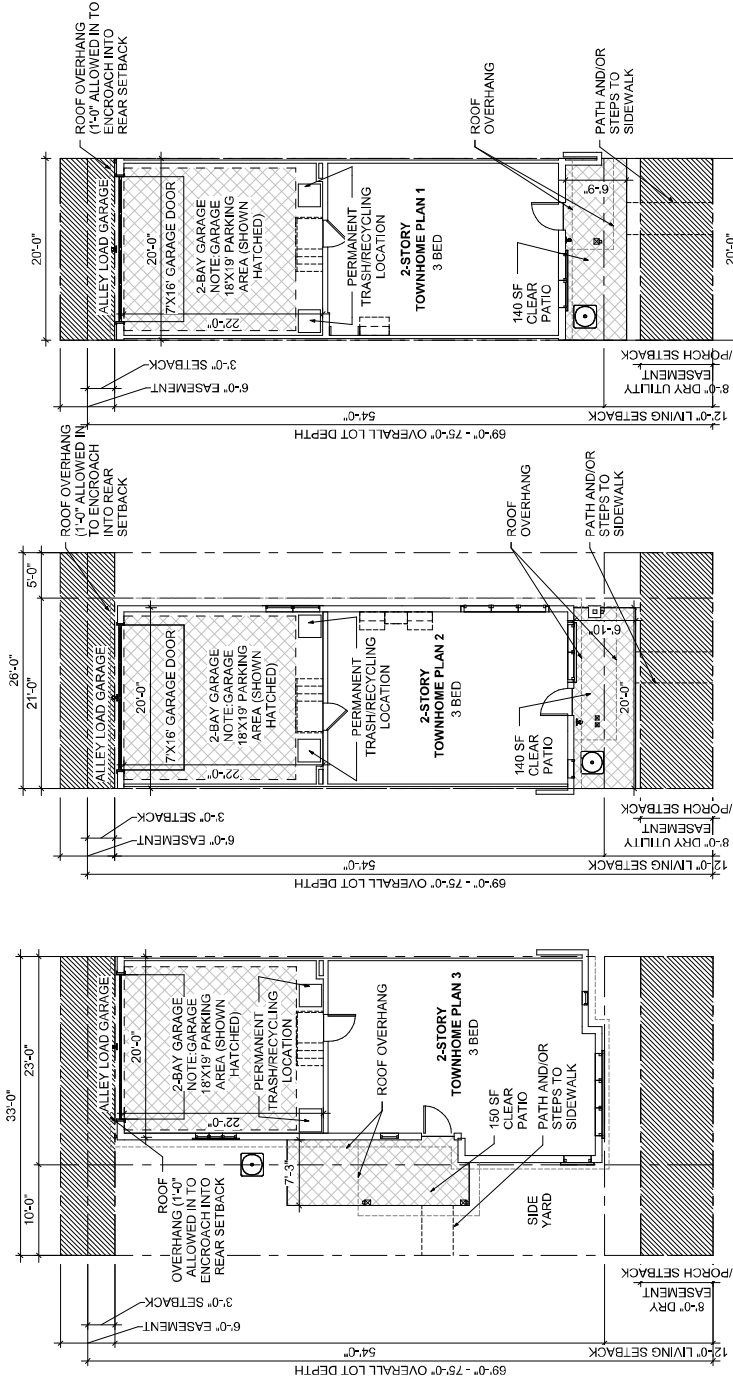


UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
REVISIONS	10.10.2024
PREPARED: 05.16.2024	08.08.2024

90 OF 156
2-STORY TOWNHOME LOT
TYPICALS



PLAN 1 INTERIOR

PLAN 2 END

PLAN 3 END

2-STORY TOWNHOME LOT TYPICAL

SCANDINAVIAN, SHINGLE AND CRAFTSMAN SIMILAR

SCALE: 1/8" = 1'-0"

PLAN 1 INTERIOR	PLAN 2 END	PLAN 3 END
1,466 TOTAL SQ. FT.	1,466 TOTAL SQ. FT.	1,614 TOTAL SQ. FT.
140 SF PATIO	140 SF PATIO	150 SF PATIO

- NOTE:
- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SHEDDING TREES, SCANDINAVIAN, SHINGLE, OR CRAFTSMAN SIMILAR.
 - TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 - NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
 - ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
 - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
 - ALL HOMES WILL BE DESIGNED AS SOLAR READY.
 - ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 91 OF 156

UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

91 OF 156
2-STORY 4-PLEX-A TOWNHOME
SCANDINAVIAN ELEVATION

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

2-STORY 4-PLEX
SCANDINAVIAN ELEVATION
MASONRY PERCENTAGES:
FRONT ELEVATION:
MASONRY = 671 S.F. = 53%
OTHER = 597 S.F.
TOTAL = 1,268 S.F.
REAR ELEVATION:
MASONRY = 447 S.F. = 45%
OTHER = 539 S.F.
TOTAL = 986 S.F.
LEFT ELEVATION:
MASONRY = 604 S.F. = 60%
OTHER = 405 S.F.
TOTAL = 1,009 S.F.
RIGHT ELEVATION:
MASONRY = 592 S.F. = 60%
OTHER = 368 S.F.
TOTAL = 960 S.F.
TOTAL BUILDING
MASONRY = 2,254 S.F. = 54%
OTHER = 1,899 S.F.
TOTAL = 4,153 S.F.

4

2 STORY 4-PLEX-A - REAR ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

PLAN 2-END

PLAN 1-INTERIOR

PLAN 3-END

2

2 STORY 4-PLEX-A - RIGHT ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

PLAN 2-END

3

2 STORY 4-PLEX-A - LEFT ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

PLAN 3-END

1

2 STORY 4-PLEX-A - FRONT ELEVATION - SCANDINAVIAN
3/32" = 1'-0"

PLAN 3-END

PLAN 1-INTERIOR

PLAN 2-END

REFERS TO COLOR BOOK
FOR MATERIAL
INFORMATION

EXTENDED PORCH

2ND LEVEL

1ST LEVEL

8" LAP SIDING -
BODY 2 COLOR

27'-0" 7/8" BUILDING HT.

FASCIA AND TRIM
ACCENT 1 COLOR

BRICK

SMOOTH PANEL
BOARD BODY 1

PORCH COLUMN
ACCENT 1 COLOR

AC UNIT

SOLID WOOD DOOR
ACCENT 2 COLOR

① $\frac{2 \text{ STOR}}{3/32'' = 1'-0''}$

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 97 OF 156

UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1 BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

2-STORY 6-PLEX
SHINGLE ELEVATION
MASONRY PERCENTAGES:
FRONT ELEVATION:
MASONRY = 1,163 S.F. = 70%
OTHER = 489 S.F.
TOTAL = 1,652 S.F.
REAR ELEVATION:
MASONRY = 982 S.F. = 33%
OTHER = 705 S.F.
TOTAL = 1,087 S.F.
LEFT ELEVATION:
MASONRY = 481 S.F. = 52%
OTHER = 452 S.F.
TOTAL = 933 S.F.
RIGHT ELEVATION:
MASONRY = 461 S.F. = 52%
OTHER = 435 S.F.
TOTAL = 896 S.F.
TOTAL BUILDING
MASONRY = 2,477 S.F. = 54%
OTHER = 2,098 S.F.
TOTAL = 4,575 S.F.

UPLANDS

DATE: 10.10.2024

UPLANDS FILING NO. 1 BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1 BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

PREPARED: 08.16.2024
REVISIONS
08.08.2024
10.10.2024

97 OF 156
2-STORY 6-PLEX TOWNHOME
SHINGLE ELEVATION

REFERS TO COLOR BOOK
FOR MATERIAL
INFORMATION

2-STORY 6-PLEX-C - REAR ELEVATION - SHINGLE
3/32" = 1'-0"
PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END
1ST LEVEL | 2ND LEVEL

2-STORY 6-PLEX-C - LEFT ELEVATION - SHINGLE
3/32" = 1'-0"
PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END
1ST LEVEL | 2ND LEVEL

2-STORY 6-PLEX-C - RIGHT ELEVATION - SHINGLE
3/32" = 1'-0"
PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END
1ST LEVEL | 2ND LEVEL

2-STORY 6-PLEX-C - FRONT ELEVATION - SHINGLE
3/32" = 1'-0"
PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END
1ST LEVEL | 2ND LEVEL
Porch Column Accent 2
Extended Porch
4x4 Wood Bracket
Solid Wood Door Accent 2 Color
Vertical Siding Body 2 Color
Shingle Siding Body 1 Color
Brick
Fascia and Trim Accent 1 Color
AC Unit
Building Height 26'-9 1/4"

UPLANDS - FILING NO. 1 - BLOCK 3

OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 98 OF 156

UPLANDS

10.10.2024

DATE:

UPLANDS FILING NO. 1 BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
PREPARED: 05.16.2024
08.08.2024
10.10.2024

98 OF 156
PASTOR 6-PLC-TOWNHOUSE
SCANDINAVIAN ELEVATION

2-STORY 6-PLEX
SCANDINAVIAN ELEVATION
MASONRY PERCENTAGES:
FRONT ELEVATION:
MASONRY = 968 S.F. = 49%
OTHER = 1,008 S.F.
TOTAL = 1,976 S.F.
REAR ELEVATION:
MASONRY = 485 S.F. = 40%
OTHER = 717 S.F.
TOTAL = 1,202 S.F.
LEFT ELEVATION:
MASONRY = 603 S.F. = 58%
OTHER = 438 S.F.
TOTAL = 1,042 S.F.
RIGHT ELEVATION:
MASONRY = 603 S.F. = 58%
OTHER = 438 S.F.
TOTAL = 1,042 S.F.
TOTAL BUILDING
MASONRY = 2,659 S.F. = 51%
OTHER = 2,603 S.F.
TOTAL = 5,262 S.F.

REFERS TO COLOR BOOK
FOR MATERIAL
INFORMATION

2-STORY 6-PLEX-C - REAR ELEVATION - SCANDINAVIAN

PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END

4 3/32" = 1'-0"

2-STORY 6-PLEX-C - LEFT ELEVATION - SCANDINAVIAN

PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END

3 3/32" = 1'-0"

2-STORY 6-PLEX-C - RIGHT ELEVATION - SCANDINAVIAN

PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END

2 3/32" = 1'-0"

2-STORY 6-PLEX-C - FRONT ELEVATION - SCANDINAVIAN

PLAN 3-END | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 1-INTERIOR | PLAN 3-END

1 3/32" = 1'-0"

8" LAP SIDING -
BODY 2 COLOR

SOLID WOOD DOOR
ACCENT 2 COLOR

FASCIA AND TRIM
ACCENT 1 COLOR

SMOOTH PANEL
BOARD BODY 1

BRICK

AC UNIT

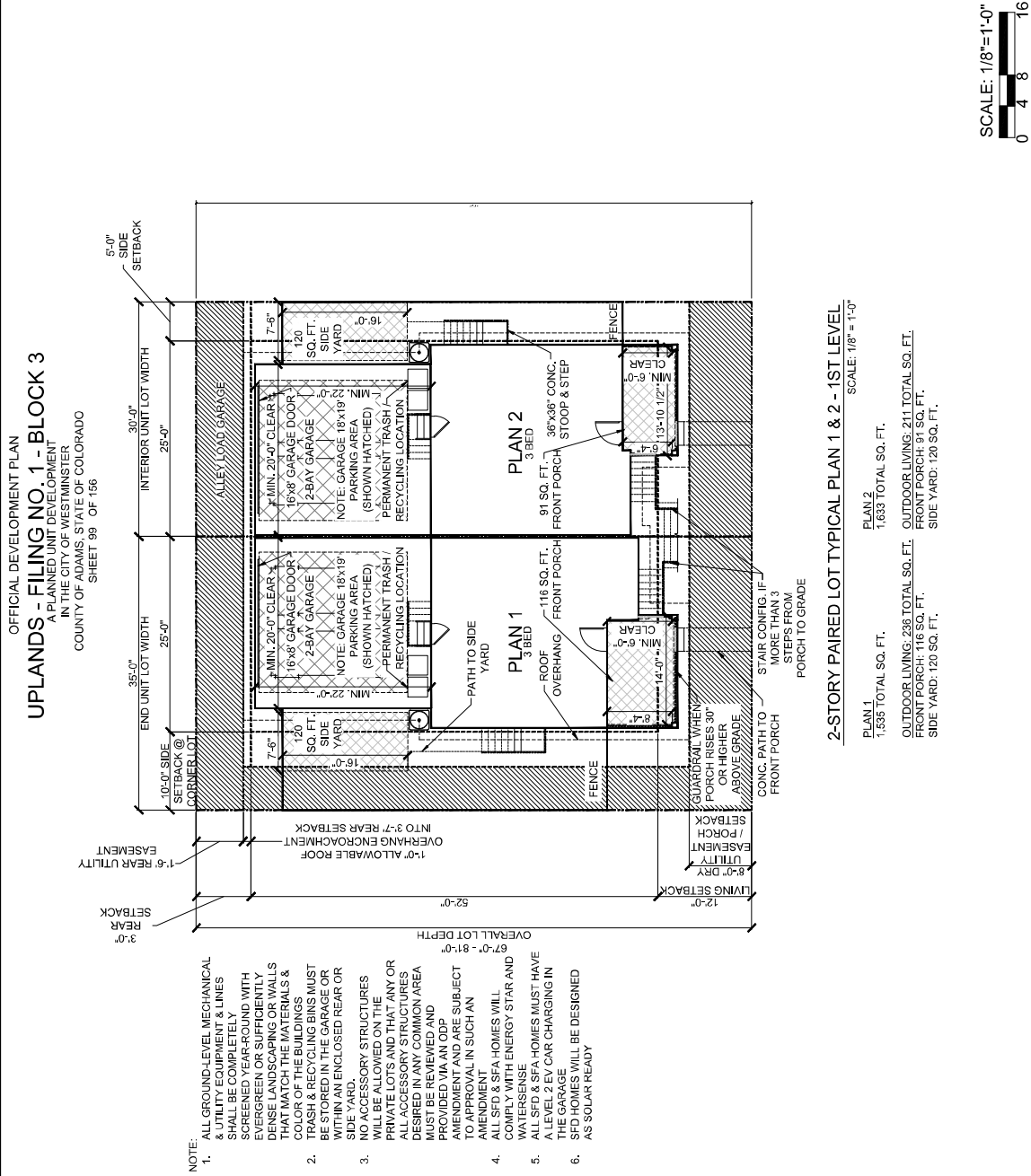
EXTENDED PORCH

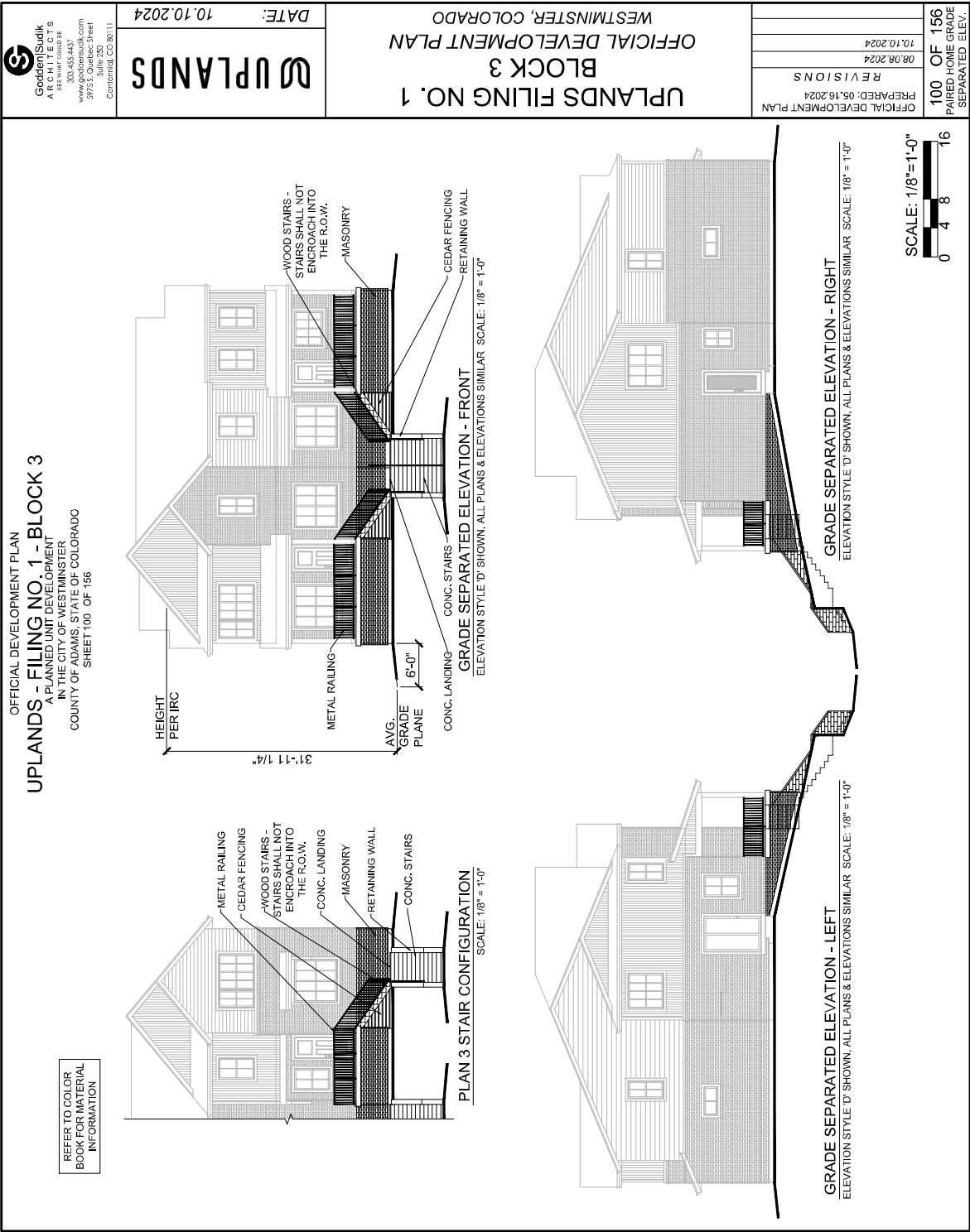
PORCH COLUMN
ACCENT 1 COLOR

BUILDING HEIGHT
26'-8 3/8"

