

LEGAL DESCRIPTION
FINAL PLAT FOR BLOCK 5 OF UPLANDS FILING NO. 1, REC NO. _____
DATED _____
CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE

I, LAND SURVEYOR
REGISTERED IN THE STATE OF COLORADO,
HEREBY CERTIFY THAT THE ABOVE LEGAL
DESCRIPTION HAS BEEN PREPARED OR
REVIEWED BY ME TO BE AN ACCURATE
DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____
REGISTERED
LAND SURVEYOR & NO. _____

PROJECT TEAM
PROPERTY OWNER, APPLICANT: UPLANDS LLC
CHAD ELLINGTON
1480 HUMBOLDT STREET
DENVER, CO 80218
CHAD@PEAKDESIGN.COM
HOME/BUILDER
BROOKFIELD PROPERTIES
DEVELOPMENT
BRAD WILKIN
6465 GREENWOOD PLAZA BLVD
SITE 700
CENTENNIAL, CO 80111
BRAD.WILKIN@BROOKFIELDPROPERTIES
DEVELOPMENT.COM
CIVIL ENGINEER
HR GREEN
RYAN LITTLETON
8310 S. VALLEY HIGHWAY, STE. 300
DENVER, CO 80124
BHAIGH@NORRIS-DESIGN.COM
ARCHITECT
GODDEN STUDIO
PAUL BRADY
5975 S. QUINCY ST.
CENTENNIAL, CO 80111
PBRADY@GODDENSTUDIO.COM

PLANNER/LANDSCAPE ARCHITECT
NORRIS DESIGN
BRAD HUGH
1101 BANNOCK ST.
DENVER, CO 80204
BHAIGH@NORRIS-DESIGN.COM
ARCHITECT
GODDEN STUDIO
PAUL BRADY
5975 S. QUINCY ST.
CENTENNIAL, CO 80111
PBRADY@GODDENSTUDIO.COM

DEVELOPMENT TIMING & PHASING

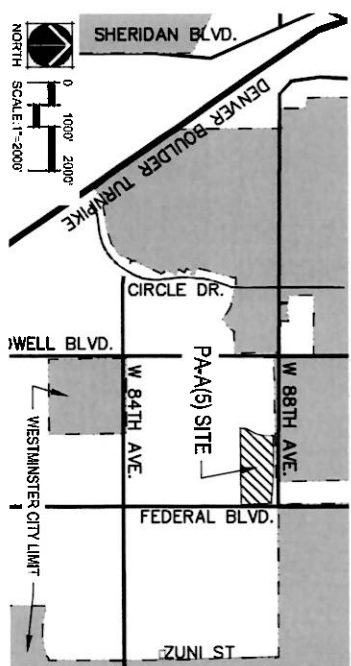
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR
LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO
BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL
BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN
ACCORDANCE WITH CITY CODE.
THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS
PROJECT IS AS FOLLOWS:
• THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH
COMPLETION OF HOMES ANTICIPATED WITHIN 5 YEARS OF
RECEIVING THE FIRST BUILDING PERMIT, SUBJECT TO MARKET
CONDITIONS.

PERMITTED / PROHIBITED USES

- PERMITTED USES:
- SINGLE-FAMILY ATTACHED TOWN-HOME RESIDENCES
 - SINGLE-FAMILY DETACHED RESIDENCES
 - PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES, PARKS,
AND OPEN SPACE
 - TEMPORARY SALES OFFICE AND PARKING LOT
 - TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE
- PROHIBITED USES:
- ACCESSORY STRUCTURES, NO ACCESSORY STRUCTURES WILL BE
ALLOWED ON PRIVATE LOTS
 - ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE
REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR
OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE
NOT PROPOSED WITH THIS ODP.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 138



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

	ZONING	LAND USE	COMP. PLAN
P.A.(S)	PUD	VACANT	MIXED USE NEIGHBORHOOD
NORTH:	PUD, C-1, ADAMS COUNTY (3 ZONINGS TO THE NORTH)	RESIDENTIAL	RESIDENTIAL LOW-DENSITY
SOUTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
EAST:	PUD	VACANT	COMMERCIAL MIXED USE
WEST:	PUD	VACANT	MIXED USE NEIGHBORHOOD

SHEET INDEX

1	COVER	60-67	LANDSCAPE PLAN
2-3	SITE DATA	68-69	LANDSCAPE ENLARGEMENT
4	NOTES	70	FENCING PLAN
5-7	EXCEPTIONS	71-80	LANDSCAPE DETAILS
8-9	LOT TYPICALS	81	SFA TOWNHOMES - CHARACTERISTICS TABLE
10	EXISTING CONDITIONS	82	SFA TOWNHOMES - STREETSCAPE PLAN 1, 2, 3
11	OVERALL SITE PLAN	83-85	LOT TYPICAL
12-19	SITE PLAN	86-88	4-PLY ELEVATIONS
20	OVERALL GRADING PLAN	89-91	5-PLY ELEVATIONS
21-28	TYPICAL SECTIONS KEYMAP	92-94	6-PLY ELEVATIONS
29	TYPICAL SECTIONS	95	SFD 2-STORY - CHARACTERISTICS TABLE
30-33	OVERALL UTILITY PLAN	96	SFD 3-STORY - CHARACTERISTICS TABLE
34	OVERALL FIRE CROSS SECTION	97	SFD STREETSCAPE & MAIL KIOSK
35-42	OVERALL FIRE CROSS SECTION	98	MAIL KIOSK STRUCTURE
43	FIRE CROSS SECTION	99-114	SFD 2-STORY PLAN 1, 2, 3, 4 LOT TYPICALS & ELEVATIONS A, B, C
44-47	FIRE TRUCK TURNING MOVEMENT	115-134	SFD 3-STORY PLAN 1, 2, 3, 4 LOT TYPICALS & ELEVATIONS A, B, C
48-50	LANDSCAPE NOTES	135-137	PHOTOMETRIC
51	LANDSCAPE SCHEDULES	138	HYDROZONE PLAN
52-56	OVERALL LANDSCAPE PLAN		
57	PEDESTRIAN CIRCULATION PLAN		
58			
59			

LEGAL DESCRIPTION
I, AS
OF A
PROPERTY OWNER, DO SO APPROVE
THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER
THIS DAY OF 20

VP OF UPLANDS LLC,
A DELAWARE LIMITED LIABILITY COMPANY
BY: VP FINDERS 2 HOLDINGS LLC,
A DELAWARE LIMITED LIABILITY COMPANY,
ITS SOLE MEMBER
BY: VAROE PARTNERS, INC.,
A DELAWARE CORPORATION, ITS MANAGER

NAME _____
BY: _____
ITS: _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF
WESTMINSTER
THIS DAY OF 20

CHAIRMAN

ATTEST CITY CLERK

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS DAY OF 20

MAYOR

ATTEST CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND
RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS
DAY OF 20 AT 00 O'CLOCK M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK



DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

1 OF 138
COVER

CASE #: P-2321-0098

UPLANDS - FILING NO. 1 - BLOCK 5

OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 138



UPLANDS

DATE: 06.14.2024

LOTS & COVERAGE

SURFACE TYPE WITHIN UPLANDS PA-A(5)	AREA (SF)	% OF SITE
BUILDING COVERAGE	155,315	22%
PAVING AND DRIVES (99,208 SF INTERVAL ROW)	313,097	44%
LANDSCAPE OPEN AREA	236,620	34%
NET TOTAL AREA*	704,972	100%
GROSS TOTAL AREA*	792,792	100%

*GROSS AREA REFERS TO PPMODP PLANNING AREA ACRES, NET AREA REFERS TO PLATTED BLOCK ACREAGE

PROJECT / SITE DATA

GROSS ODP BOUNDARY AREA:	792,792 SF / 16.20 AC
NET ODP BOUNDARY AREA:	704,972 SF / 16.18 AC
RESIDENTIAL UNITS PROPOSED:	168 UNITS
GROSS DU PER ACRE:	9.12 DU/AC
NET DU PER ACRE:	10.26 DU/AC
MAXIMUM BUILDING HEIGHTS (FT):	45 (IRC)
MINIMUM LOT SIZE:	1,000 SF / 0.02 AC

OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE

	TOTAL UNITS IN ODP	DETACHED UNITS IN ODP	ATTACHED UNITS IN ODP	MULTIFAMILY UNITS IN ODP	TOTAL UNITS IN PDP	TOTAL DETACHED UNITS IN PDP # %	TOTAL ATTACHED UNITS IN PDP # %	TOTAL MULTIFAMILY UNITS IN PDP # %
PA-A(1)	78	39	39	0	2360	381.95% (13% OF PA-A)	381.66% (100% OF PA-A)	0.00% (0% OF PA-A)
PA-A(2)	135	25	110	0	2360	287.08% (8% OF PA-A)	1104.88% (28% OF PA-A)	0.00% (0% OF PA-A)
PA-A(4)	125	28	97	0	2360	287.13% (8% OF PA-A)	874.13% (25% OF PA-A)	0.00% (0% OF PA-A)
PA-A(9)	166	93	73	0	2360	933.96% (31% OF PA-A)	733.11% (19% OF PA-A)	0.00% (0% OF PA-A)
PA-A(7)	180	112	68	0	2360	1124.77% (37% OF PA-A)	682.89% (18% OF PA-A)	0.00% (0% OF PA-A)
PA-A TOTAL:	684	297	387	0	2360	2971.24%	3871.64%	0.00%
PA-B(1)	82	38	44	0	2360	381.62%	441.87%	0.00%
PA-C(1)	70	0	0	70	2360	0.00%	0.00%	70.2.98%
PA-C(2)	247	0	0	247	2360	0.00%	0.00%	24710.51%
TOTAL:	1063	335	431	317	2360	33514.26%	43118.34%	31713.49%