1ST LEVEL

2ND LEVEL

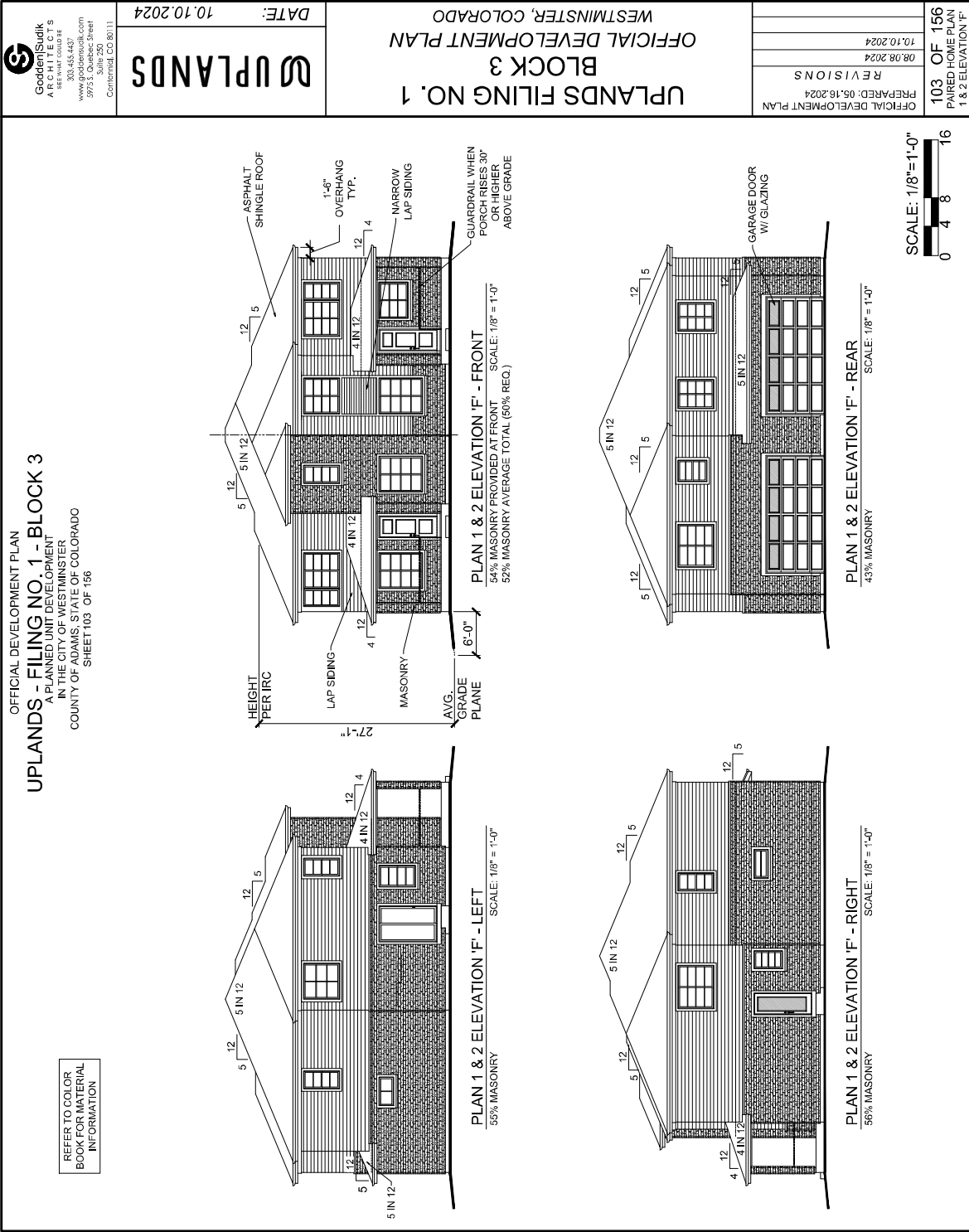


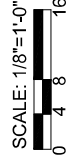


OFFICIAL DEVELOPMENT PLAN	PREPARED: 05.16.2024	REVISIONS	08.08.2024	10.10.2024		
102 OF 156			PAIRED HOME PLAN 1 & 2 ELEVATION 'E'			

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 103 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



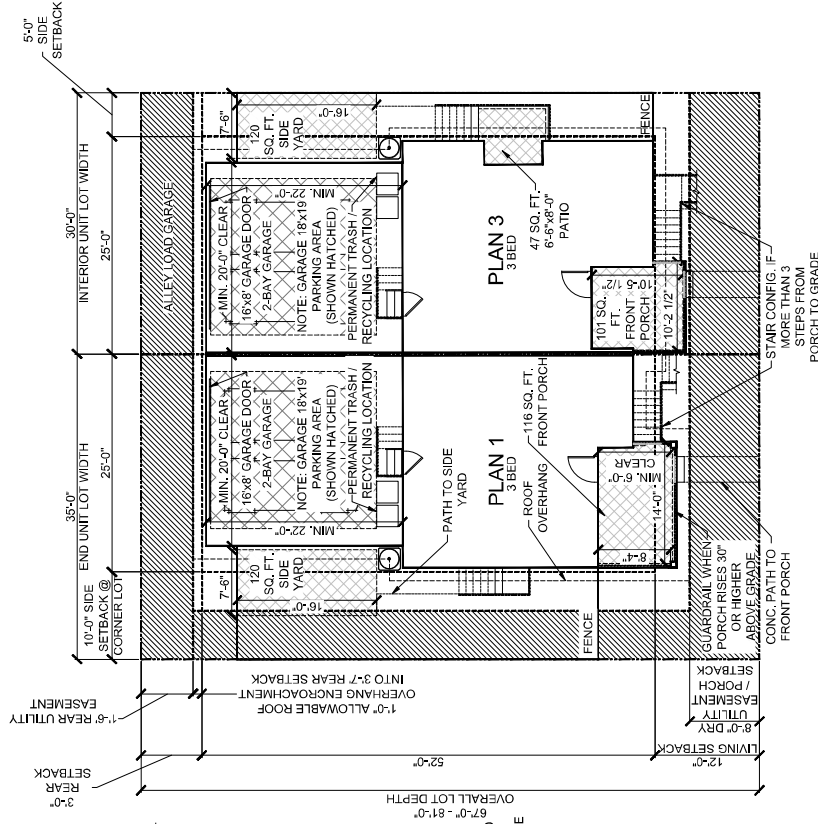


IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 108 OF 156

DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

108 OF 156	10/10/2024	08/08/2024	REVISIONS
PAIRED HOME PLAN			
1 & 3 LOT TYPICAL S			
OFFICIAL DEVELOPMENT PLAN			
PREPARED: 05.16.2024			



- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN YEAR-ROUND WITH DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLORS OF THE EXISTING CURB.
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OF ALL ACCESSORY STRUCTURES (E.G. PORCHES, PATIOS, DECKS, MENAGERIE, ETC.) IN COMMON AREA MUST BE IN NEUTRAL COLOR PROVIDED VIA AN OPEN AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
5. ALL SFD & SFA HOMES MUST HAVE THE GARAGE CHARGING IN THE SFD GARAGE.
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY.

2-STORY PAIRED LOT TYPICAL PLAN 1 & 3 - 1ST LEVEL

SCALE: 1/8" = 1'-0"


PLAN 1	PLAN 3
1,535 TOTAL SQ. FT.	1,724 TOTAL SQ. FT.

OUTDOOR LIVING: 236 TOTAL SQ. FT.
FRONT PORCH: 116 SQ. FT.
SIDE YARD: 120 SQ. FT.

SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 109 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A DIVISION OF CH2M HILL
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111

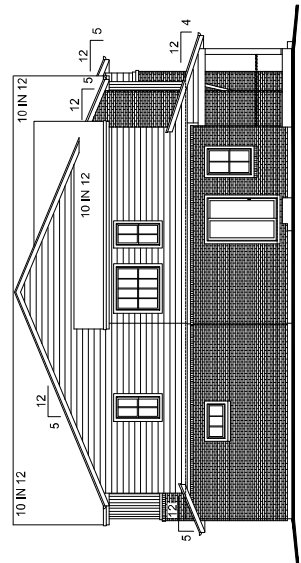
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

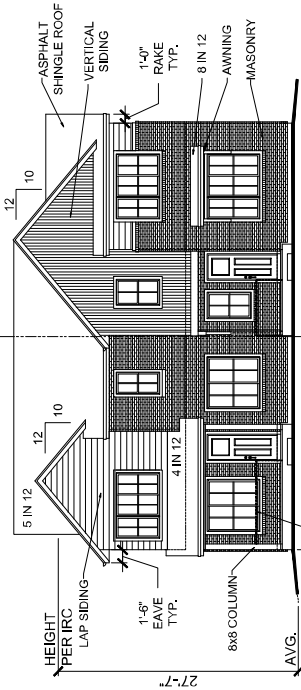
UPLANDS FILING NO. 1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

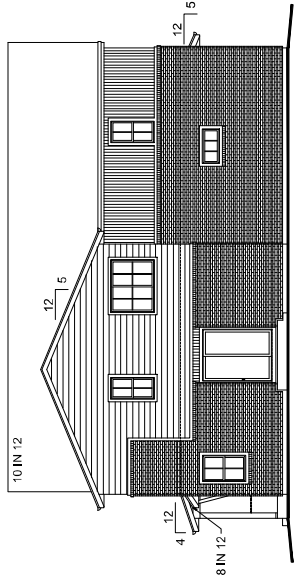
109 OF 156
PAIRED HOME PLAN
1 & 3 ELEVATION 'D'



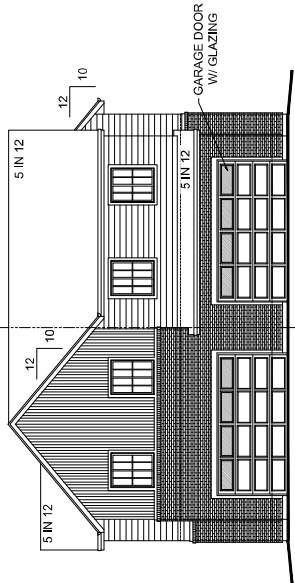
PLAN 1 & 3 ELEVATION 'D' - LEFT
49% MASONRY
SCALE: 1/8" = 1'-0"



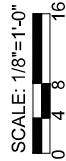
PLAN 1 & 3 ELEVATION 'D' - FRONT
52% MASONRY PROVIDED AT FRONT
50% MASONRY AVERAGE TOTAL (50% REQ.)
SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'D' - RIGHT
56% MASONRY
SCALE: 1/8" = 1'-0"



PLAN 1 & 3 ELEVATION 'D' - REAR
41% MASONRY
SCALE: 1/8" = 1'-0"



SCALE: 1/8"=1'-0"

IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 112 OF 156

F ADAMS, STATE OF
SHEET 112 OF 156

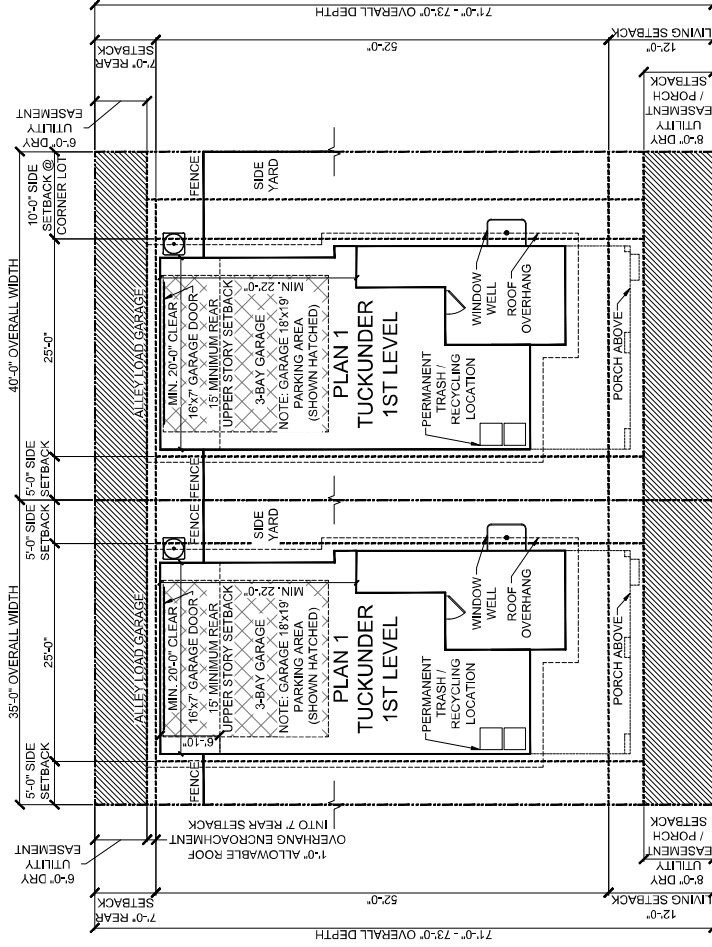
DATE: 10.10.2024

DATE: _____

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

112 OF 156
SFD TUCKUNDER
PLAN 1 LOT TYPICAL S



SCALE: 1/8"=1'-0"

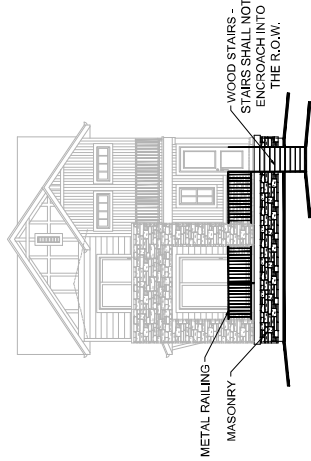
SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 1 - 1ST LEVEL
ELEVATION STYLE 'D' SHOWN. 'E' & 'F' SIMILAR
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

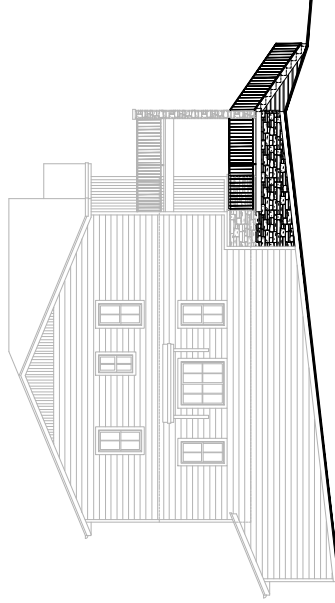
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
2. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP TO APPROVAL AND BE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
3. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
5. SFD HOMES WILL BE DESIGNED AS SOLAR READY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM.
- 6.
- 7.

OUTDOOR LIVING: 414 TOTAL SQ. FT.
FRONT PORCH: 209 SQ. FT.
OWNER'S DECK: 205 SQ. FT.

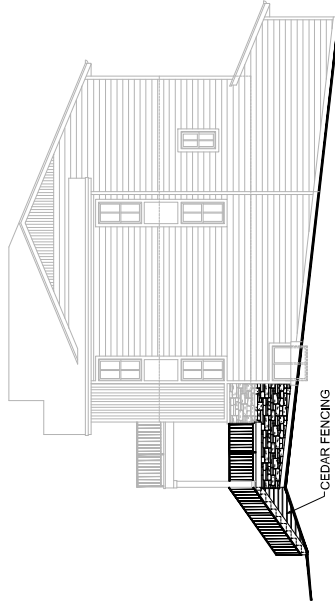
**REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION**



GRADE SEPARATED ELEVATION - FRONT
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"




GRADE SEPARATED ELEVATION - LEFT
ELEVATION STYLE D' SHOWN. ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"




GRADE SEPARATED ELEVATION - RIGHT
ELEVATION STYLE 'D' SHOWN, ALL PLANS & ELEVATIONS SIMILAR SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

 GoldenSutdik A/E/C FIRM 303.453.4327 www.goldensutdik.com 3975 S. Suite 250 Centennial, CO 80111	UPLANDS BLOCK 3 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO DATE: 10.10.2024	114 OF 156 SFD TUCKER GRADE SEP. ELEV.
	UPLANDS FILING NO. 1 OFFICIAL DEVELOPMENT PLAN PREPARED: 05.16.2024	REVISIONS
	08.08.2024	10.10.2024
	10.10.2024	10.10.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 115 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden Sudik
A Division of CH2M Hill
10000 E. Harvard Avenue
Suite 200
Denver, CO 80231
303.455.4437
www.goddensudik.com

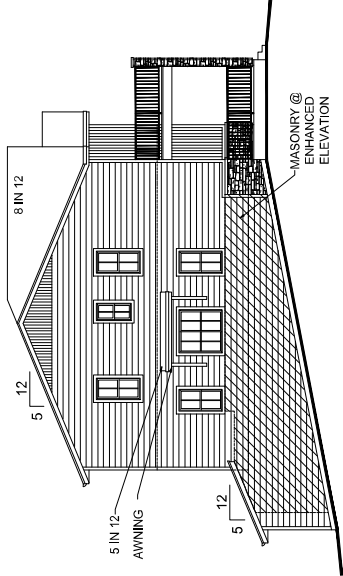
DATE: 10.10.2024

UPLANDS

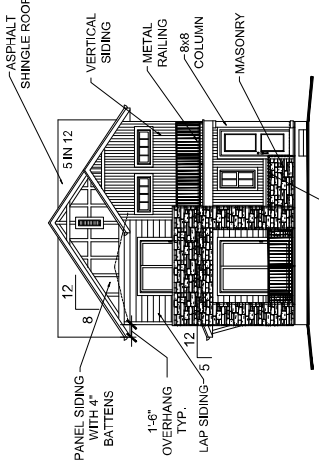
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

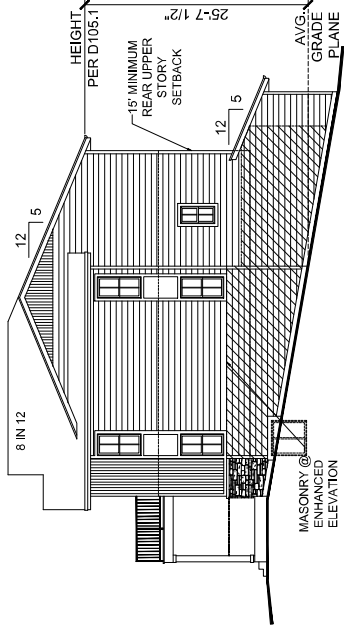
115 OF 156
SHEET TUCKER UNDER
PLAN 1 ELEVATION D'



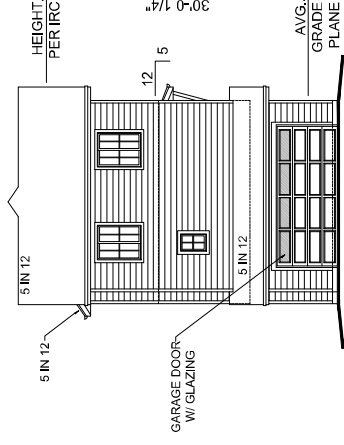
PLAN 1 ELEVATION 'D' - LEFT
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'D' - FRONT
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'D' - RIGHT
32% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"




PLAN 1 ELEVATION 'D' - REAR
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 116 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden Sudik
A Division of CH2M Hill
303.455.4437
www.goddensudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111

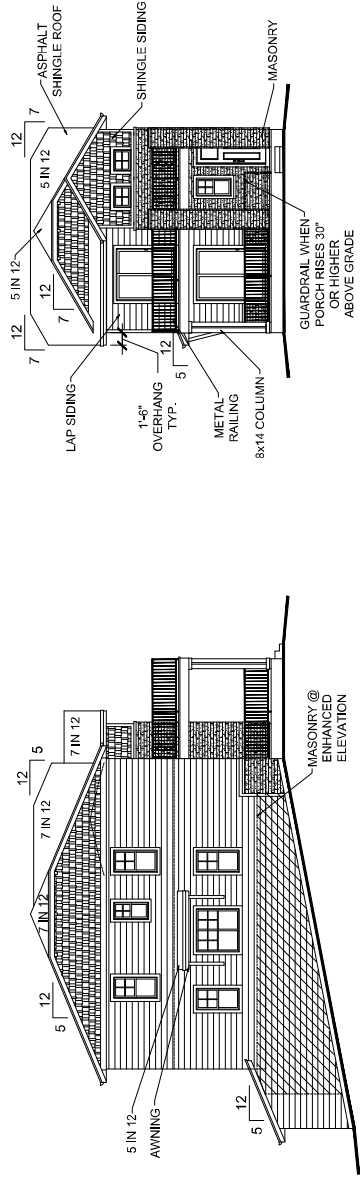
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

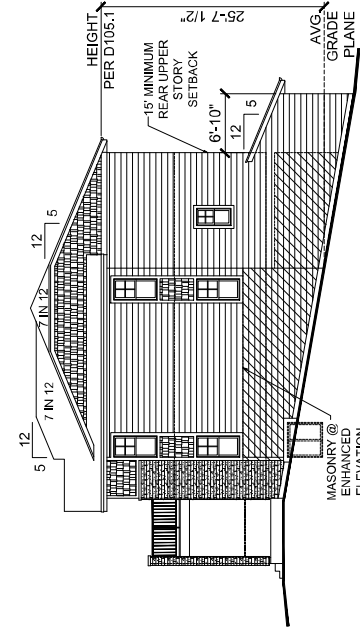
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
08/08/2024
10/10/2024
PREPARED: 06.16.2024

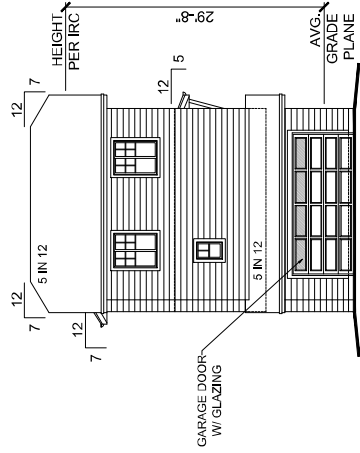
116 OF 156
SHEET TUCKER
PLAN 1 ELEVATION 'E'



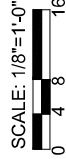
PLAN 1 ELEVATION 'E' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'E' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"




PLAN 1 ELEVATION 'E' - REAR
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 117 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A DIVISION OF CH2M HILL
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111

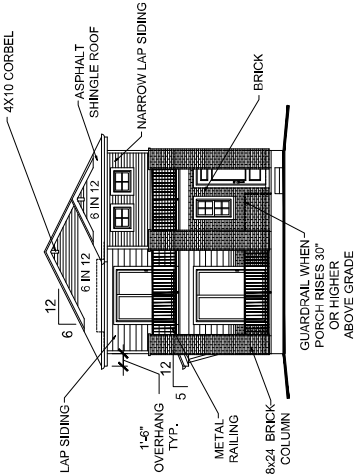
DATE: 10.10.2024

UPLANDS

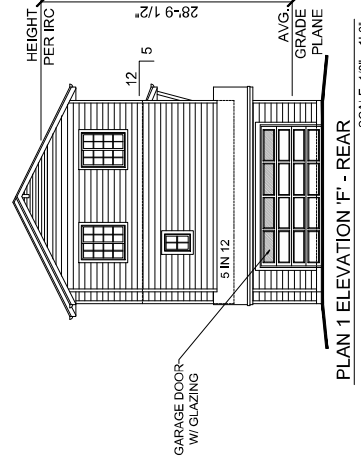
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08/08/2024
10.10.2024

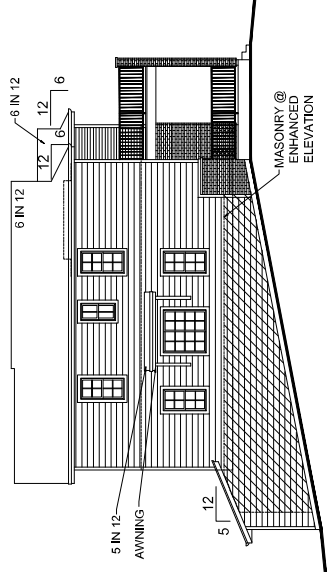
117 OF 156
SHEET TUCKER UNDER
PLAN 1 ELEVATION 'F'



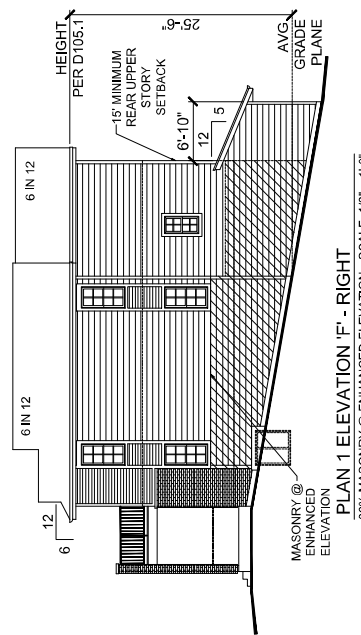
PLAN 1 ELEVATION 'F' - FRONT
44% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'F' - REAR
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'F' - LEFT
35% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'F' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"
0 4 8 16

SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO

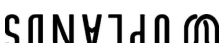
SHEET 119 OF 156



Godden Sudik
ARCHITECTS
1101 E. 10TH AVE., SUITE 200
WESTMINSTER, CO 80031
303.455.4437
www.goddensudik.com

303.455.4437
www.goddensudik.com

1101 E. 10TH AVE., SUITE 200
WESTMINSTER, CO 80031



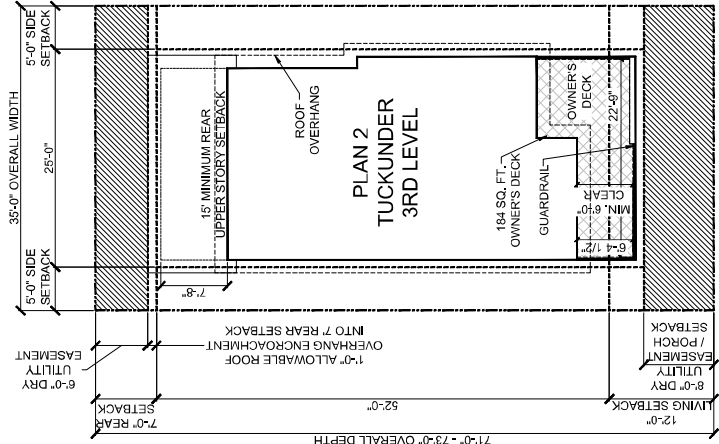
UPLANDS

DATE: 10.10.2024

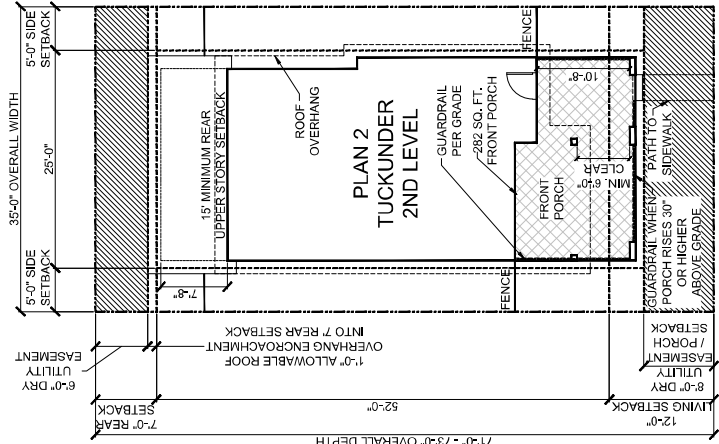
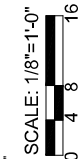
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08/08/2024
10/10/2024

119 OF 156
SFD TUCKUNDER
PLAN 2 LOT TYPICALS



SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 2 - 3RD LEVEL




SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 2 - 2ND LEVEL



OUTDOOR LIVING: 464 TOTAL SQ. FT.
FRONT PORCH: 281 SQ. FT.
OWNER'S DECK: 183 SQ. FT.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 120 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden Sudik
ARCHITECTS
A LIMITED LIABILITY
CORPORATION
303.455.4437
www.goddensudik.com
3975 S. Wadsworth Street
Suite 250
Centennial, CO 80111

DATE: 10.10.2024

UPLANDS

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

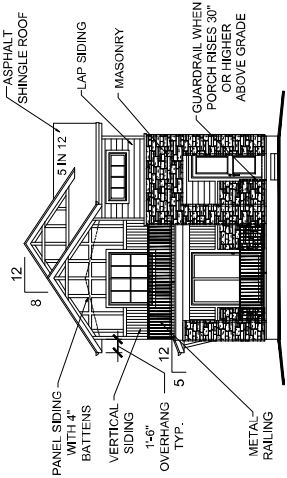
08/08/2024
10/10/2024

REVISIONS

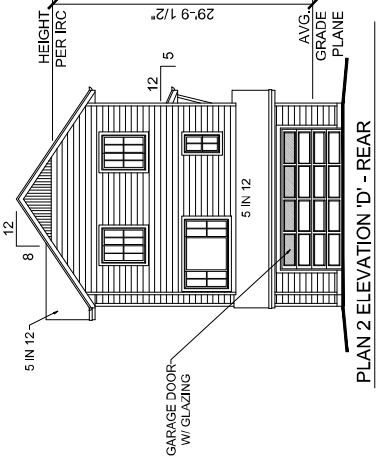
OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024

120 OF 156
SHEET TUCKER UNDER
PLAN 2 ELEVATION 'D'

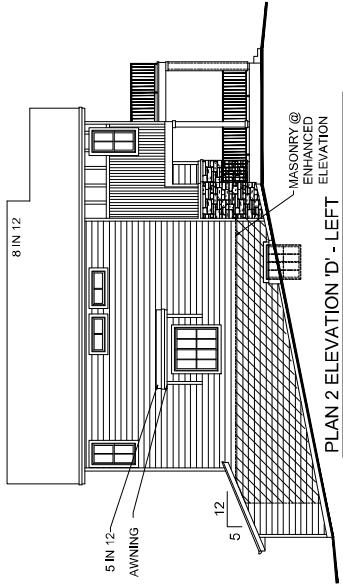
SCALE: 1/8" = 1'-0"



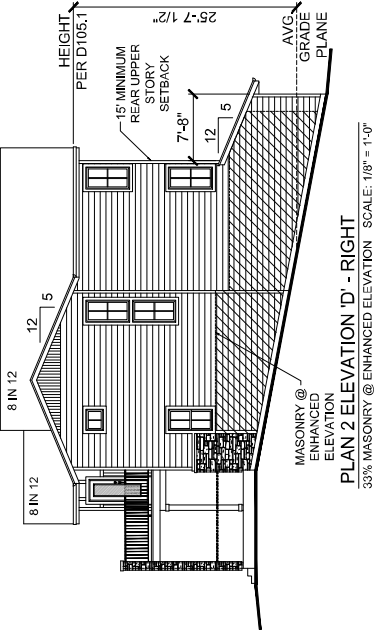
PLAN 2 ELEVATION 'D' - FRONT
32% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'D' - REAR
SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'D' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"




PLAN 2 ELEVATION 'D' - RIGHT
33% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 121 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A Division of CH2M HILL
WESTMINSTER, COLORADO
303.455.4437
www.goddenstudik.com
3975 S. Wadsworth Street
Suite 250
Westminster, CO 80011