PERIMETER SITE SETBACKS

PA-A(5)	REQUIRED	PROVIDED
FROM RIGHT-OF-WAY (FT):		
88TH AVE.	18	18
87TH AVE.	12	12
IRVING STREET	12	20
FEDERAL BLVD	50 W/ MEWS, 65 W/O MEWS	50 W/ MEWS, 65 W/O MEWS

ACCESSIBLE HOUSING

PER 2003 COLORADO STATE HOUSE BILL 03-1221, ARTICLE 5, STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 6-5-101 TO 6-5-106) A PROJECT SHALL BE ASSIGNED ACCESSIBILITY POINTS BASED ON THE NUMBER OF UNITS CONTAINED WITHIN THE PROJECT AS FOLLOWS:

TOTAL NUMBER OF UNITS	
PA-A(1) (39 UNITS)	112 TOTAL UNITS
PA-A(5) (73 UNITS)	
48 ACCESSIBILITY POINTS REQUIRED	
ACCESSIBLE UNITS/POINTS PROVIDED	
TYPE B VISIBLE GROUND FLOOR UNITS	
VALUE = 1 ACCESSIBILITY POINT/UNIT	
# OF TYPE B VISIBLE UNITS	
PA-A(1) (39 UNITS)	11
PA-A(5) (73 UNITS)	37
TOTAL	48

* PA-A(1) AND PA-A(5) SHARE ACCESSIBILITY POINTS ACROSS PLANNING AREAS TO MEET NECESSARY REQUIREMENTS. NO MORE THAN THIRTY PERCENT OF THE PROJECT IS TO BE COMPLETED WITHOUT PROVIDING A PORTION OF THE ACCESSIBLE UNITS REQUIRED. PLEASE SEE GRADING PLAN FOR SPECIFIC ACCESSIBLE UNIT LOCATIONS PER PLANNING AREA.

COMPLIANCE WITH MODP STANDARDS:

BUILDING FORM DIVERSITY REQUIREMENTS	REQUIRED	PROVIDED
MIN. TWO BUILDING FORMS	N/A	TWO BUILDING FORMS
PERIMETER SENSITIVITY ZONE	N/A	N/A
HOME TYPE DIVERSITY (SFA MIN - SFD MAX)	25% / 75%	44% / 56%
SUBAREA A DIVERSITY (MIN-MAX%)	SFA: 15% MIN - 35% MAX SFD: 65% MIN - 85% MAX	SFA: 44% SFD: 56%
SUBAREA B DIVERSITY (MIN-MAX%)	SFA: 30% MIN - 50% MAX SFD: 50% MIN - 70% MAX	SFA: 44% SFD: 56%

PARKING REQUIREMENTS

TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)	PROVIDED (ON-STREET)
SFA	73	146	146	0
ST	93	166	0	147*
ENCLOSED (2 UNIT)	166	166	166	0
TOTAL	168	543	312	147

*147 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH ROW AND SURFACE SPACES. SEE SHARED PARKING TABLE BELOW.
**ACCESSIBLE STALLS ARE PROVIDED IN ACCORDANCE WITH FEDERAL REGULATIONS.

SHARED PARKING BREAK DOWN

TYPE	REQUIRED	PROVIDED
87TH PLACE		41 (2)
HASTINGS WAY		14
GROVE STREET		14 (1)
GREEN COURT		10 (1)
IRVING STREET		19
87TH AVENUE		43
STANDARD	25	5
ACCESSIBLE	1	0
VAN ACCESSIBLE		1 (1)
TOTAL	25 SFA + 166 SFD = 211	147 (5)

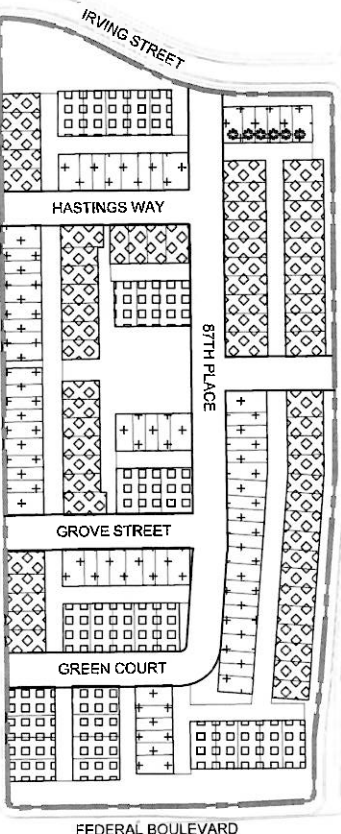
NOTE: NUMBERS IN PARENTHESES DENOTE ACCESSIBLE SPACES.

NOTES

- SETBACKS ARE MEASURED FROM PERIMETER PROPERTY LINE, ROW, OR PLD (WHICHEVER IS APPLICABLE) TO PRIMARY BUILDING.
- ENCROACHMENTS INCLUDING FENCES, WALLS, PEDESTAL-ORIENTED PORTIONS OF ROW (SUCH AS TREE LAWN AND WALK), AND ALLEYS ARE PERMITTED WITHIN ALL SETBACKS AS NOTED IN THE CHART TO THE LEFT.
- PORCHES MAY ENCRUCH INTO PERIMETER SETBACKS, BUT MUST COMPLY WITH LOT SETBACKS DEFINED ON SHEET 7.

BUILDING FORM DIVERSITY PLAN

W. 88TH AVENUE / 3-LANE COLLECTOR



LEGEND

	SINGLE-FAMILY DETACHED
	2 STORY (64)
	3 STORY (29)
	SFA TOWNHOME 3 STORY (73)
	DENOTES WHERE ROOF TOP DECKS ARE NOT ALLOWED FOR TOWNHOMES
	PLANNING AREA BOUNDARY

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 138

PROJECT NOTES

PARK DEVELOPMENT FEES

A PARK DEVELOPMENT FEE WILL BE PROVIDED TO THE CITY OF WESTMINSTER IN ACCORDANCE WITH THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C.

THE CITY CODE 11-6-8-C) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. SEE REQUIRED DOLLAR AMOUNT PER UNIT TYPE BELOW DUE TO THE CITY. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEES ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C, THE PARK DEVELOPMENT FEE IS CALCULATED BASED UPON THE NUMBER OF DWELLING UNITS TO BE CONSTRUCTED AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS) - \$2,376.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS) - \$1,934.00 PER UNIT
- FOR 73 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 93 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$362,236.00.

SCHOOL LAND DEDICATION

THE CITY CODE (11-6-8-F) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE A FEE IN-LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-C, THE SCHOOL LAND DEDICATION FEES ARE AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS) - \$976.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS) - \$486.00 PER UNIT
- FOR 73 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 93 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$115,632.00.

PUBLIC ART
NOT APPLICABLE.

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPER. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS

MAXIMUM DENSITY OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS COP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPOSITE PROJECT DATA WHEN SUBMITTED WITH EACH COP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (31-3-400). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.92 ACRE COMMUNITY.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-A, A MINIMUM OF 12.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION. OF THIS, A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL PDP. WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF EACH ODP.

PER THE CITY COUNCIL CONDITIONS OF APPROVAL, UPLANDS HAS DEDICATED 40.65 ACRES OF PHYSICAL LAND AND PROVIDED CASH-IN-LIEU FOR 21.99 ACRES. FOR A TOTAL OF 62.64 ACRES OF LAND. THIS DEDICATION IS BASED OFF A PROJECTED POPULATION OF 6220 PERSONS FOR THE ENTIRE UPLANDS PDP. IF FUTURE ODPS INCREASE THE PROJECTED POPULATION ABOVE 6220 PERSONS, ADDITIONAL CASH-IN-LIEU SHALL BE REQUIRED.

THE BELOW CHART NOTES THE PROJECTED POPULATION FOR UPLANDS BY PLANNING AREA FOR THE PURPOSE OF DETERMINING THE CASH-IN-LIEU PAYMENT DUE AT TIME OF FINAL PLAT. IN COMPLIANCE WITH PDP CONDITION OF APPROVAL 7, THE ODP PLD TRACKING TABLE WILL BE UPDATED WITH EACH ODP.