DATE: 10.10.2024

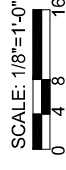
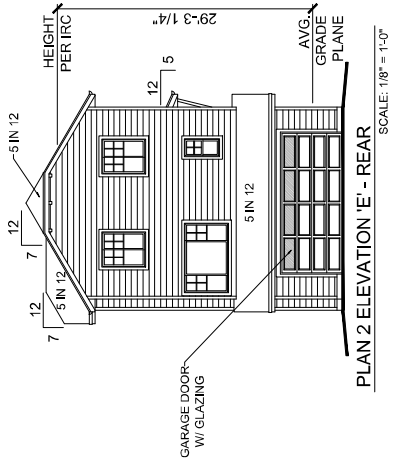
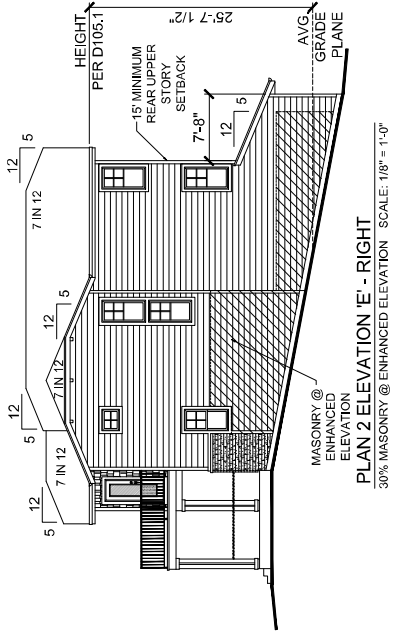
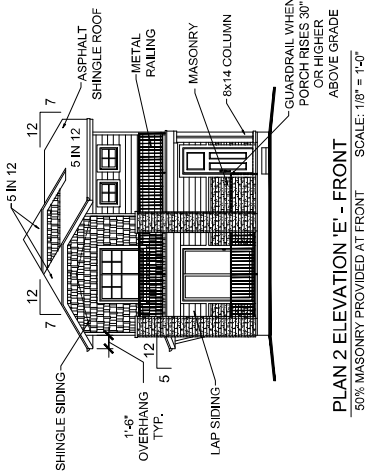
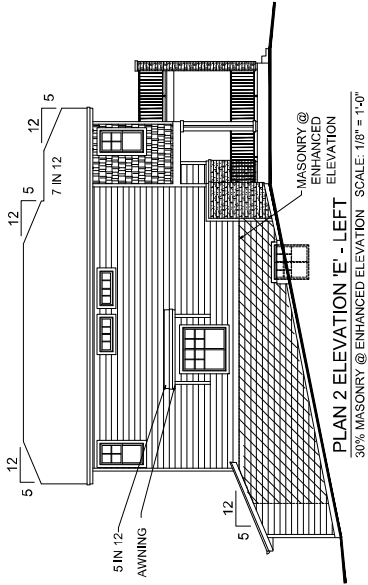
UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

08/08/2024
10/10/2024
REVISIONS

PREPARED: 06.16.2024


121 OF 156
SHEET NUMBER
PLAN 2 ELEVATION 'E'



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 122 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A Division of CH2M HILL
303.455.4437
www.goddenstudik.com
3975 S. Wadsworth Street
Suite 250
Centennial, CO 80111

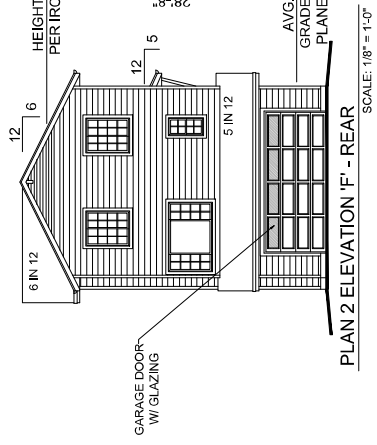
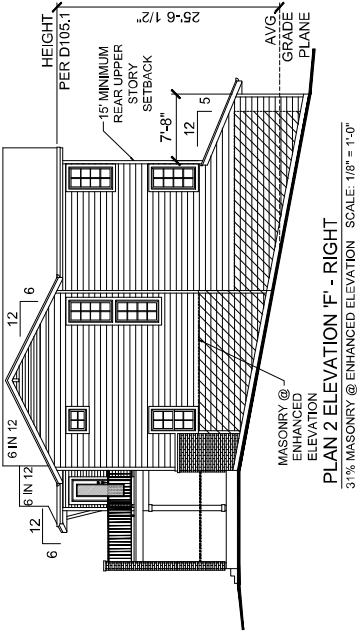
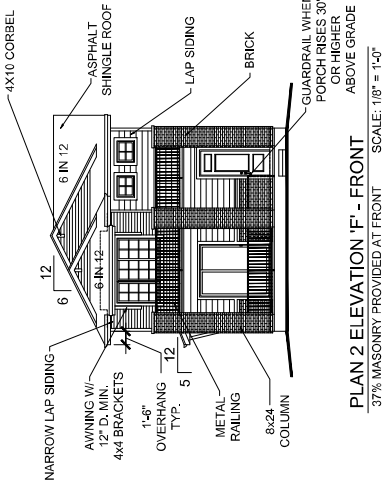
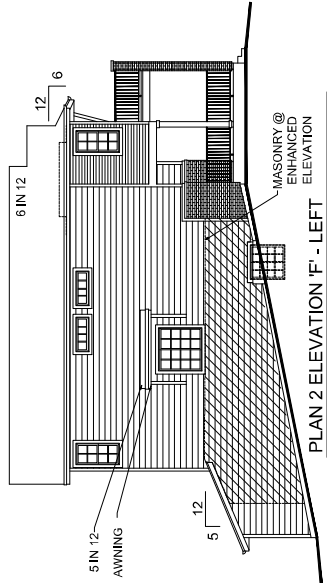
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08/08/2024
10.10.2024

122 OF 156
SHEET UNDER
PLAN 2 ELEVATION 'F'



SCALE: 1/8"=1'-0"

IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 123 OF 156

F ADAMS, STATE OF
SHEET 123 OF 156

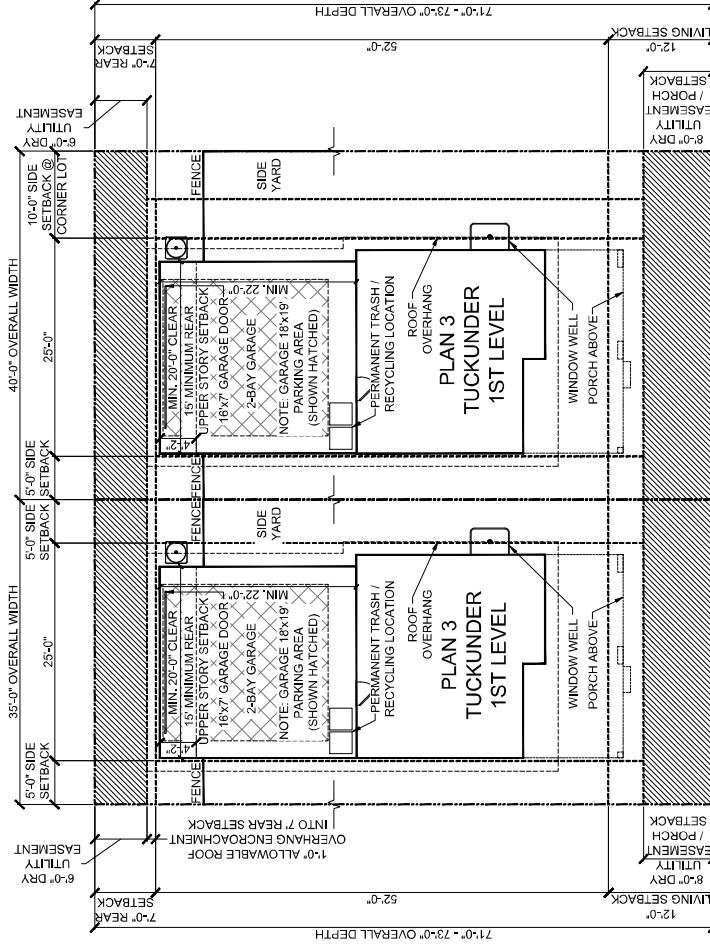
DATE: 10.10.2024

DATE: _____

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 05.16.2024	REVISIONS	08.08.2024	10.10.2024

123 OF 156
SFD TUCKUNDER
PLAN 3 LOT TYPICALS




SCALE: 1/8"=1'-0"

**SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 3 - 1ST LEVEL**
ELEVATION STYLE 'D' SHOWN, 'E' & 'F' SIMILAR
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS.
2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR PORCH, NOT IN THE BACKYARD, SIDE YARD, ENCLOSED REAR OR SIDE YARD.
3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN MANNER.
4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
6. SFD HOMES WILL BE DESIGNED AS SOLAR READY.
7. ALL COMMUNITY FACILITIES WILL BE DESIGNED TO INCLUDE A FEATURE A MINIMUM 5KW SOLAR PHOTOVOLTAIC SYSTEM.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 124 OF 156



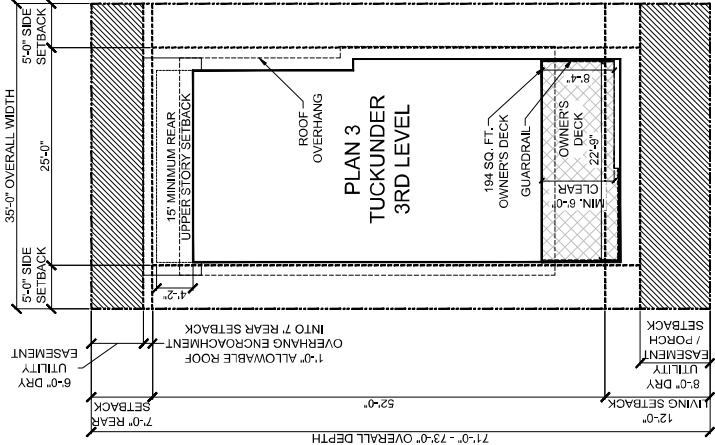
Godden Sudik
A DIVISION OF CH2M HILL
303.455.4437
www.goddensudik.com
3975 S. Quebec Street
Suite 250
Centennial, CO 80111

DATE: 10.10.2024

UPLANDS

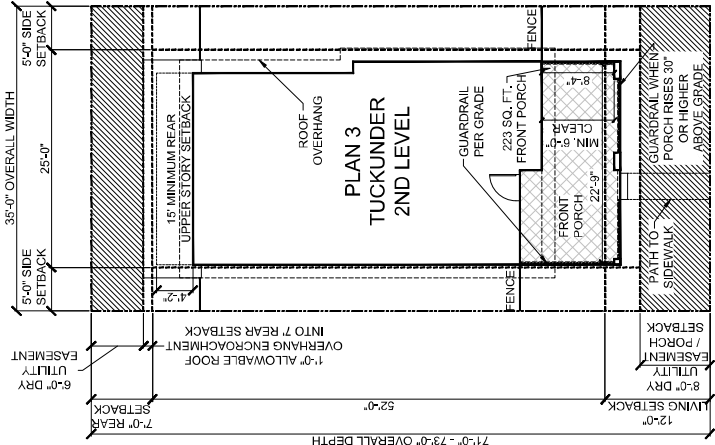
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08/08/2024
10/10/2024



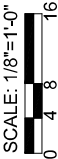
SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 3 - 3RD LEVEL

SCALE: 1/8" = 1'-0"




SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 3 - 2ND LEVEL

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 125 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden Sudik
ARCHITECTS
1101 WEST 10TH AVE
SUITE 100
WESTMINSTER, CO 80056
303.455.4437
www.goddensudik.com
3975 S. Wadsworth Street
Suite 250
Centennial, CO 80111


UPLANDS
DATE: 10.10.2024

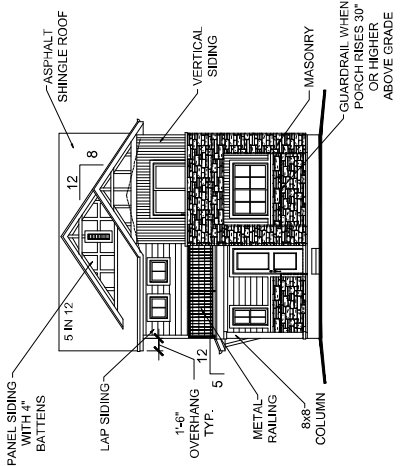
**UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

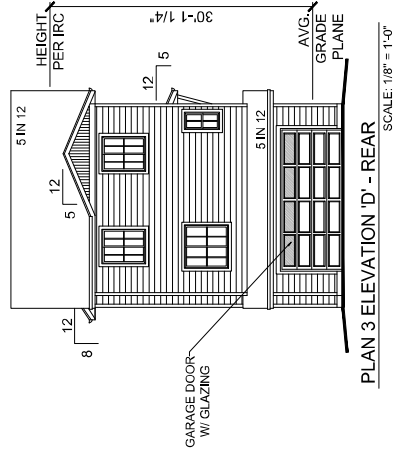
125 OF 156
SHEET TUCKER UNDER
PLAN 3 ELEVATION 'D'

SCALE: 1/8" = 1'-0"

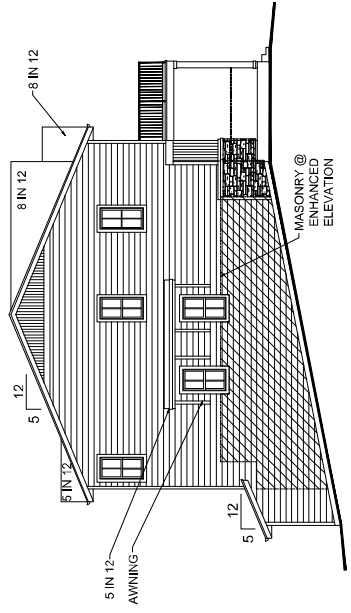




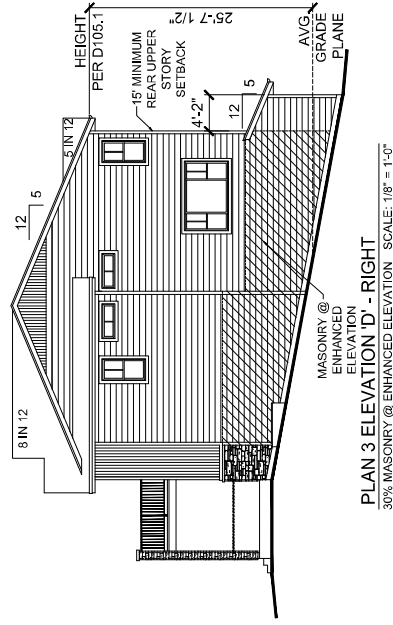
PLAN 3 ELEVATION 'D' - FRONT
37% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'D' - REAR
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'D' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"




PLAN 3 ELEVATION 'D' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 126 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden Sudik
A DIVISION OF
WESTMINSTER, COLORADO
303.455.4437
www.goddensudik.com
3975 S. Lincoln Street
Suite 250
Westminster, CO 80111

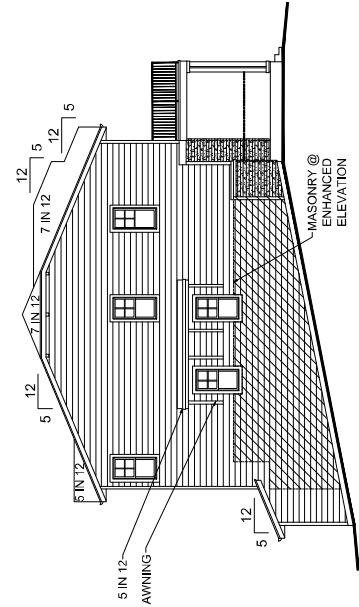
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

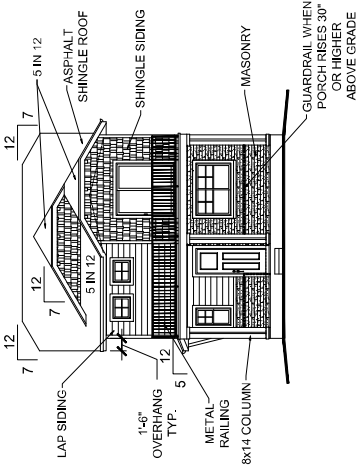
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN

REVISIONS
08/08/2024
10/10/2024
PREPARED: 06.16.2024

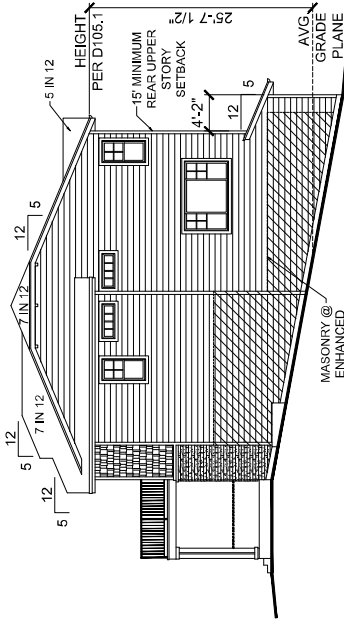
126 OF 156
SHEET TUCKER
PLAN 3 ELEVATION 'E'



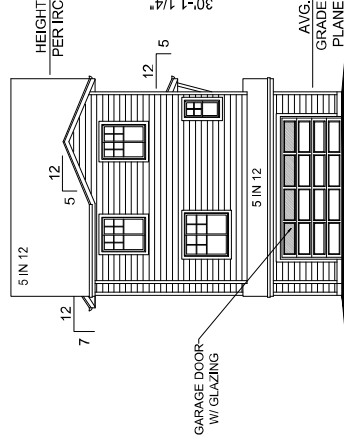
PLAN 3 ELEVATION 'E' - LEFT
31% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'E' - FRONT
42% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'E' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"




PLAN 3 ELEVATION 'E' - REAR
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"
0 4 8 16

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 127 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden Sudik
ARCHITECTS
1101 WEST 10TH AVE
SUITE 300
DENVER, CO 80202
303.455.4437
www.goddensudik.com

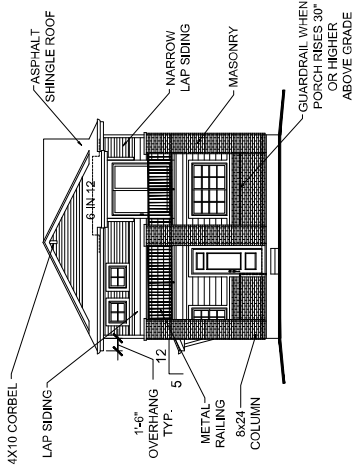
DATE: 10.10.2024

UPLANDS

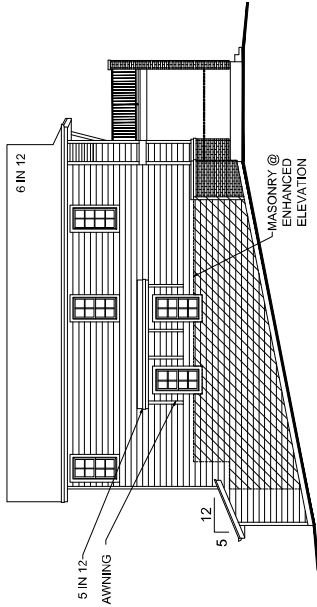
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

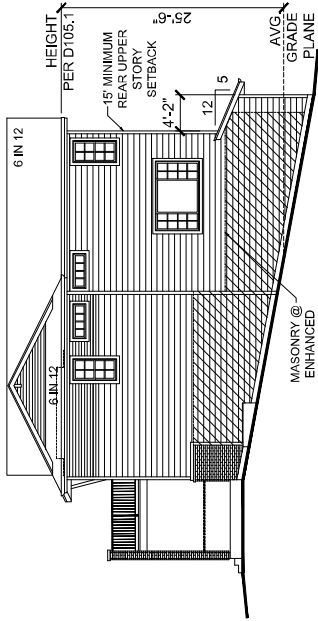
127 OF 156
SHEET TUCKER UNDER
PLAN 3 ELEVATION F



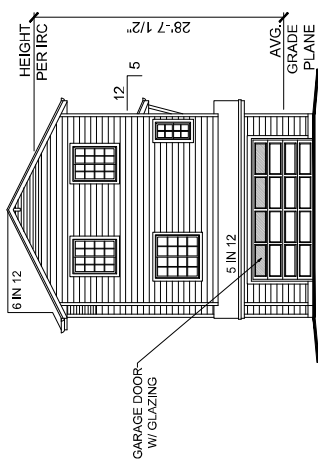
PLAN 3 ELEVATION 'F' - FRONT
48% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



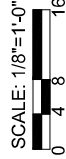
PLAN 3 ELEVATION 'F' - LEFT
36% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - RIGHT
33% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - REAR
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3

PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 129 OF 156



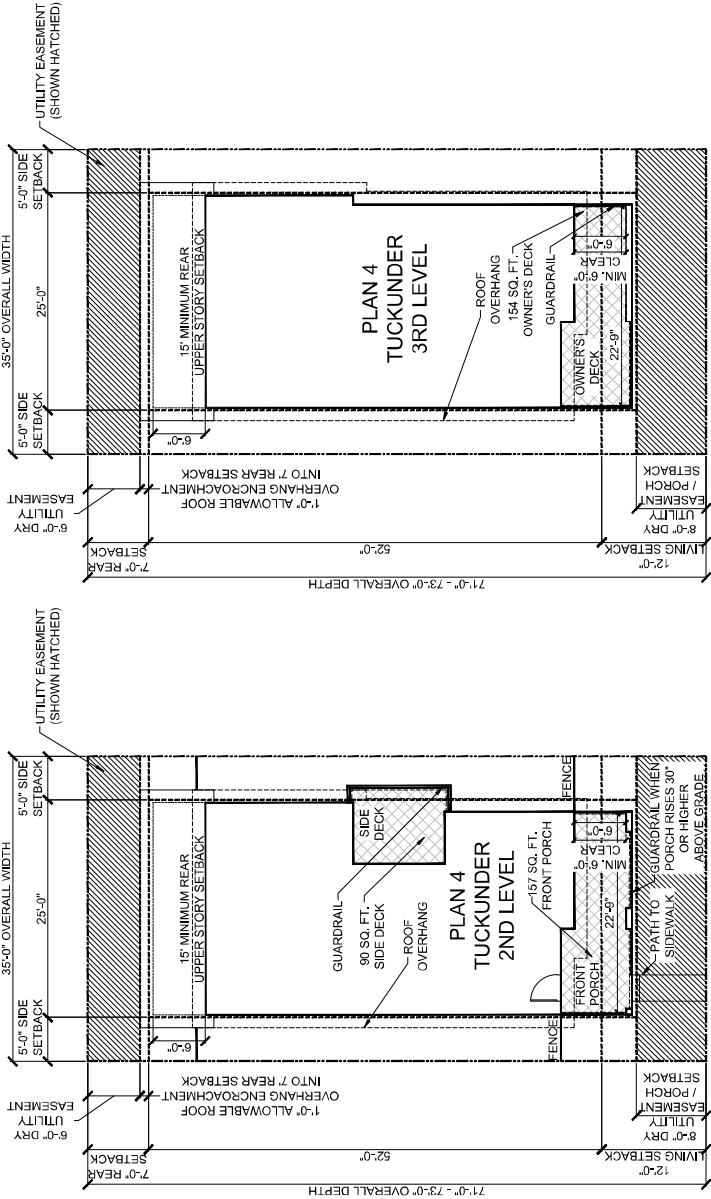
Godden|Studik
A TRUST IN THE COMMUNITY
ARCHITECTS
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111



DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	08/08/2024	10/10/2024
REVISIONS		
PREPARED: 06.16.2024		
129 OF 156		
SED TUCKUNDER		
PLAN 4 LOT TYPICALS		

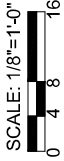


SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 4 - 2ND LEVEL

2,338 TOTAL SQ. FT.
SCALE: 1/8" = 1'-0"
OUTDOOR LIVING: 401 TOTAL SQ. FT.
FRONT PORCH: 157 SQ. FT.
SIDE DECK: 90 SQ. FT.
OWNER'S DECK: 154 SQ. FT.


SINGLE FAMILY TUCKUNDER
LOT TYPICAL PLAN 4 - 3RD LEVEL

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 130 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A Division of Godden|Studik
11000 E. 1st Avenue, Suite 200
Westminster, CO 80040
303.455.4437
www.goddenstudik.com

DATE: 10.10.2024

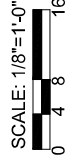
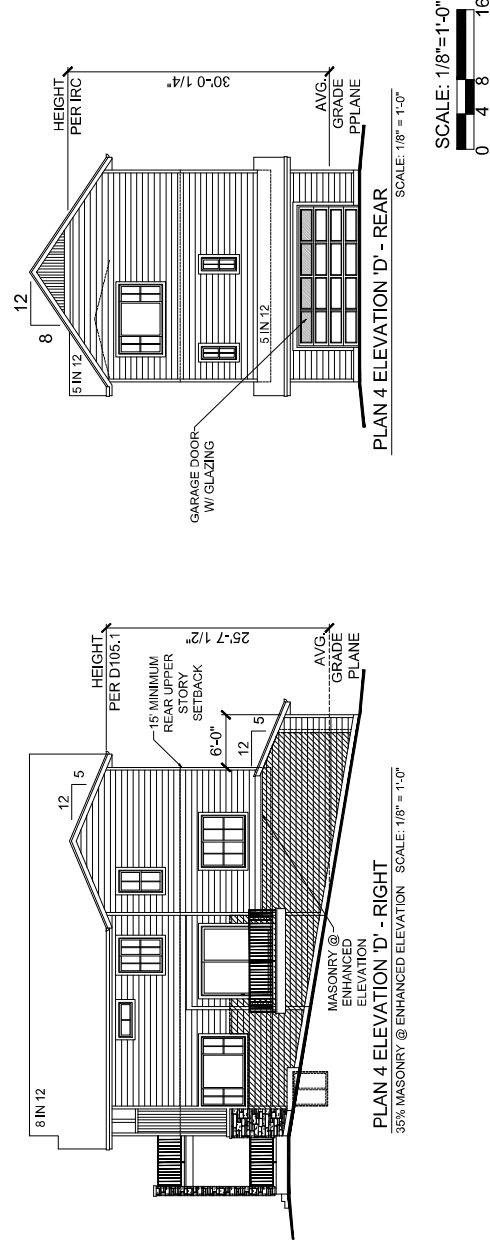
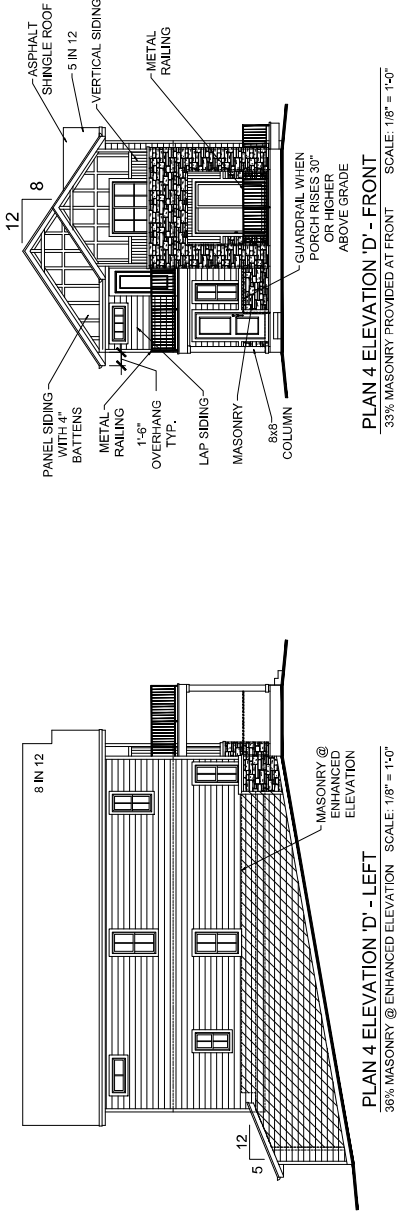
UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN

REVISIONS
08/08/2024
10/10/2024


PREPARED: 06.16.2024

130 OF 156
SHEET TUCKER UNDER
PLAN 4 ELEVATION D



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 131 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik

A DESIGN BUILD FIRM

WESTMINSTER, COLORADO

303.455.4437

www.goddenstudik.com

3975 S. Lincoln Street

Suite 250

Commerce, CO 80011

DATE:

10.10.2024

UPLANDS

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

UPLANDS FILING NO. 1

BLOCK 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

REVISIONS

08/08/2024

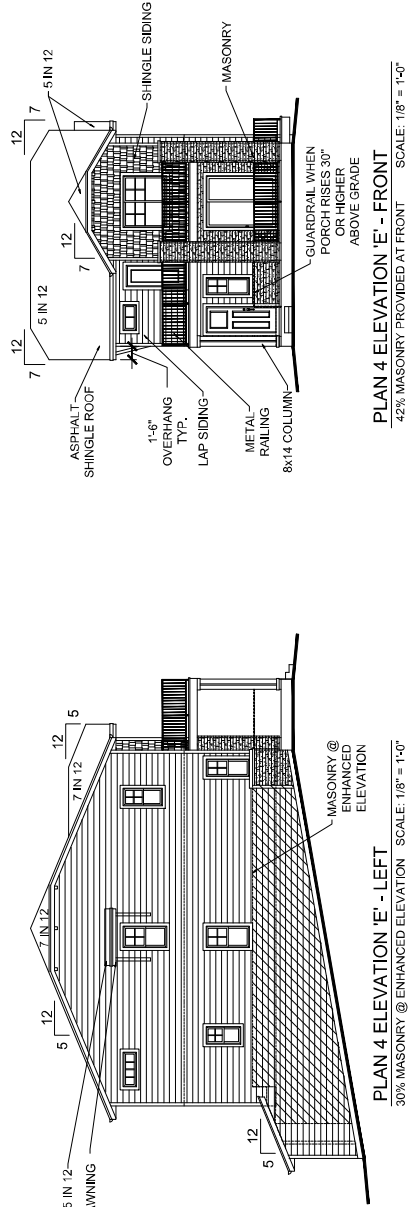
10/10/2024

PREPARED: 06.16.2024

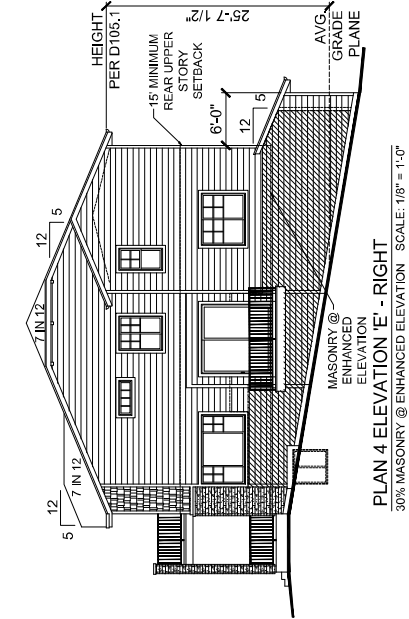
131 OF 156

SHEET UNDER

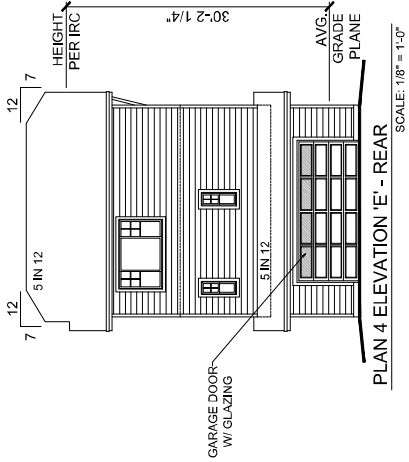
PLAN 4 ELEVATION 'E'



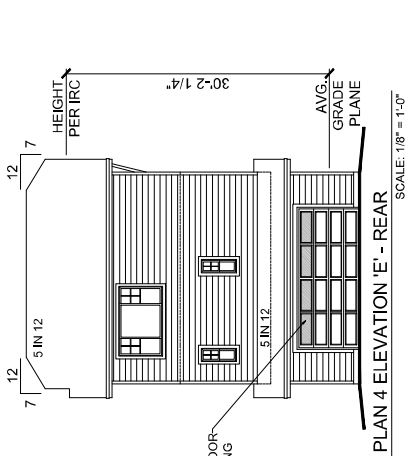
PLAN 4 ELEVATION 'E' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



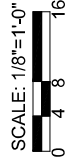
PLAN 4 ELEVATION 'E' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'E' - FRONT
42% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'E' - REAR
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 134 OF 156



Godden|Studik

A COMMITMENT TO EXCELLENCE

WESTMINSTER, COLORADO


303.455.4437

www.goddenstudik.com

3975 S. Lincoln Street

Suite 250

Commerce, CO 80011

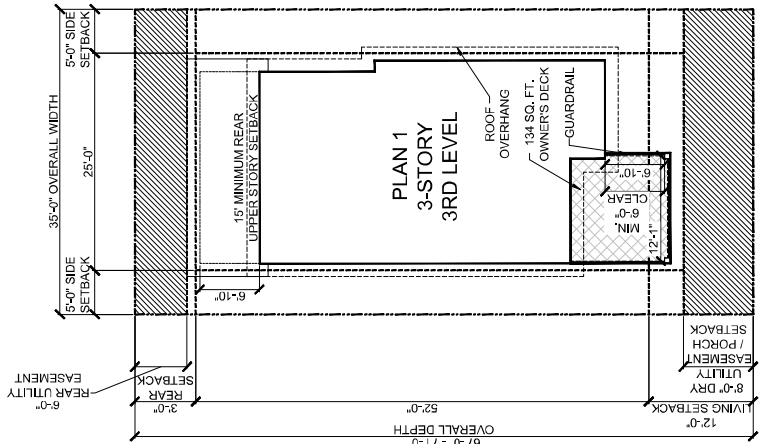


DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

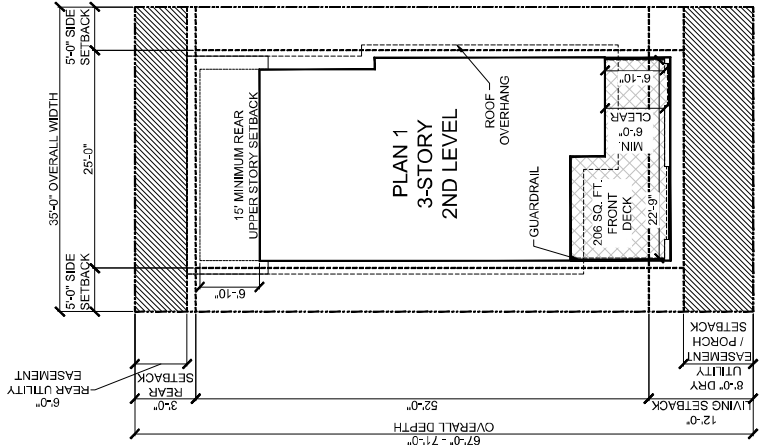
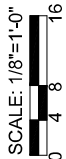
OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