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

PARCELS	PHYSICAL PLD ACRES REQUIRED	PLD ACRES DEDICATED PDP PLW22-0052	PLD ACRES REMAINING	VIEW CORRIDOR ACRES REQUIRED	VIEW CORRIDOR ACRES DEDICATED PDP PLW22-0052	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	21.00 AC	0 AC	-	-	-
PARCEL B	6.00 AC	6.00 AC	0 AC	3.28 AC	3.28 AC	0 AC
PARCEL C	3.00 AC	3.00 AC	0 AC	-	-	-
PARCEL D	4.24 AC	4.24 AC	0 AC	3.07 AC	3.07 AC	0 AC
PARCEL E	-	0	-	-	-	-
TOTAL	34.30 AC	34.30 AC	0 AC	6.35 AC	6.35 AC	0 AC

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

PLANNING AREA	LAND USE	GROSS AREA (AC)	% OF SITE	GROSS DENSITY RANGE (DU/AC)	MAX. # UNITS	UNITS BY TYPE					PROJECTED POPULATION					% OF POPULATION	TOTAL PLD ACRES REQUIRED	PLD CASH-IN-LIEU ACRES
						SFD	OR	SFA	CR	MF	SFD 3.0 / UNIT	SFA 2.5 / UNIT	MF 2.0 / UNIT					
PA-A(1)	RESIDENTIAL	22.24	9.51%	4.0-5.3	78	39		39		0	117	97.5		-	2.13%	2.57	0.30	
PA-A(2)	RESIDENTIAL	13.98	5.98%	6.0-10.3	135	25		110		0	75	275		-	1.64%	4.20	0.23	
PA-A(3)	RESIDENTIAL	20.21	8.65%	5.5-7.0	141	40		89		0	120	222.5		-	2.02%	4.11	0.37	
PA-A(4)	RESIDENTIAL	13.67	5.84%	7.0-9.5	125	28		97		0	84	242.5		-	1.83%	3.92	0.26	
PA-A(9)	RESIDENTIAL	18.20	7.78%	8.0-9.5	168	93		73		0	279	182.5		-	6.09%	5.54	0.87	
PA-A(6)	RESIDENTIAL	23.83	10.18%	5.2-5.8	140	25		35		80	75	87.5		160	1.64%	3.87	0.23	
PA-A(7)	RESIDENTIAL	18.62	7.96%	8.0-10.3	180	112		68		0	336	470		-	7.34%	6.07	1.05	
PA-A(8)	MIXED-USE / COMMERCIAL	19.54	8.35%	20.0-25.2	491	0		49		369	0	122.5		738	13.83%	10.33	1.98	
PA-B(1)	RESIDENTIAL	16.28	6.99%	4.15-5.0	82	38		44		0	114	110		-	2.40%	2.89	0.34	
PA-B(2)	RESIDENTIAL	13.32	5.89%	1.0-2.0	26	26		0		0	78	-		-	1.70%	0.94	0.24	
PA-C(1)	MIXED-USE / COMMERCIAL	16.32	6.99%	15.0-22.7	70	0		0		70	0	-		140	3.06%	1.68	0.44	
PA-C(2)	RESIDENTIAL	13.77	5.89%	8.0-18.0	247	0		247		0	-	-		494	10.73%	5.93	1.54	
PA-C(3)	RESIDENTIAL	19.60	8.38%	4.0-4.8	94	47		47		0	141	117.5		-	3.06%	3.10	0.44	
PA-C(2)	OFFICE	3.10	1.33%	-	-	0		0		0	0	-		-	-	0.00	0.00	
PA-E	PRIVATE OPEN SPACE	1.23	0.53%	-	-	0		0		0	0	-		-	-	0.00	0.00	
		233.92	100.0%		1975	473		651		766	1419	1627.5		1532	100.00%	54.94	14.29	

NOTE: BOLDED PLANNING AREAS HAVE BEEN APPROVED OR ARE UNDER REVIEW. BOLDED PLANNING AREAS SHOWN WITHIN THIS TABLE PROVIDE SPECIFIC UNIT COUNTS AS PROPOSED. NON BOLDED UNIT COUNTS DISPLAY THE MAXIMUMS SET FORTH IN THE UPLANDS PDP.

OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 138

UPLANDS - FILING NO. 1 - BLOCK 5

OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

THE GENERAL INTENT OF THIS ODP IS TO:

1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-5-5, OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-15 STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPS.

PROJECT SCOPE:

THE ODP AREA CONTAINS THE 16.20 GROSS ACRES IN UPLANDS FILING 1, BLOCK 5. THE SITE IS BOUNDED BY EXISTING SINGLE-FAMILY DETACHED HOMES TO THE NORTH AND VACANT LAND WITHIN P&A TO THE WEST, TO THE EAST IS P&A AND SOUTH.

THE ODP PROPOSES A TOTAL OF 73 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 93 SINGLE-FAMILY DETACHED HOMES, FOR A TOTAL OF 166 HOMES. THIS RESULTS IN A GROSS DENSITY OF 8.12 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN/LAND USE DESIGNATION OF TOWNHOMES.

THE SITE PLANNING EMPHASIZES FRONTING HOMES TO THE EXTERIOR OF THE SITE TO CREATE A WELCOMING, PEDESTRIAN-FRIENDLY ENVIRONMENT WHEREVER POSSIBLE. WHERE HOMES ARE NOT FRONTING ONTO PUBLIC STREETS, THE HOMES ARE ORGANIZED AROUND COMMON OPEN SPACE. THE COMMUNITY IS CONSISTENT WITH PROPOSED DEVELOPMENT TO THE WEST, MATCHING ITS MIX OF 3-STORY AND 2-STORY HOMES ALONG IRVING STREET. THE PROPOSED NEIGHBORHOOD INCORPORATES EXISTING ARCHITECTURAL STANDARDS AND MASSING, PROPOSING 3-STORY SINGLE-FAMILY DETACHED HOMES FRONTING W. 88TH AVENUE, 2-STORY HOMES ARE LOCATED ALONG FEDERAL BOULEVARD TO INTEGRATE THE NEIGHBORHOOD WITH THE EXISTING URBAN FABRIC. PARTICULARLY THE COMMERCIAL AND FEDERAL BOULEVARD, THIS PLACEMENT TRANSITIONS DENSITY WITH AVENUE AND FEDERAL BOULEVARD. THIS PLACEMENT TRANSITIONS DENSITY WITH 3-STORY HOMES GENERALLY IN THE SOUTHEAST PORTION OF THE NEIGHBORHOOD TO 2-STORY HOMES LOCATED ALONG FEDERAL BOULEVARD. ALL TOWNHOMES, EXCEPT THOSE FRONTING IRVING, OFFER A ROOF DECK OPTION TO PROVIDE OUTDOOR SPACE IN AN URBAN FORM THAT IS CONSISTENT WITH THE ARCHITECTURE OF THE 3-STORY TOWNHOME. ROOF DECKS ARE NOT PERMITTED ON IRVING IN ORDER TO REDUCE IMPACT TO THE EXISTING NEIGHBORS. A 30' WIDE SETBACK FOR HOMES ON IRVING AND 65' FOR HOMES WITHOUT IS PROVIDED ALONG THE EAST BOUNDARY OF THE SITE.

THE PROPOSED HOMES ARE A VARIETY OF 2- AND 3-STORY STRUCTURES.

- SINGLE-FAMILY DETACHED: 2-STORY
- SINGLE-FAMILY DETACHED: 3-STORY
- SINGLE-FAMILY ATTACHED TOWNHOMES: 3-5 STORY

UPLANDS P&A/IS CONSISTS OF A MIX OF 2-STORY AND 3-STORY SINGLE-FAMILY DETACHED HOMES, AND 3-STORY ATTACHED TOWNHOMES. BOTH PROPOSED HOME TYPES ARE ALL-ELEVATED, ACTIVATING STREETS AT A HUMAN SCALE. THE SINGLE-FAMILY DETACHED HOMES UTILIZE PORCHES AND PATIOS TO PROVIDE VARIETY TO ELEVATION MASSING, WHILE ROOF-TO-ROOF DECKS MAXIMIZE VIEWS. THE 3-STORY TOWNHOMES OFFER A ROOF-TO-ROOF DECK OPTION AS AN ENHANCEMENT TO USABLE OUTDOOR SPACE. ALL THE PROPOSED HOMES OFFER AN ATTACHED 2-CAR GARAGE. PARKING IS PROVIDED ON-STREET ON THE ADJACENT LOCAL STREETS INCLUDING 87TH AVENUE AND 88TH PLACE, IRVING STREET, INTERNAL LOCAL STREETS, AND DISPERSED IN OFF-STREET PARKING SPACES. ADDITIONAL PARKING ARE PROVIDED ALONG 88TH AVENUE, BUT ARE NOT INCLUDED IN THE TOTAL PARKING COUNT.

THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TOWNHOMES DESIGN GUIDELINES THROUGHOUT. IN ORDER TO FULLY ACHIEVE THESE CHARACTERISTICS, THERE ARE AREAS WHERE THE SITE PLAN VARIES FROM THE DIMENSIONAL REQUIREMENTS WITHIN RELEVANT CITY CODE. PLEASE REFER TO ODP EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS ODP TO SEE SPECIFIC INSTANCES WHERE THESE PRINCIPLES DIFFER FROM CITY REQUIREMENTS. IN GENERAL, THESE EXCEPTIONS ENFORCE THAT THE COMMUNITY CONTRIBUTES TO THE VIBRANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS NEIGHBORHOOD INCLUDES HOMES THAT TARGET A RANGE OF HOMEBUYERS, FROM ENTRY-LEVEL, ATTACHED HOMES TO DETACHED HOMES. THIS IS A GOAL NOT ONLY OF TOWNHOMES, BUT OF RECENT CITY PLANS AND VISIONS AS WELL. THE PUBLICLY ACCESSIBLE PRIVATE PARK IS THOUGHTFULLY PROVIDED WITHIN THIS PLANNING AREA. THIS SPACE HAS BEEN CAREFULLY PLACED TO OFFER THE

STANDARD STATEMENTS

GREATEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THIS PARK, ALONG WITH THE OTHERS THROUGHOUT PARCEL A, ESTABLISH A RECOGNIZABLE IDENTITY TO THE COMMUNITY WITH VARIOUS FOCUSES AND THEMES BEING DEVELOPED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER AMENITIES EXHIBIT SUBMITTED WITH THIS ODP FOR MORE DETAIL ON PARK PROGRAMMING ACROSS UPLANDS.

A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.

B. THE FINAL PLAN FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.

C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.

D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAINING PHASE.

E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.

F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).

G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.

H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAN.

I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.

J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.

K. CITY WILL INSTALL ALL STREET NAME SIGNS. DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.

L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS, EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S

STANDARD STATEMENTS, CONT.

EXPENSE.

M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOGRAPHIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.

N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.

O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY, AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.

P. ALL SIGNAGE PROPOSED/INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.

Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT.

R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT. PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY, TEMPORARY FENCING IS TO BE PAINTED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.

S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADS/WAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE, ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF ALL-WEATHER SURFACE MATERIAL, THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS, MINIMUM 75,000 LBS.

T. DEVELOPER AND BUILDER SHALL PATROL, ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.

U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.

W. THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLIES WITH CRS 9-5 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 655 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN AMOUNT OR 11% OF THE ALLOWED UNITS.

X. PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED WITH ALL APPLICABLE ADA REGULATIONS.

UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01	11.03.2023
SUB 02	03.07.2024
SUB 03	05.03.2024
SUB 04	06.14.2024

4 OF 138
NOTES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 138

EXCEPTIONS AND JUSTIFICATIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS IN UPLANDS FILING NO. 1 - BLOCK 5. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE, UPLANDS MDP AND LANDSCAPE REGULATIONS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE PLD ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO UPDATE THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER. THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. THIS PROPOSED ODP AND RELATED EXCEPTIONS HELP FURTHER THE TRADITIONAL, NAMED USE NEIGHBORHOOD DEVELOPMENT PRINCIPLES, INCLUDING CREATING A COMPACT WALKABLE DEVELOPMENT THROUGH AN INTERCONNECTED STREET/BLOCK PATTERN WITH NARROWER STREETS, SUPPORTING DOCUMENTS INCLUDE:

• 2013 COMPREHENSIVE PLAN - THE PLAN INCLUDES A NUMBER OF GUIDING PRINCIPLES THAT SUPPORT COMMUNITIES WITH A BALANCED MIX OF HOUSING OPPORTUNITIES THAT MAINTAIN A DIVERSE HOUSING SUPPLY IN AN ACTIVE, WALKABLE ENVIRONMENT. THE UPLANDS POP CONSISTED OF AN ALTERNATIVE, MULTI-USE DESIGN PROCESS THAT RESULTED IN THE ACCEPTED POP ZONE DISTRICT THAT GOVERNS THIS PLANNING AREA. THE 2013 COMPREHENSIVE PLAN WAS A FOUNDATIONAL GUIDING DOCUMENT FOR MUCH OF THE POP PROCESS AND SOME OF THOSE GUIDING PRINCIPLES, WHILE NOT IN CONFLICT WITH THE 2040 COMPREHENSIVE PLAN, REMAIN AS GUIDING PRINCIPLES FOR THE POP AND ITS PLANNING AREAS.

• 2040 COMPREHENSIVE PLAN - THIS PLAN INCLUDES A CORNERSTONE FOCUSED ON PROVIDING A BALANCED MIX OF HOUSING OPPORTUNITIES FOR A RANGE OF INCOMES, AGE GROUPS, AND LIFESTYLE CHOICES. IT GOES ON TO ENCOURAGE SUSTAINABLE DESIGN PRACTICES AND TO CONTINUE PROVIDING A VARIETY OF NEIGHBORHOOD TYPES WITH A DIVERSITY OF HOUSING CHOICES TO SERVE A RANGE OF HOUSEHOLD SIZES, COMPOSITIONS AND NEEDS.

• 2017 HOUSING NEEDS ASSESSMENT - THIS STUDY INCLUDES RECOMMENDATIONS TO ACCOMMODATE A VARIETY OF HOUSING CHOICES AND PRICE POINTS, BUILDING SMALLER HOMES ON SMALLER LOTS TO CREATE AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE THEREBY LOWERING THE OVERALL COST, AND ENABLING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.

• WESTMINSTER MUNICIPAL CODE - THE SITE IS ZONED PUD; PER CODE, THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE. TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL STANDARD ZONING REGULATIONS.

• PRELIMINARY DEVELOPMENT PLAN (PDP) - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES.

• MASTER OFFICIAL DEVELOPMENT PLAN (MOP) - THE VILLAGE RESIDENTIAL NEIGHBORHOOD WITHIN UPLANDS IS DESCRIBED IN THE MOP AS A MIX OF ALLEY-LOADED SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL HOMES ORGANIZED IN A TRADITIONAL GRID FORMAT.

OFF-STREET PARKING:

AN EXCEPTION TO WMC 11-7-4(B)(2)

STANDARD: SPD ENCLOSED PARKING (2 SPACES/UNIT) = 186 SPACES

SPD DRIVEWAY PARKING (2 SPACES/UNIT) = 186 SPACES

SFA GUEST PARKING (1 SPACE/3 UNITS) = 25 SPACES

SFA OFF-STREET PARKING (2 SPACES/UNIT) = 146 SPACES

EXCEPTION: UPLANDS AS PROVIDES 83 SINGLE-FAMILY DETACHED HOMES AND 73 SINGLE-FAMILY ATTACHED TOWNHOMES. NO DRIVEWAYS ARE PROVIDED WITH THE P4(A)(9) LAYOUT. ALL HOMES FEATURE A 2-CAR GARAGE, ACCOUNTING FOR 32 OFF-STREET PARKING SPACES. 147 PARKING SPACES ARE PROVIDED THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND INTERVAL ON-STREET PARALLEL SPACES. FOR A TOTAL OF 479 PARKING SPACES PROVIDED, THE WMC

REQUIRES 543 PARKING SPACES. AN ADDITIONAL 18 SPACES ARE PROVIDED ALONG W. 80TH AVENUE, WHICH ARE NOT INCLUDED IN THE TOTAL PROVIDED PARKING SPACES.

JUSTIFICATION: P4(A)(9) LAYOUT DOES NOT PROVIDE DRIVEWAYS, THUS THE REQUEST FOR AN EXCEPTION TO DRIVEWAY PARKING AS REQUIRED BY CODE, WITHOUT TRADITIONAL DRIVEWAY PARKING TO CONTRIBUTE TO PARKING TOTALS, THE TOTAL ON-LOT SPACES PROVIDED IS LOWER THAN CODE REQUIRES. WHILE DRIVEWAYS ARE NOT PROVIDED, THE PROPOSED LAYOUT ADDRESSES THIS POTENTIAL DEFICIENCY IN PARKING BY PROVIDING SUPPLEMENTAL PARKING THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL, LOCAL ROADS). AS ALL UNITS ARE ALLEY-LOADED AND DIRECTLY FRONTING THE STREET, PEDESTRIAN CONNECTIVITY IS IMPROVED THROUGH INCREASED CONNECTION TO PUBLIC STREETS AND SIDEWALKS. THEREFORE ENHANCING PEDESTRIAN MOBILITY THROUGHOUT THE PLANNING AREA, OVERALL PARKING NUMBERS PROVIDED ARE SUPPORTIVE OF THE NEIGHBORHOOD.

2013 COMP PLAN: THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-EDOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASE HOUSING DIVERSITY.

2040 COMP PLAN: THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-EDOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASE HOUSING DIVERSITY.

WMC: THE PROPOSED PARKING SOLUTION ENCOURAGES ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING (11-7-4(D)). PROVIDES FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN (11-7-4(B)) THROUGH THE USE OF ALLEY-LOADED HOMES ON SMALLER LOTS AND ON-STREET PARKING THAT ADDS NATURAL FRICTION TO THE STREET TO SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS. THE PROPOSED ALLEY-LOADED DESIGN IS CONSISTENT WITH A NEO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY RATHER THAN A STANDARD SUBURBAN NEIGHBORHOOD. WMC CODE (11-7-4(B)(2)(A)(II)) SPECIFICALLY NOTES PARKING MAY BE REDUCED FOR THIS TYPE OF NEIGHBORHOOD UPON A FINDING THAT LESS PARKING IS NEEDED BASED UPON THE DESIGN OF THE DEVELOPMENT.