134 OF 156
SHEET 134 OF 156
LOT TYPICALS



SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 1 - 3RD LEVEL

SCALE: 1/8" = 1'-0"




SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 1 - 2ND LEVEL

SCALE: 1/8" = 1'-0"

1,874 TOTAL SQ. FT.
OUTDOOR LIVING: 643 TOTAL SQ. FT.
FRONT PORCH: 207 SQ. FT.
SIDE YARD: 96 SQ. FT.
FRONT DECK: 206 SQ. FT.
OWNER'S DECK: 134 SQ. FT.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 135 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



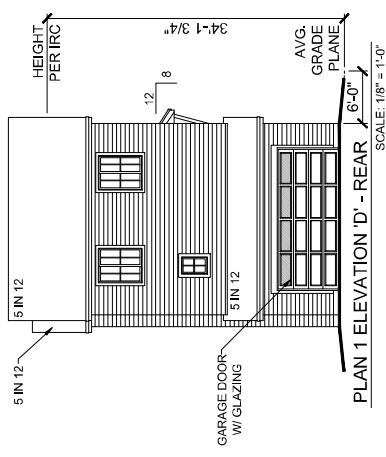
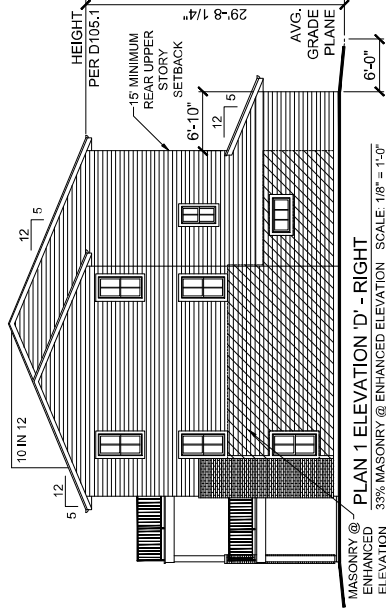
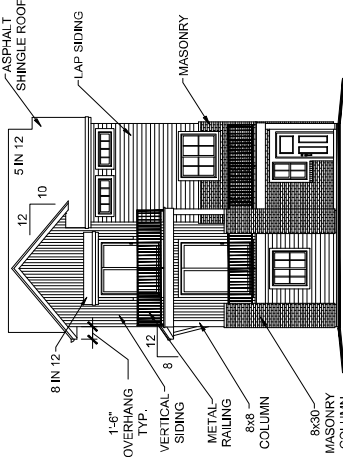
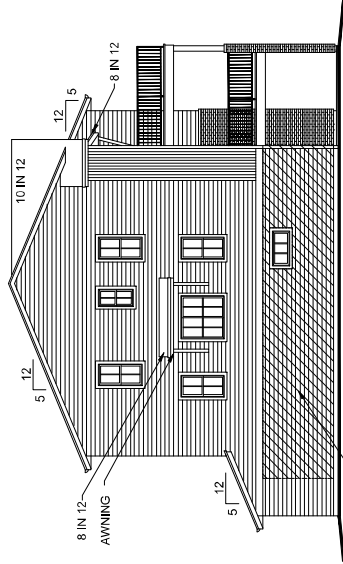
UPLANDS
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
303.455.4437
www.goddensuall.com
3975 S. Lincoln Street
Suite 250
Commerce, CO 80011

DATE: 10.10.2024


UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

135 OF 156
SP3 STORY PLAN 1
ELEVATION 'D'




SCALE: 1/8"=1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 137 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
ARCHITECTS
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111

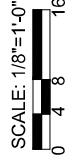
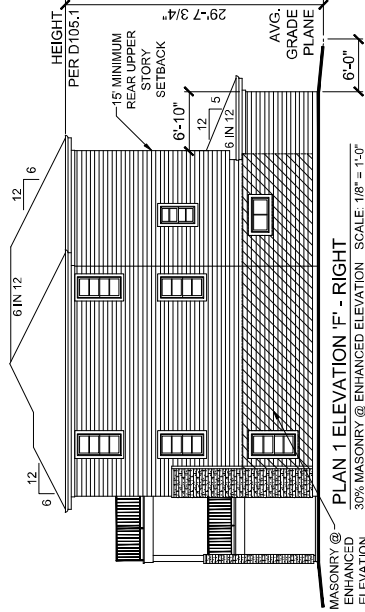
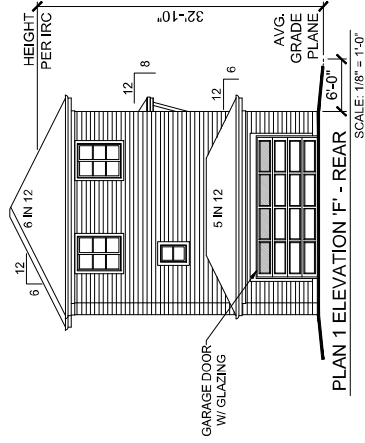
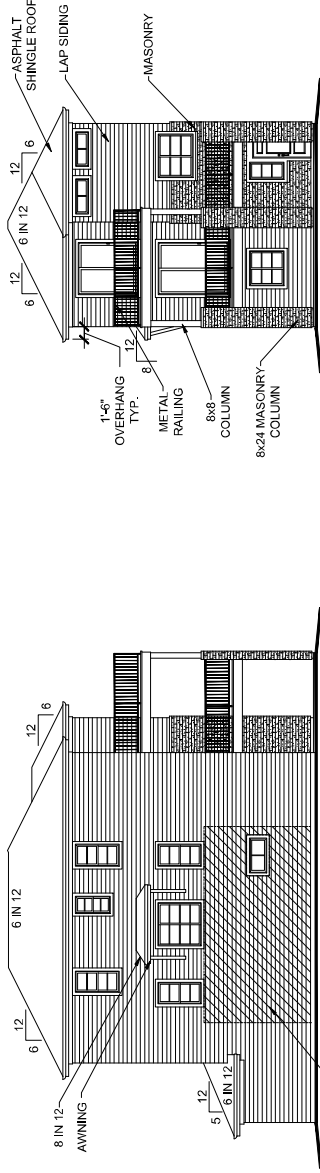
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
08/08/2024
10/10/2024
PREPARED: 06.16.2024

137 OF 156
SPD 3 STORY PLAN 1
ELEVATION F



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 138 OF 156



Godden Sudik
A DIVISION OF GODDEN
SUDIK & ASSOCIATES
303.455.4437
www.goddensudik.com
3975 S. Quebec Street
Suite 250
Centennial, CO 80111

UPLANDS

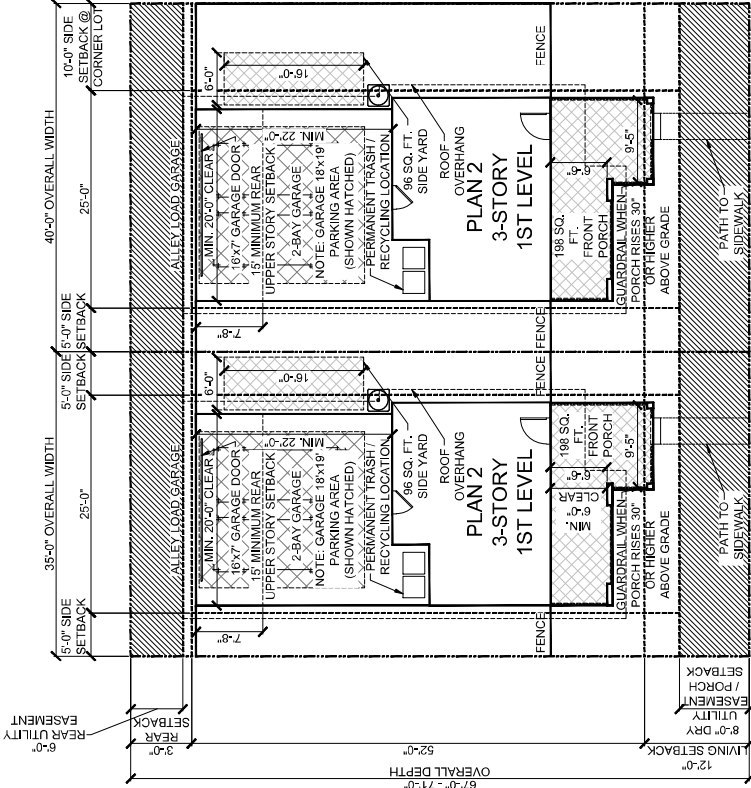
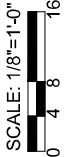
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
08/08/2024
10/10/2024

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024

138 OF 156
SFD 3-STORY PLAN 2
LOT TYPICALS




- NOTE:
- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS. TOASTERS & REFRIGERATORS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 - NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
 - ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
 - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
 - SFD HOMES WILL BE DESIGNED AS SOLAR READY.
 - ALL COMMUNITY FACILITIES (COURT, PLAYGROUND, ETC.) WILL FEATURE ANNUAL/BI-WEEKLY SOLAR PHOTOVOLTAIC SYSTEM.

SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 2 - 1ST LEVEL
ELEVATION STYLE 'A' SHOWN, 'B' & 'C' SIMILAR SCALE: 1/8" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO



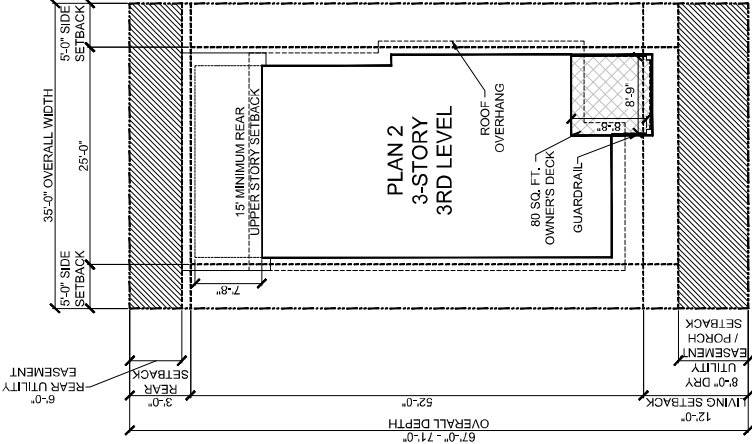
Godden|Studik
A DIVISION OF
WESTMINSTER, COLORADO
303.455.4437
www.goddenstudik.com
3975 S. Wadsworth Street
Suite 250
Westminster, CO 80111



DATE: 10.10.2024

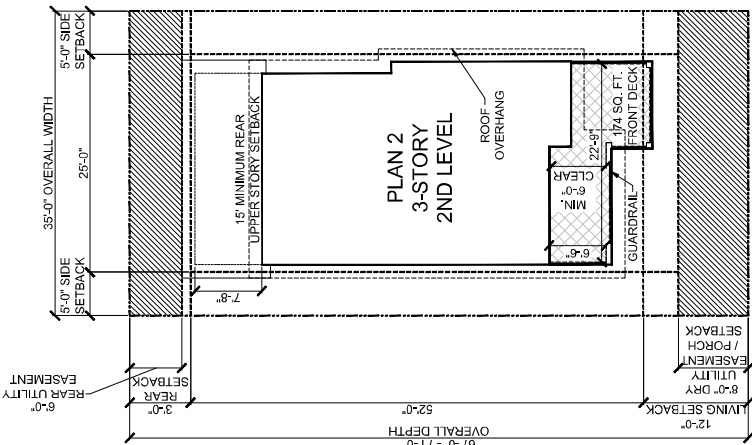
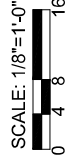
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
10.10.2024
08.08.2024
139 OF 156
SPD 3-STORY PLAN 2
LOT TYPICALS



SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 2 - 3RD LEVEL

SCALE: 1/8" = 1'-0"




SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 2 - 2ND LEVEL

SCALE: 1/8" = 1'-0"

1,971 TOTAL SQ. FT.
OUTDOOR LIVING: 548 TOTAL SQ. FT.
FRONT PORCH: 108 SQ. FT.
SIDE YARD: 96 SQ. FT.
FRONT DECK: 174 SQ. FT.
OWNER'S DECK: 80 SQ. FT.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 140 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A DIVISION OF GODDEN
WESTMINSTER, COLORADO
303.455.4437
www.goddenstudik.com
3975 S. Wadsworth Street
Suite 250
Westminster, CO 80111

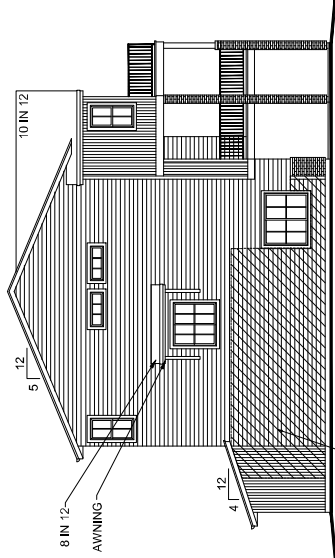
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

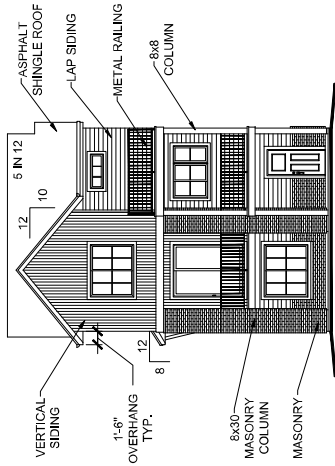
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
08/08/2024
10/10/2024
PREPARED: 06.16.2024

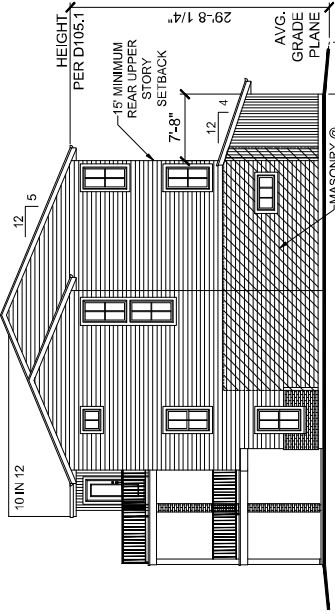
140 OF 156
SFD 3-STORY PLAN 2
ELEVATION 'D'



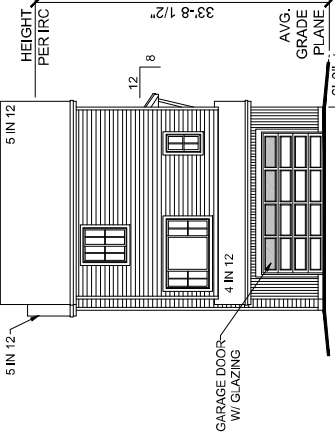
PLAN 2 ELEVATION 'D' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'D' - FRONT
30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'D' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"




PLAN 2 ELEVATION 'D' - REAR
30% MASONRY PROVIDED AT REAR SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 141 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



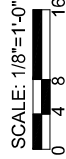
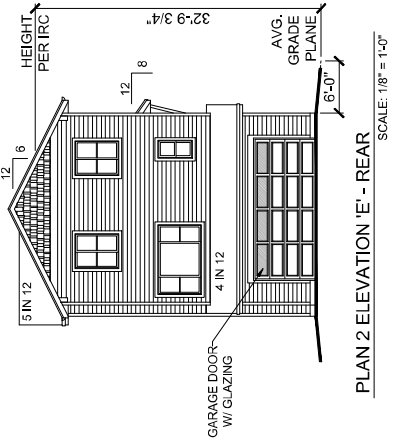
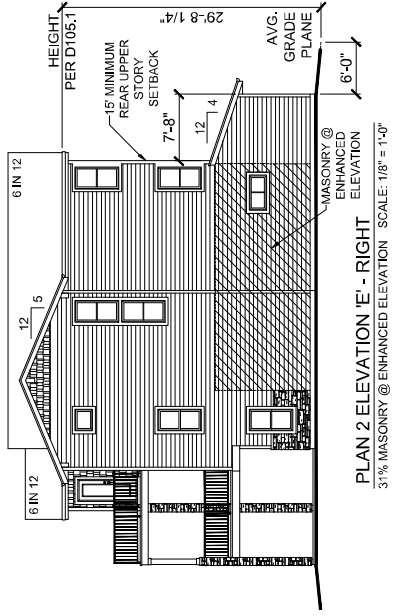
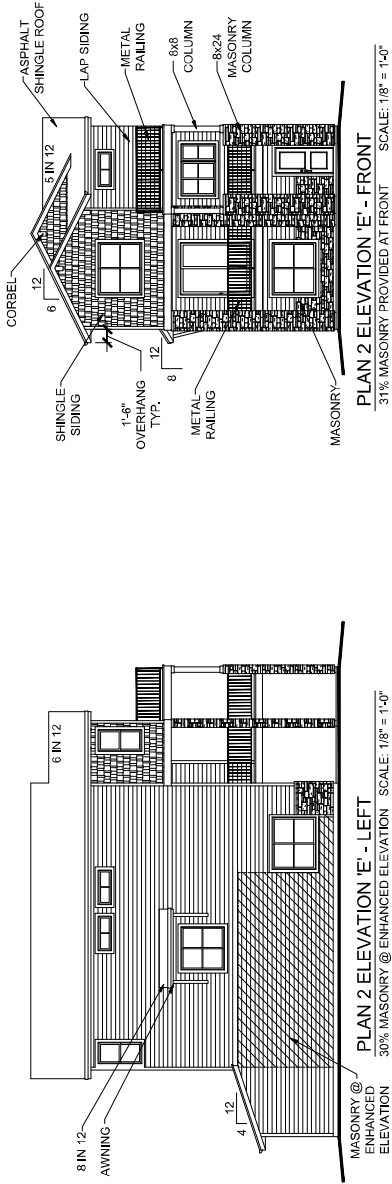
Godden Sudik
A 100% RECYCLED PAPER
PRINTED IN THE UNITED STATES
303.455.4437
www.goddensudik.com
3975 S. Wadsworth Street
Suite 250
Centennial, CO 80111

DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
10.10.2024
08.08.2024


141 OF 156
SF3 STORY PLAN 2
ELEVATION 'E'



- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS MUST BE USED. WASH & RECYCLING BINS MUST BE PLACED WITHIN AN ENCLOSED REAR OR SIDE YARD.
2. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO REVIEW AND IN SUCH AN AMENDMENT.
3. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
5. SFD HOMES WILL BE DESIGNED AS SOLAR READY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM.
- 6.
- 7.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 145 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
ARCHITECTS
303.455.4437
www.goddenstudik.com
3975 S. Wadsworth Street
Suite 250
Centennial, CO 80111

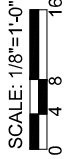
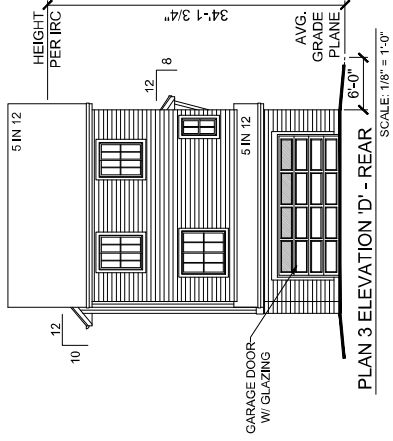
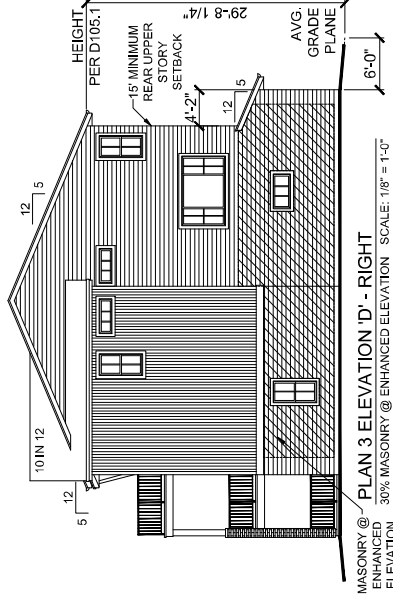
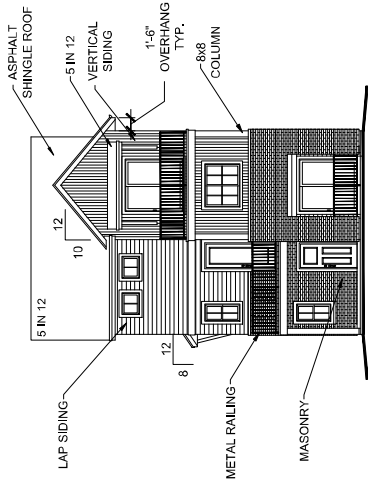
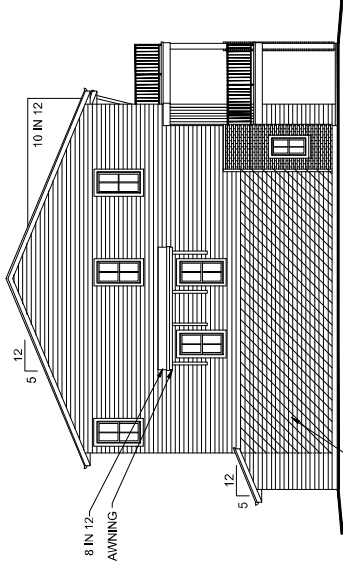
DATE: 10.10.2024

UPLANDS

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024


145 OF 156
SFD 3-STORY PLAN 3
ELEVATION 'D'



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 146 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
ARCHITECTS
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111

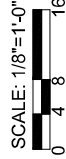
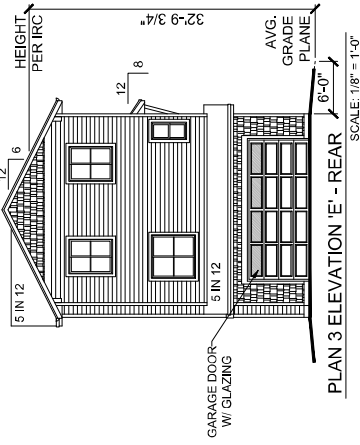
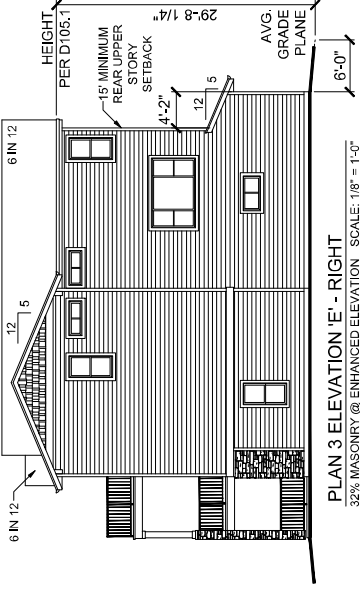
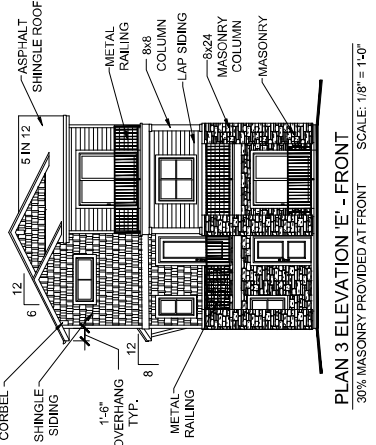
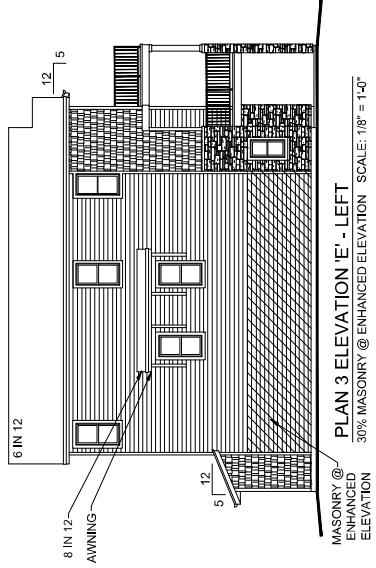
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024


146 OF 156
SFD 3-STORY PLAN 3
ELEVATION 'E'



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 147 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A DIVISION OF GODDEN
WESTMINSTER, COLORADO
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Westminster, CO 80111

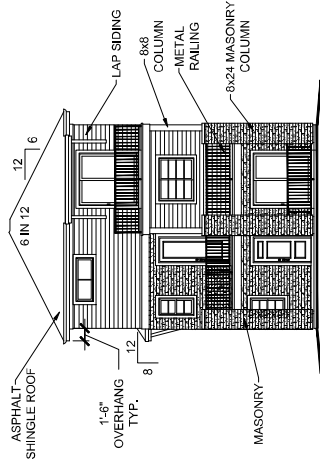
DATE: 10.10.2024

UPLANDS
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

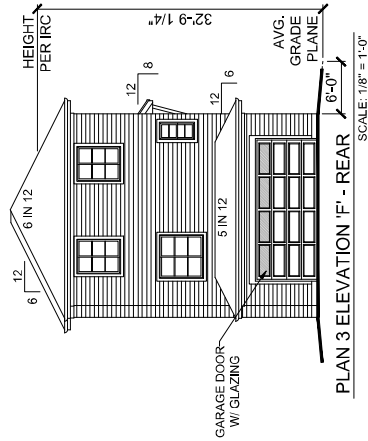
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

REVISIONS
08/08/2024
10/10/2024
PREPARED: 06.16.2024

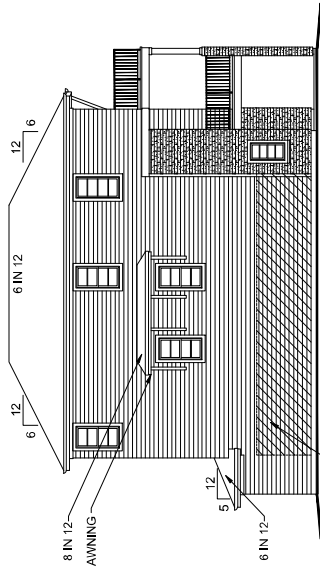
147 OF 156
SFD-3-STORY PLAN 3
ELEVATION F



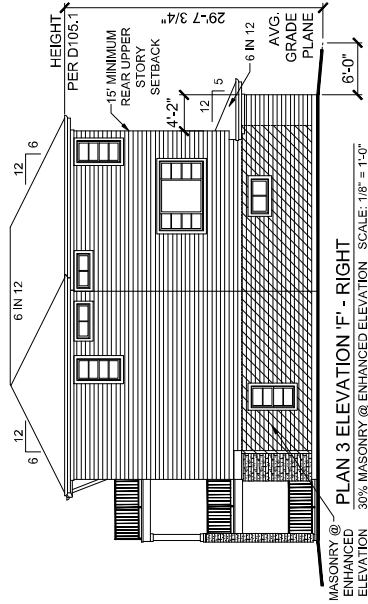
PLAN 3 ELEVATION 'F' - FRONT
33% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - REAR
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'F' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"
0 4 8 16

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3

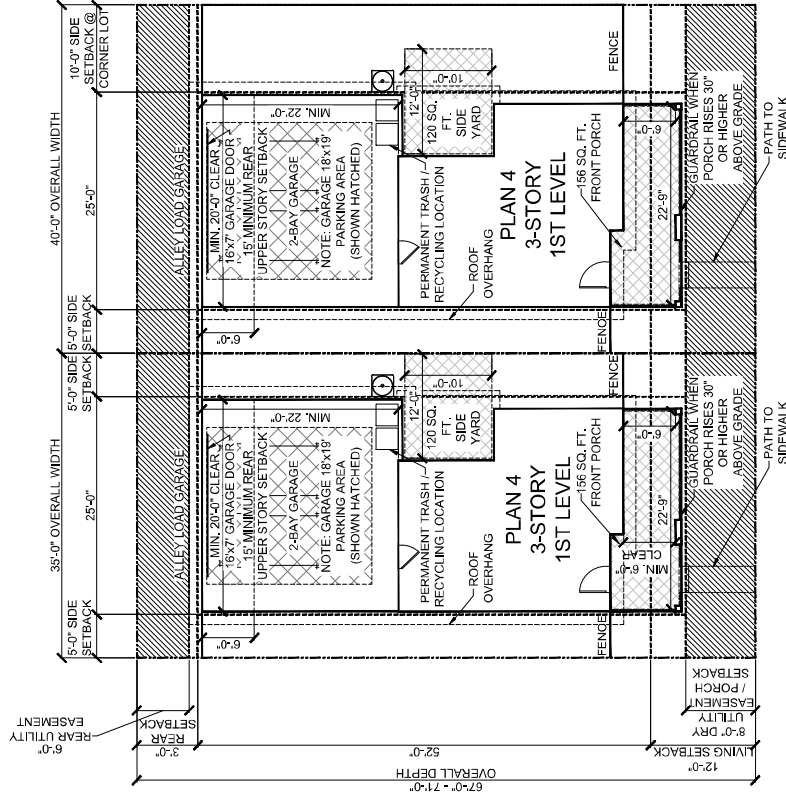
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 148 OF 156

DATE: 10.10.2024

DATE: _____

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 05.16.2024	REVISIONS	08.08.2024	10.10.2024	148 OF 156
					SFD 3-STORY PLAN 4
					LOT TYPICALS



SIDEWALK
SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 4 - 1ST LEVEL

SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

148 OF 156
SFD 3-STORY PLAN 4
LOT TYPICALS

1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS MUST BE STORED IN THE GARAGE OR SIDE YARD.
2. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
3. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
5. SFD HOMES WILL BE DESIGNED AS SOLAR READY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM.
- 6.
- 7.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED DEVELOPMENT
IN THE CITY OF WESTMINSTER,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 149 OF 156



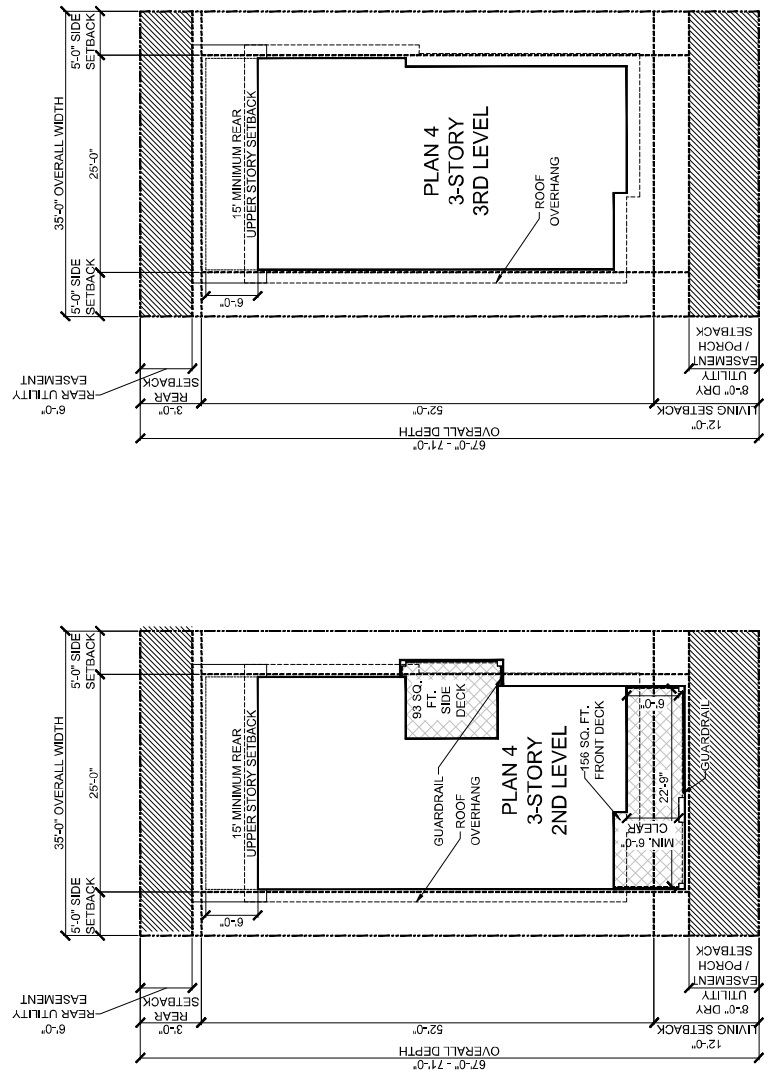
Godden/Studik
A FULL SERVICE
ARCHITECTURAL
FIRM
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Centennial, CO 80111



DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
10.10.2024
08.08.2024
149 OF 156
SFD 3-STORY PLAN 4
LOT TYPICALS



SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 4 - 2ND LEVEL

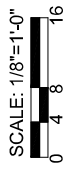
2,387 TOTAL SQ. FT.

SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 525 TOTAL SQ. FT.
FRONT PORCH: 156 SQ. FT.
SIDE YARD: 120 SQ. FT.
FRONT DECK: 158 SQ. FT.
SIDE DECK: 93 SQ. FT.

SINGLE FAMILY 3-STORY
LOT TYPICAL PLAN 4 - 3RD LEVEL

SCALE: 1/8" = 1'-0"




OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 150 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A DIVISION OF GODDEN
WESTMINSTER, COLORADO
303.455.4437
www.goddenstudik.com
3975 S. Lincoln Street
Suite 250
Commerce, CO 80011

DATE: 10.10.2024

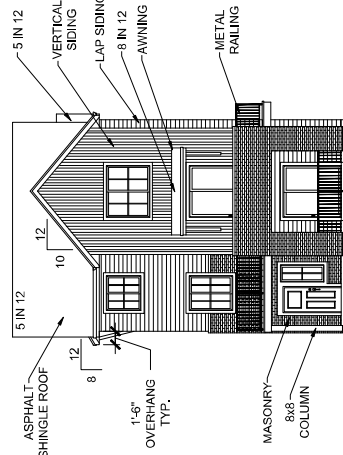


UPLANDS

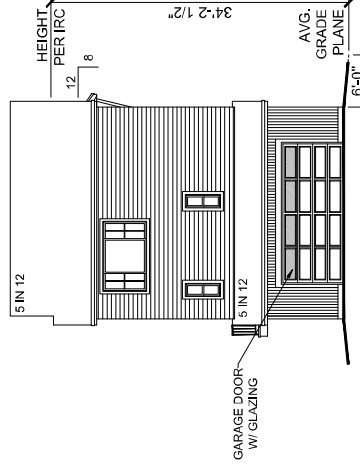
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08.08.2024
10.10.2024

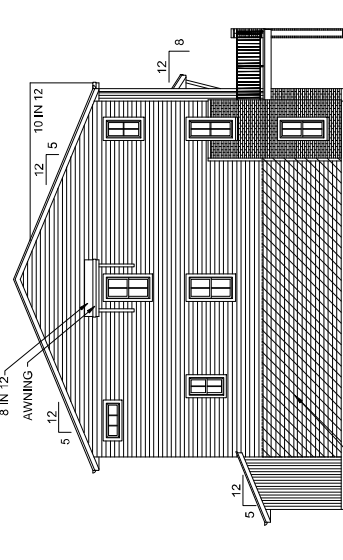
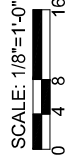
150 OF 156
SPD 3-STORY PLAN 4
ELEVATION 'D'



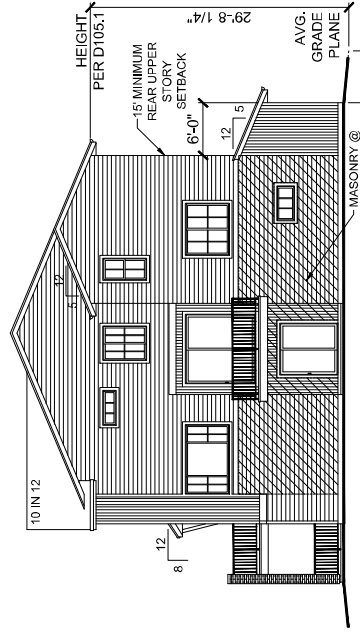
PLAN 4 ELEVATION 'D' - FRONT
40% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'D' - REAR
SCALE: 1/8" = 1'-0"




PLAN 4 ELEVATION 'D' - LEFT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'D' - RIGHT
30% MASONRY @ ENHANCED ELEVATION SCALE: 1/8" = 1'-0"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 151 OF 156

REFER TO COLOR
BOOK FOR MATERIAL
INFORMATION



Godden|Studik
A DIVISION OF CH2M HILL
WESTMINSTER, COLORADO
303.455.4437
www.goddenstudik.com
3975 S. Wadsworth Street
Suite 250
Westminster, CO 80011

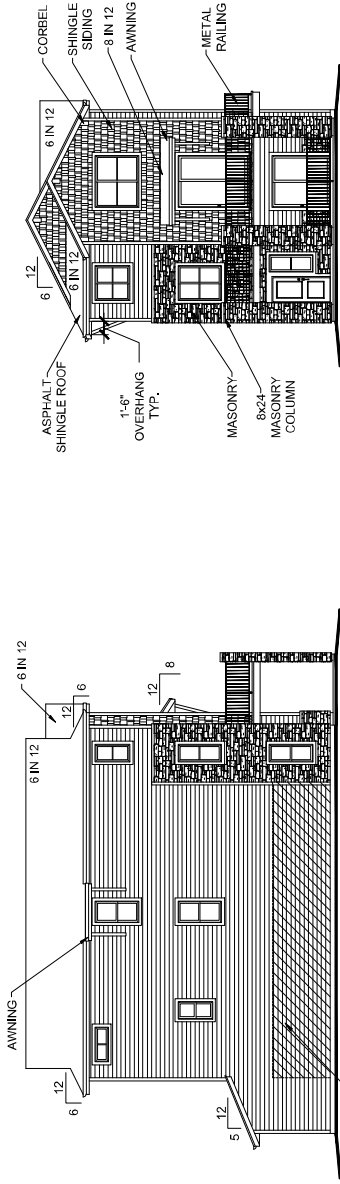
DATE: 10.10.2024

UPLANDS

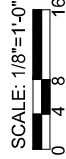
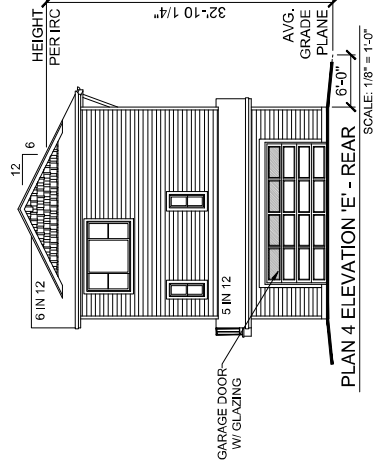
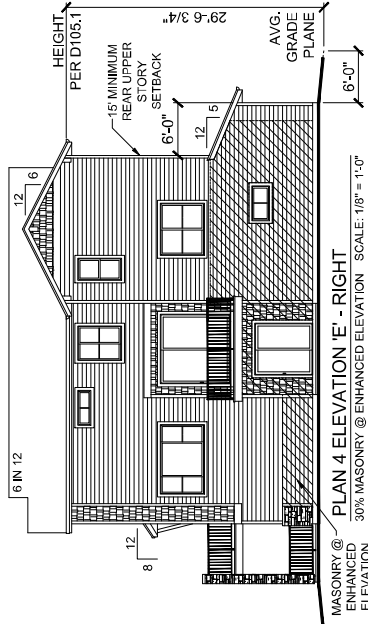
UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 06.16.2024
REVISIONS
08/08/2024
10.10.2024

151 OF 156
SP3 STORY PLAN 4
ELEVATION 'E'



PLAN 4 ELEVATION 'E' - FRONT
34% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 153 OF 156



UPLANDS

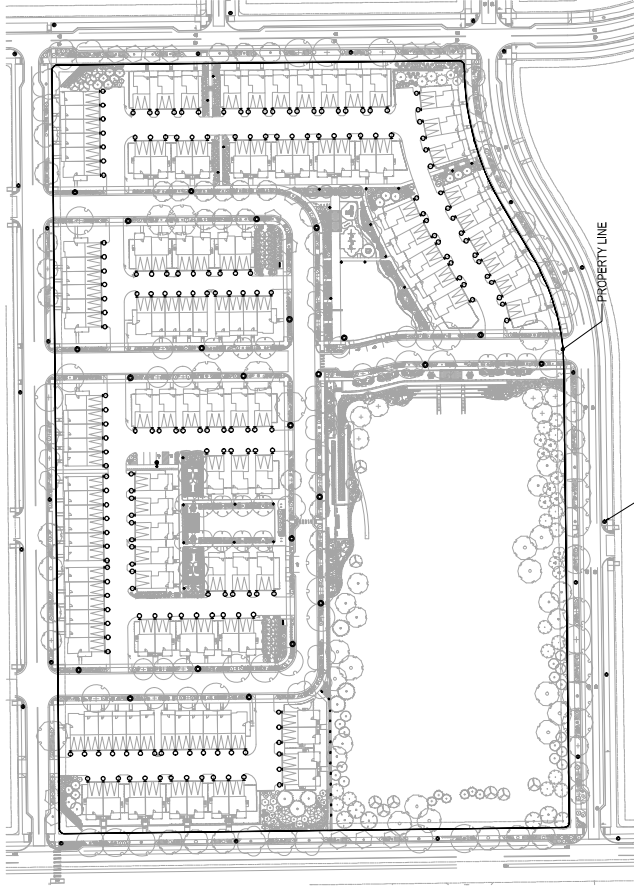
DATE:

10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

153 OF 156
PHOTOMETRIC



Symbol	Label
SB	SB
SL1	SL1
SP1	SP1
SS	SS
ST	ST
SW	SW
PROPOSED STREET LIGHT PER ENG22-0014	PROPOSED STREET LIGHT PER ENG22-0014



- 1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 100'-0"
- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED, PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 154 OF 156

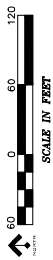
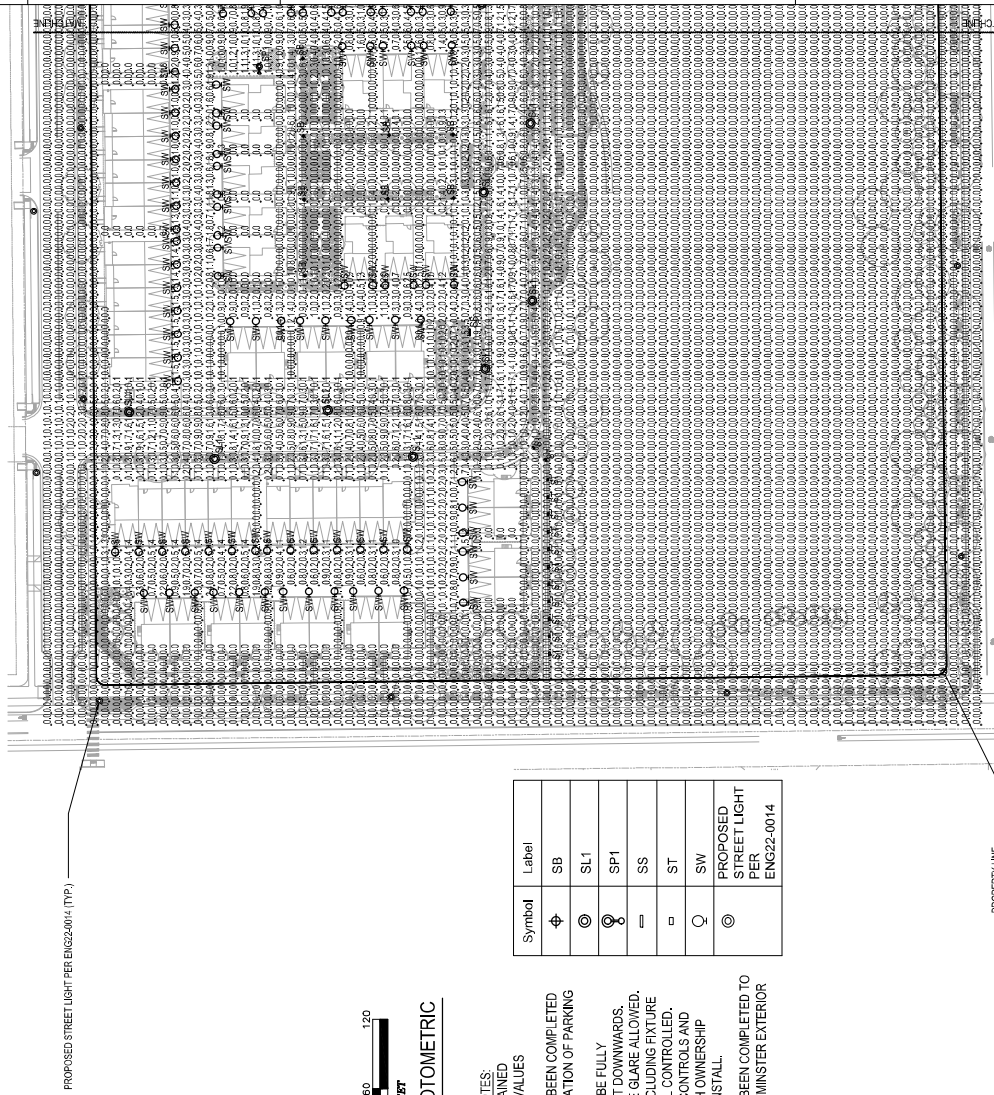


UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

154 OF 156
PHOTOMETRIC



1 SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 60'-0"

PHOTOMETRY PLAN GENERAL NOTES:

- VALUES SHOWN ARE MAINTAINED
HORIZONTAL ILLUMINANCE VALUES
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED
TO PRODUCE EVEN ILLUMINATION OF PARKING
AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY
SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
ALL EXTERIOR LIGHTING, INCLUDING FIXTURE
TYPE SW, TO BE PHOTOCELL CONTROLLED.
 - PROVIDE IECC COMPLIANT CONTROLS AND
VERIFY ALL CONTROLS WITH OWNERSHIP
PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO
CONFORM TO CITY OF WESTMINSTER EXTERIOR
LIGHTING STANDARDS

Symbol	Label
SB	SB
SL1	SL1
SP1	SP1
SS	SS
ST	ST
SW	SW
PROPOSED STREET LIGHT PER ENG22-0014	

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 155 OF 156



UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

155 OF 156
PHOTOMETRIC



1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 80'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS. THERE WILL BE NO OFF-SITE GLARE ALLOWED.
4. ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
5. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

Symbol	Label
SB	SB
SL1	SL1
SP1	SP1
SS	SS
ST	ST
SW	SW
PROPOSED STREET LIGHT PER ENG22-0014	PROPOSED STREET LIGHT PER ENG22-0014

PROPERTY LINE

PROPOSED STREET LIGHT PER ENG22-0014 (TYP.)

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 156 OF 156



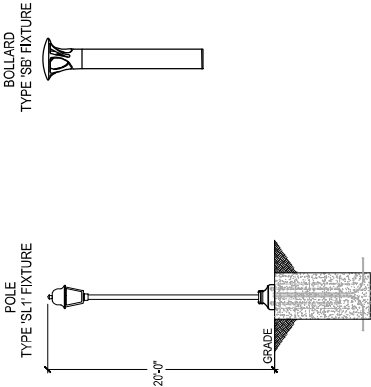
UPLANDS
DATE: 10.10.2024

UPLANDS FILING NO. 1
BLOCK 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

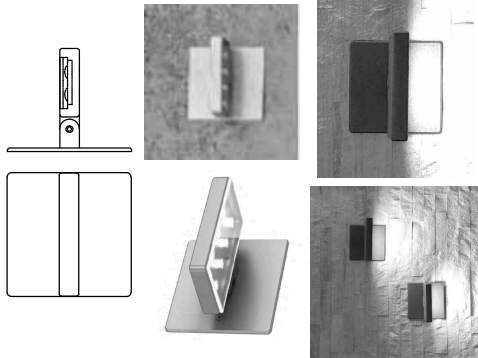
OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.16.2024
REVISIONS
08.08.2024
10.10.2024

156 OF 156
LIGHTING

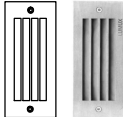
LUMINAIRE SCHEDULE									
Symbol Label	General Description	Mounting Height	Color	Catalog Number	Lamp	L.F.	Watts	SHIELDING	
SB	BOLLARD	3'-0" AFG	BLACK	INVUE ABB-B1-LED-36-D1- A-BK	LED	1.00	11W	FULL CUTOFF	
SL1	WALKWAYS	20'-0" AFG	BLACK	GE EPST-02-06-B-40- X-A-BLCK	LED	0.70	54W	FULL CUTOFF	
SP1	STREET LIGHT	20'-0" AFG	BLACK	INVUE EWM-EQ2-LED-E1-T3- SR-SN-BK-7030-VAG108	LED	1.00	52W	FULL CUTOFF	
SS	LOCAL STREETS	10'-0" AFG	WHITE	SOLAR PATH SP-XL-A-1-X-12W-3- 30K-X-WH-X	LED	1.00	12W	FULL CUTOFF	
ST	PARKING	2'-0" AFG	BLACK	LUMIX LUS-S-SW-WHITE-300K- 120-BLACK	LED	1.00	2.7W	FULL CUTOFF	
SW	SOLAR STRIP LIGHT	8'-0" AFG	BLACK	LUMIERE 303-W1-LED-B1-3000- UNV-T4-DIM10-BK	LED	1.00	8.5W	FULL CUTOFF	



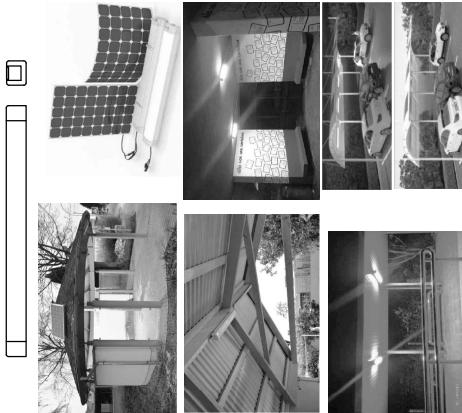
WALL SCONCE
TYPE SW FIXTURE
PROFILE VIEW



STEP LIGHT
TYPE ST FIXTURE



SOLAR STRIP LIGHT
TYPE SS FIXTURE
PROFILE VIEW



TYPE SP1 & SP2 FIXTURES