MOP: THE EXCEPTION ALIGNS WITH THE MOP, WHICH NOTES ON-STREET PARALLEL PARKING SHOULD BE PROVIDED THROUGHOUT THE COMMUNITY TO HELP SLOW TRAFFIC. THE MOP FURTHER NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THESE TWO DESIGN CONCEPTS INFLUENCE THE DESIGN OF HOMES AWAY FROM TRADITIONAL DRIVEWAYS AND FRONT YARDS.

LANDSCAPE AREA:

AN EXCEPTION TO LANDSCAPE REGULATIONS VII B.1.A.

STANDARD: (SFA) PROVIDE A MINIMUM OF 40% OF THE OVERALL SITE AREA (EXCLUDING RIGHT-OF-WAY LANDSCAPE AREA) SHALL BE LANDSCAPED.

EXCEPTION: UPLANDS PROVIDES A MINIMUM LANDSCAPE AREA OF 22.0% FOR SINGLE-FAMILY ATTACHED TOWNHOMES WITHIN P4(A)(5).

JUSTIFICATION: THIS EXCEPTION ALLOWS FOR MORE COMPACT HOME TYPES THAT ENGAGE THE STREET AND PROMOTE COMMUNITY INTERACTION. IT REDUCES POTENTIAL IRRIGATED AREA WHILE PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THIS ALSO ASSISTS IN PROVIDING COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH HAVE INCREASED ALLEY PAVEMENT WIDTHS.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY AND PROVIDE A DENSITY TRANSITION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. WHILE THE OVERALL LANDSCAPE AREA IS REDUCED, THE REQUIRED PUBLICLY ACCESSIBLE PRIVATE PARK SPACE IS STILL PROVIDED (7.7% IS PROVIDED - 4% IS REQUIRED).

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL L16 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN. L16 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEATURES SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALLOWS FOR THE OPPORTUNITY TO PROVIDE THOUGHTFUL AND IMPACTFUL WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE, POCKET PARKS AND ON LOT LANDSCAPING. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN (11-7-4(B)). THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS, THE REDUCED LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11-7-4(B)) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION. THIS EXCEPTION ALSO ALLOWS FOR COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH INCLUDE INCREASED PAVED AREAS WITHIN THE ALLEY.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THE REDUCED LANDSCAPE AREAS ALSO ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFH HOMES ON LARGER LOTS THAT TAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE (11-7-4(B)) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.



**NORRIS
DESIGN**
1000 WEST 13TH AVE
DENVER, CO 80202
724.261.8888

UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

5 OF 138
EXCEPTIONS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 138

EXCEPTIONS AND JUSTIFICATIONS, CONT.

MODP: THIS EXCEPTION ALIGNS WITH THE MODP, WHICH NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONTACTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THE MODP FURTHER NOTES THAT BUILD-TO LINES AND/OR FRONT SETBACKS SHOULD BE STUDIED TO FORM PEDESTRIAN FRIENDLY STREETS CAPES. THESE DESIGN CONCEPTS INFLUENCE THE DESIGN AWAY FROM HOMES WITH TRADITIONAL DRIVEWAYS AND FRONT YARDS.

ROOF DESIGN

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

STANDARD: BUILDING FORMS SHALL PROVIDE ROOF PITCHES OF 5 IN 12 OR GREATER.

EXCEPTION: ALL MAIN ROOFS ON SINGLE-FAMILY DETACHED MEET THIS STANDARD. SECONDARY ROOFS AT FRONT PORCHES AND OVER GARAGES ARE NO LESS THAN 1 IN 12 FOR ONE SINGLE-FAMILY DETACHED STYLE. ONE OF THREE SINGLE-FAMILY ATTACHED TOWNHOME ELEVATION STYLES MEET THIS STANDARD. THIS EXCEPTION APPLIES TO THE MOUNTAIN MODERN PRODUCT, WHICH INCLUDES A MAIN SHED ROOF OF 4 IN 12 WITH A 3 IN 12 GABLE BETWEEN. THIS PROVIDES A LOWER SHED ROOF TO ACTIVATE MODERN STYLE AND PROVIDE ARCHITECTURAL DIVERSITY WHILE KEEPING WITHIN THE REQUIRED BUILDING HEIGHTS. ADDITIONALLY, THE DECREASED ROOF PITCH ACTIVATES THE ROOF PLANE OF THE UNIT AND PROVIDES ENHANCED PRIVATE OUTDOOR LIVING.

JUSTIFICATION: THIS EXCEPTION APPLIES THE SECONDARY ROOF PITCH PROVIDED WITH ONE SINGLE-FAMILY DETACHED BUILDING FORM, WITH A ROOF PITCH LESS THAN 5 IN 12 WHERE EGRESS WINDOWS ARE REQUIRED. ALL OF SECONDARY ROOFS ON THE OTHER TWO STYLES WILL BE BETWEEN 3 IN 12 AND 4 IN 12. ADDITIONALLY, PRODUCTS WITH A ROOF PITCH NO LESS THAN 1 IN 12 PROVIDE VARIATION IN ROOF FORMS THAT ARE MORE CONTEMPORARY AND HELP CREATE A DIVERSE STREETSCAPE. ALL SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED MINOR ROOFS MEET THE STANDARD OF A ROOF PITCH OF 5 IN 12 OR GREATER, NOT OTHERWISE MENTIONED.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY... OVERALL DESIGN (11-4-1(B)) THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS AND, IN SOME CASES, MATCH THE TRANSITIONAL STYLE OF ONE OF THREE ELEVATION TYPES.

MASONRY

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

STANDARD: SINGLE-FAMILY ATTACHED BUILDING FORMS (TOWNHOMES) SHALL PROVIDE MASONRY ON AN AVERAGE 50% OF NON-WINDOW/DOOR SURFACES ON ALL ELEVATIONS.

EXCEPTION: UPLANDS P.A.#5 PROVIDES 50% OR MORE MASONRY ON ALL FRONT ELEVATIONS, PROVIDING A TRANSITION BETWEEN THE EXISTING AND PROPOSED ARCHITECTURAL FABRIC. MASONRY VARIES BETWEEN 11% AND 57% ON REAR AND SIDE ELEVATIONS.

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY ATTACHED TOWNHOMES TO ENSURE THE TOWNHOMES ARE DESIGNED CONSISTENT WITH THEIR ARCHITECTURAL STYLE WHILE PROVIDING ARCHITECTURAL DIVERSITY. A VARIETY OF MATERIALS ARE BEING UTILIZED INCLUDING HORIZONTAL, VERTICAL, PANEL, AND BOARD BATTEN SIDING FOR ELEVATION DIVERSITY. ON ELEVATIONS WHERE MASONRY IS BELOW 50%, BRICK IS UTILIZED WHERE IT IS MOST IMPACTFUL. THE PROPOSED ARCHITECTURAL STYLE DOES NOT SUPPORT BRICK CLADDING AT UPPER STORES, THEREFORE IT IS PROVIDED AT THE BASE OF REAR ELEVATIONS TO DEMONSTRATE GREATER MASSING AND PROVIDES SCALED ARCHITECTURAL CHARACTER.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN BY COMPLYING WITH SECTION 3.0 LAND USE AND DEVELOPMENT TO SUPPORT THE CITY'S GREAT NEIGHBORHOODS INITIATIVE, BUILDING A SENSE OF PLACE IN NEIGHBORHOODS AND COMMERCIAL DISTRICTS. THE ARCHITECTURE EMPLOYED WITHIN THE PLANNING AREA ESTABLISHES A SENSE OF PLACE THAT IS RESPECTFUL TO THE SURROUNDING ARCHITECTURE WHILE FOSTERING QUALITY CHARACTER ALIGNED WITH THE OVERALL VISION FOR UPLANDS. THE ARCHITECTURAL PALETTE FACILITATES A RECOGNIZABLE AND PLEASING URBAN FORM FOR THE PLANNING AREA.

MODP: THIS EXCEPTION ALIGNS WITH THE MODP BY ENHANCING THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS THAT ALLOW FOR THE FRONT ENTRY WAY TO INTERACT WITH THE STREET IN AN INVITING AND CONSISTENT MANNER. (SHEET 17 OF 43)



UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

6 OF 138
EXCEPTIONS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 138

EXCEPTIONS AND JUSTIFICATIONS, CONT.

DIMENSIONAL STANDARDS, BUILDING HEIGHT, LOT SIZE, AND SETBACKS

AN EXCEPTION TO MDDP BUILDING FORM CHARACTERISTICS TABLES (SFD AND SFA TOWNHOME, SHEETS 17 AND 18 OF 43)

STANDARD: BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE BELOW.

EXCEPTION: THIS EXCEPTION APPLIES TO THE NOTED INTERNAL, ON-LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW, WHERE REQUIREMENTS HAVE NOT BEEN MET. THE MINIMUM PROVIDED IS BOLDED AND DOUBLE-OUTLINED.

JUSTIFICATION: ALL PERMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UPLANDS PROPOSES A MIX OF PORCHES/PATIO, DECKS AND SIDEFRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UPLANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION. BUILDING HEIGHT IS MET FOR ALL BUT ONE PRODUCT TYPE: SINGLE-FAMILY ATTACHED TOWNHOME WITH THE ROOF-TOP DECK. THIS PRODUCT IS LIMITED IN ITS PLACEMENT TO INTERNAL LOTS ONLY. PLEASE REFER TO SHEET 2 FOR LOCATIONS WHERE THE PRODUCT IS NOT ALLOWED.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY. PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURN-LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE.

THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD THE PROPOSED HOMES AND ALLOW FOR LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES (7% PROVIDED - 4% IS REQUIRED) WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL, U14 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY WITH A FOCUS ON SITE LANDSCAPE AND BUILDING DESIGN. U14 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED HOMES. REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE. DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN. SPECIFICALLY, CRITERIA 4 TASKS IF "THE PROPOSED DEVELOPMENT PROVIDES APPROPRIATE TRANSITIONS BETWEEN USES" WHICH THIS PROPOSAL INTENTIONALLY DOES PROMOTE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERMETER SETBACKS FURTHER IS SUPPORTED BY GOAL TM42 OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES ON SMALLER LOTS) DIVERSITY AND FLEXIBILITY IN HOUSING PRICES. THE REDUCED SETBACKS ENCOURAGE HIGHER QUALITY DEVELOPMENT BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES AND VARIETY OF PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

TM400: THIS EXCEPTION ALIGNS WITH TM400 BY MINIMIZING GARAGE VISIBILITY, ENCOURAGING CONSISTENT STREET FRONTAGES, CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BIKE AND PEDESTRIAN SAFETY AND STREET ACTIVATION, AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES, INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN TM400.

MDDP: THIS EXCEPTION ALIGNS WITH THE MDDP BY PROVIDING HOME AND LOT DESIGNS THAT ENHANCE THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS, INCLUDING AT-GRADE OR RAISED PORCHES/PATIO, BUILDING ENTRIES, BALCONIES AND STOOPS, AND MINIMIZING VIEWS OF THE GARAGE FROM THE STREET. FURTHER, THE MDDP NOTES FRONT SETBACKS SHOULD BE STUDIED AT SITE SPECIFIC OPP TO FORM PEDESTRIAN FRIENDLY STREETS CAPES.

DIMENSIONAL STANDARDS, BUILDING HEIGHT, LOT SIZE, AND SETBACKS

	MAX. HEIGHT	MAX. STORIES	MIN. LOT SIZE	MIN. LOT DEPTH	MIN. LOT WIDTH	MIN. FRONT SETBACK TO MAIN STRUCTURE	MIN. SIDE SETBACK, INTERIOR LOT	MIN. SIDE SETBACK, CORNER LOT	MIN. REAR SETBACK	MIN. REAR YARD SPACE
SINGLE FAMILY DETACHED (SFD) HOME										
UPLANDS MASTER ODP	40'	3	-	90'	25'	14'	7'	14'	5'	20x20 REAR YARD
UPLANDS FILING 1, BLOCK 1 ODP	40'	3	-	63'	32'	13'	5'	10'	3'	0 SF**
SINGLE FAMILY ATTACHED (SFA) TOWNHOME										
UPLANDS MASTER ODP	40'	3	-	80' (W/ ATTACHED GARAGE)	16'	10'	0'	8'	5'	15' MIN
UPLANDS FILING 1, BLOCK 1 ODP	45'	3	-	69'	21'	12'	0'	10'	7'	0 SF***

- * THE ROOF TOP DECK OPTION AND THE GABLE ROOFS EXCEED THE 40' ONLY ON SFA TOWNHOMES MODERN BROWNSTONE STYLE
- ** A MINIMUM OF 410 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFD HOMES
- *** A MINIMUM OF 237 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA HOMES



UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

7 OF 138 EXCEPTIONS

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS

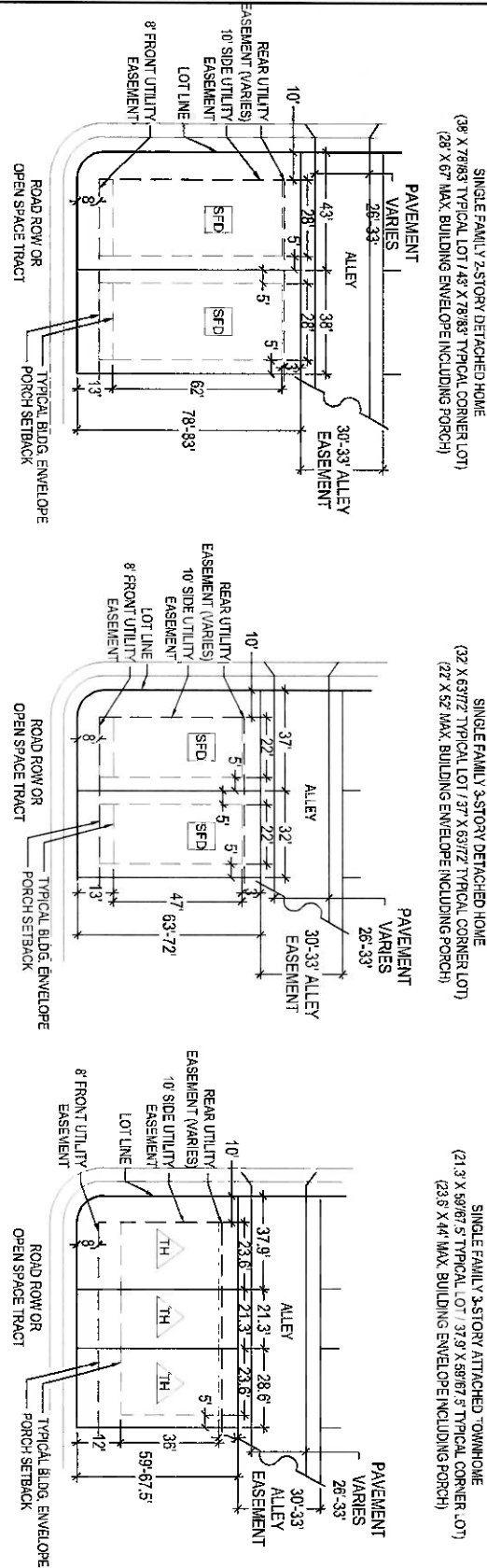
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024



DATE: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 138

LOT TYPICALS



LOT SETBACKS	
FRONT TO LIVING AREA:	SFD MODP MINIMUM SETBACKS
FRONT TO PORCH:	14'
SIDE (INTERNAL):	6'
SIDE (CORNER):	7'
SIDE (ABUTTING LOCAL STREET):	14'
REAR:	5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 17-32, 66-74, 80-84, 93-96, 108-121, 154-156:	5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 2-16:	5'
FRONT TO LIVING AREA:	14'
FRONT TO PORCH:	13'
SIDE (INTERNAL):	6'
SIDE (CORNER):	7'
SIDE (ABUTTING LOCAL STREET):	14'
REAR:	5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 17-32, 66-74, 80-84, 93-96, 108-121, 154-156:	5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 2-16:	5'
FRONT TO LIVING AREA:	14'
FRONT TO PORCH:	13'
SIDE (INTERNAL):	6'
SIDE (CORNER):	7'
SIDE (ABUTTING LOCAL STREET):	14'
REAR:	5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 17-32, 66-74, 80-84, 93-96, 108-121, 154-156:	5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 2-16:	5'

- PROPOSED SETBACK NOTES
- (1) ALL SETBACKS SHOWN ARE MINIMUMS. IN SOME LOCATIONS A HOME MAY BE SETBACK FURTHER FROM THE LOT LINE THAN THE MINIMUM.
 - (2) SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION.
 - (3) CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW WELLS, OVERHANGS, OR SIMILAR ARCHITECTURE FEATURES MAY ENCRUSH INTO A SETBACK A MAXIMUM OF 2 FT.
 - (4) SEE EXCEPTIONS SHEETS 5-7.
 - (5) SEE DETAILED LOT TYPICALS FOR EACH FOOTPRINT ON STARTING ON SHEET 83.
 - (6) SEE SHEETS 31-39 FOR TYPICAL ALLEY SECTIONS WHICH SHOW SETBACKS, BUILDING TO PROPERTY LINE, AND FIRE SETBACKS, BUILDING TO PAVEMENT EDGE. TYPICAL ALLEY SECTIONS ARE MORE LOCATION SPECIFIC THAN THE PROPOSED MINIMUM SETBACK TABLES AS THEY PROVIDE DIMENSIONS FOR BUILDING TO PAVEMENT LOCATION WHICH VARIES DEPENDING ON THE LOCATION OF THE ALLEY (ALLEY LOCATION DOES NOT IMPACT LOT DEPTH, THIS MINIMUM SETBACKS ARE MAINTAINED) AND PROVIDES INFORMATION SPECIFIC TO FIRE REQUIREMENTS.

MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

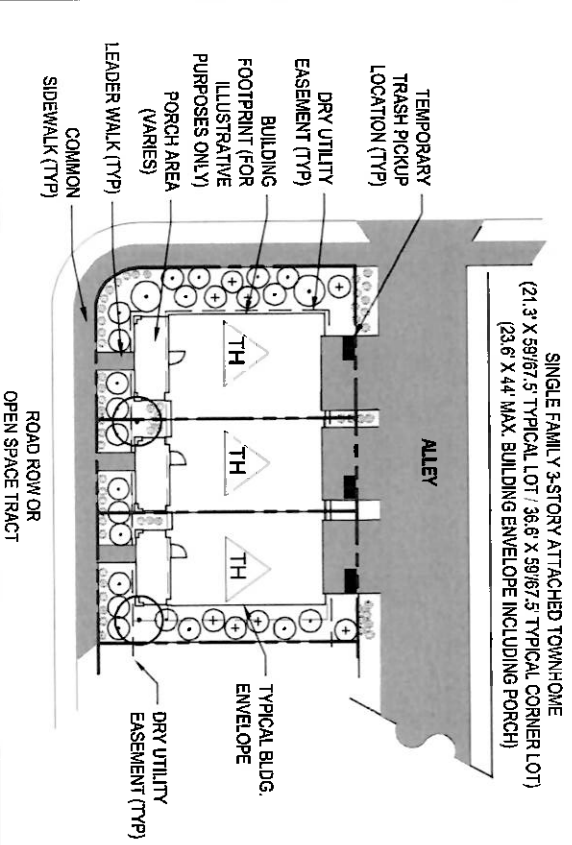
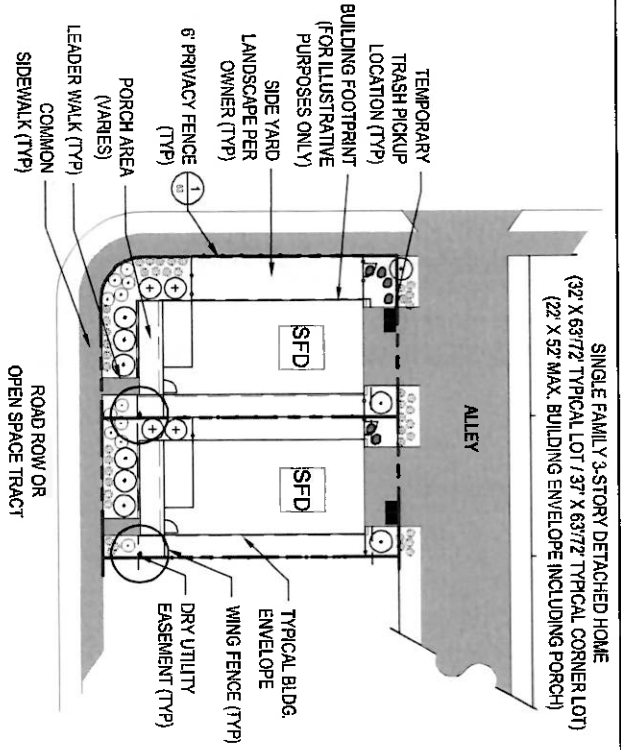
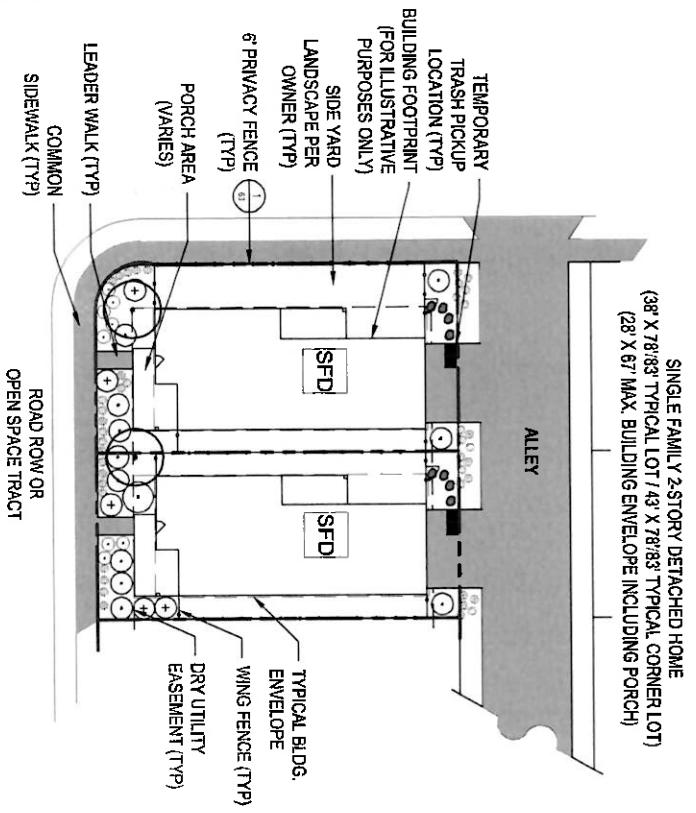
- HOMEOWNER MAINTENANCE:**
- DRIVEWAYS
 - PORCHES, PATIOS & STEPS
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS, COMMON SIDEWALKS MAY ALSO OCCUR ON LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT)
 - ON-LOT FENCES (SFD ONLY)
 - ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
 - SIDE YARDS INSIDE PRIVATE FENCED AREA
- HOA MAINTENANCE:**
- ALLEYS (INCLUDING SNOW REMOVAL)
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS, COMMON SIDEWALKS MAY ALSO OCCUR ON LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT)
 - ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
 - SIDE YARDS INSIDE PRIVATE FENCED AREA
 - HOA OWNED LANDSCAPE TRACT SOLUTIONS
 - OFF-SITE DETENTION POND
 - RETAINING WALLS
 - FENCING INCLUDING ON-LOT FOR SFA ONLY
 - ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
 - TREE LAWN
 - TRASH PICKUP

LOT TYPICAL NOTES

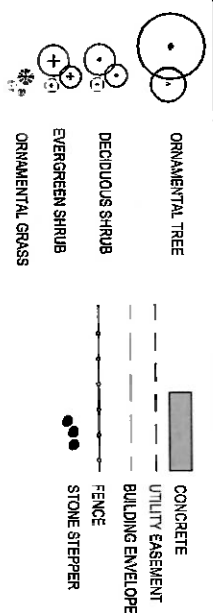
- * REAR SETBACKS VARY DUE TO UTILITY LOCATIONS. REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.

OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 5 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 9 OF 138

LANDSCAPE LOT TYPICALS



LEGEND



- NOTES**
1. LOT AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANNING CONDITION. GENERAL PARAMETERS OF A MINIMUM OF 1 TREE AND 3 SHRUBS PER 550 SF LANDSCAPE AREA IN FRONT YARDS ARE REQUIRED. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FINAL PRODUCT CONFIGURATION, WHERE APPROPRIATE SPACE EXISTS AND UTILITY EASEMENTS DO NOT PROHIBIT THE PLANTING OF TREES AND SHRUBS. SUBSTITUTIONS SHALL NOT BE ALLOWED ON THE PRIVATE LOTS. DEVELOPER SHALL SHOW AT TIME OF BUILDING PERMIT WHETHER TREES CAN OR CANNOT BE PLANTED ON THE PRIVATE LOTS.
 2. REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS, STARTING ON SHEET 83.
 3. DESIGNER (AVERAGE) LANDSCAPE CONDITIONS ARE SHOWN ON LOT TYPICALS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL LANDSCAPE PLANS FOR EACH LOT WILL OCCUR AT TIME OF BUILDING PERMIT, BUT MUST COMPLY WITH MINIMUM STANDARDS SET FORTH IN THE ODP.
 4. TRASH AND RECYCLING CONTAINERS TO BE LOCATED PERMANENTLY WITHIN GARAGES. SEE ARCHITECTURE TYPICALS FOR FURTHER DETAIL STARTING AT SHEET 83.

UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

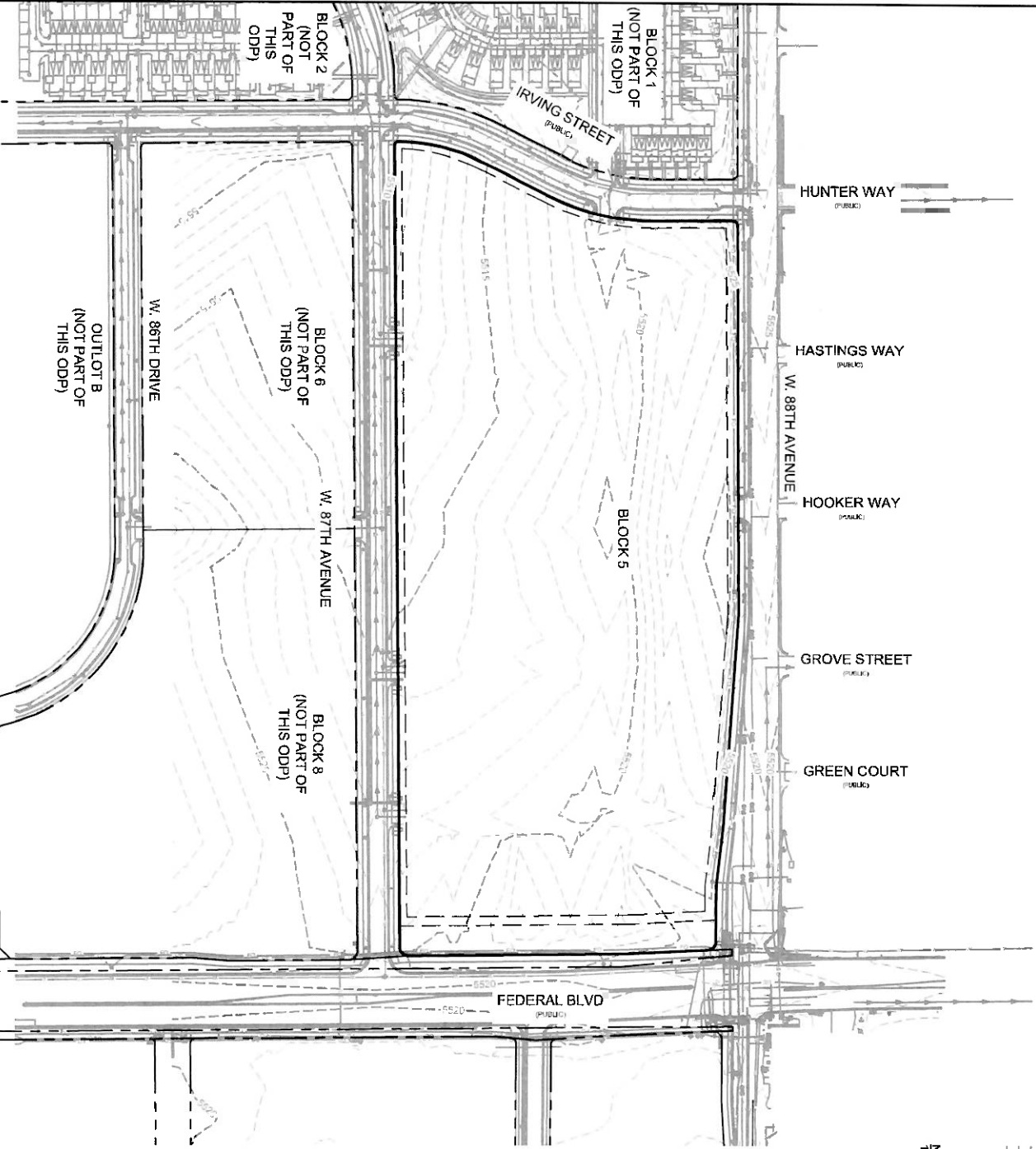
OFFICIAL DEVELOPMENT PLAN	
PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 10 OF 138



- LEGEND**
- PROPERTY LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIBER OPTIC
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING OVERHEAD CABLE
 - EXISTING STREET LIGHT
 - EXISTING SIGN
 - EXISTING POST
 - EXISTING TELECOMM MANHOLE
- NOTES:**
1. ALL EXISTING INFRASTRUCTURE TO REMAIN UNLESS OTHERWISE NOTED



UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

10 OF 138
EXISTING CONDITIONS

OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 5 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 11 OF 138

138

138

138

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138

PLANNING AREA PA-A5 SHARED PARKING		
TYPE	REQUIRED	PROVIDED
87TH PLACE		41 (2)
HASTINGS WAY		14
GROVE STREET		14 (1)
GREEN COURT		10 (2)
IRVING STREET		19
87TH AVENUE		43
STANDARD	25	5
ACCESSIBLE	1	0
VAN ACCESSIBLE		1 (2)
TOTAL	25 STA + 166 STD = 211	147 (5)
ADDITIONAL	87TH AVENUE	18
ROW PARKING	0	18

PLANNING AREA PA-A5 PARKING SUMMARY				
TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (ON-STREET)*	PROVIDED (OFF-STREET)*
OFF-STREET (2/4 UNIT)	73	166	246	0
GUEST (1/3)	25	185	0	147 *
DRIVEWAY (2/4 UNIT)	93	186	186	0
ENCLOSED (2/4 UNIT)				
TOTAL	166	543	332	147
TOTAL PROVIDED				479

A. 477 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH ROW AND SURFACE SPACES. SEE SHARED PARKING TABLE.

LOT COVERAGE PA-A5			
SURFACE TYPE	AREA (SF)	% OF SITE	
BUILDING COVERAGE	155,315	22%	
PAVING AND DRIVES (99.709 SF INTERIOR ROW)	313,097	44%	
LANDSCAPE OPEN AREA	236,620	34%	
NET TOTAL AREA*	704,972	100%	
GROSS TOTAL AREA*	792,792	100%	

*GROSS AREA REFERS TO PREPARED PLANNING AREA MOVERIES. NET AREA REFERS TO PLANNED BLOCK MOVERIES.

TRACT TABLE:		
TRACT	USE	MAINTENANCE RESPONSIBILITY
A	LANDSCAPE	HOA
B	PUBLIC ACCESS	HOA
C	PUBLIC ACCESS	HOA
D	LANDSCAPE	HOA
E	LANDSCAPE	HOA
F	LANDSCAPE/	HOA
G	PUBLIC ACCESS	HOA
H	PUBLIC ACCESS	HOA
I	LANDSCAPE/	HOA
J	PUBLIC ACCESS	HOA
K	PUBLIC ACCESS	HOA
L	LANDSCAPE	HOA
M	PUBLIC ACCESS	HOA
N	PUBLIC ACCESS	HOA

UPLANDS

DATE: 06.14.2024



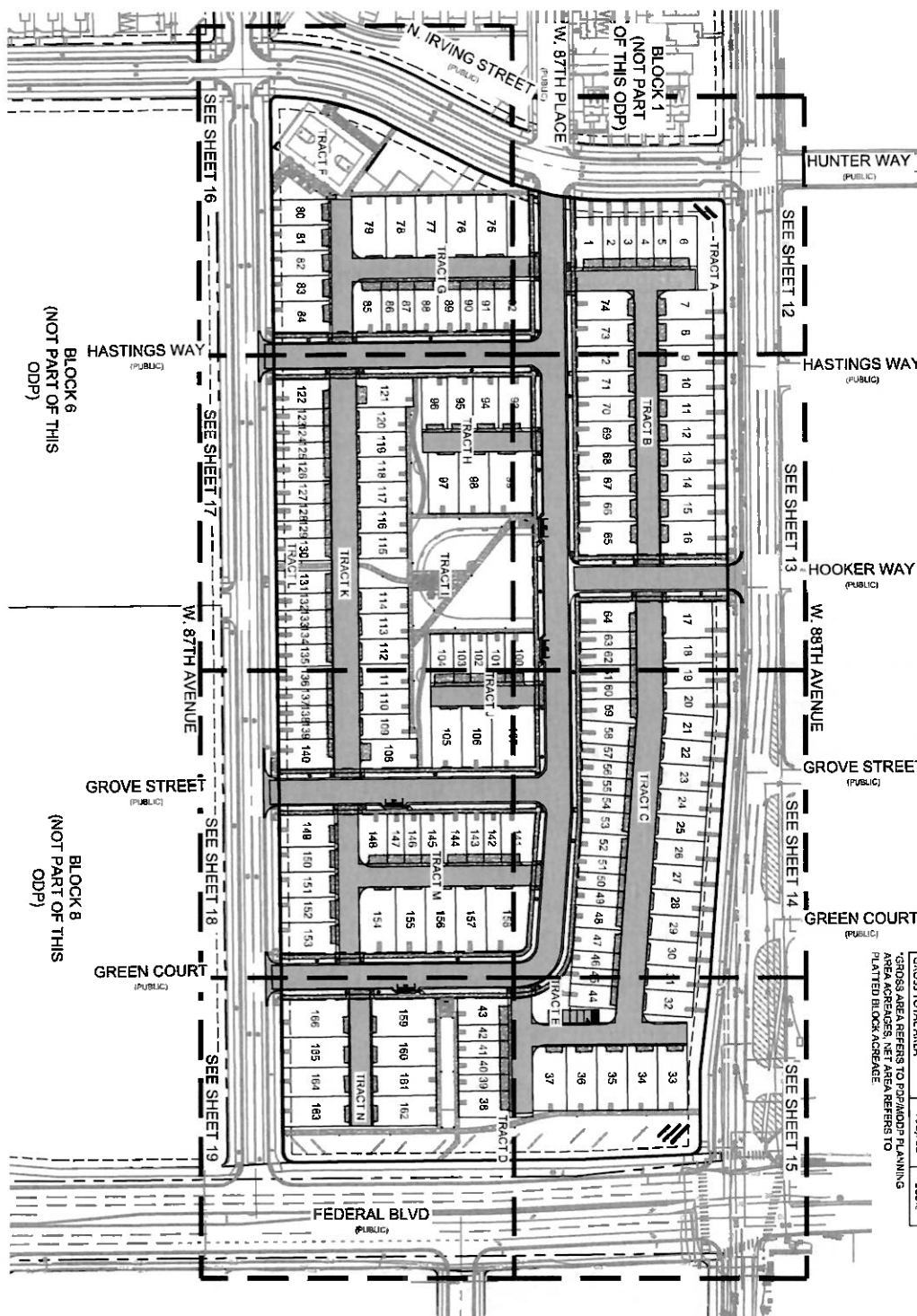
UPLANDS FILING NO. 1
 BLOCK 5
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 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

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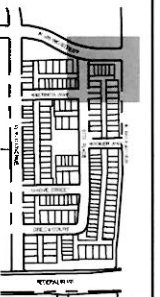
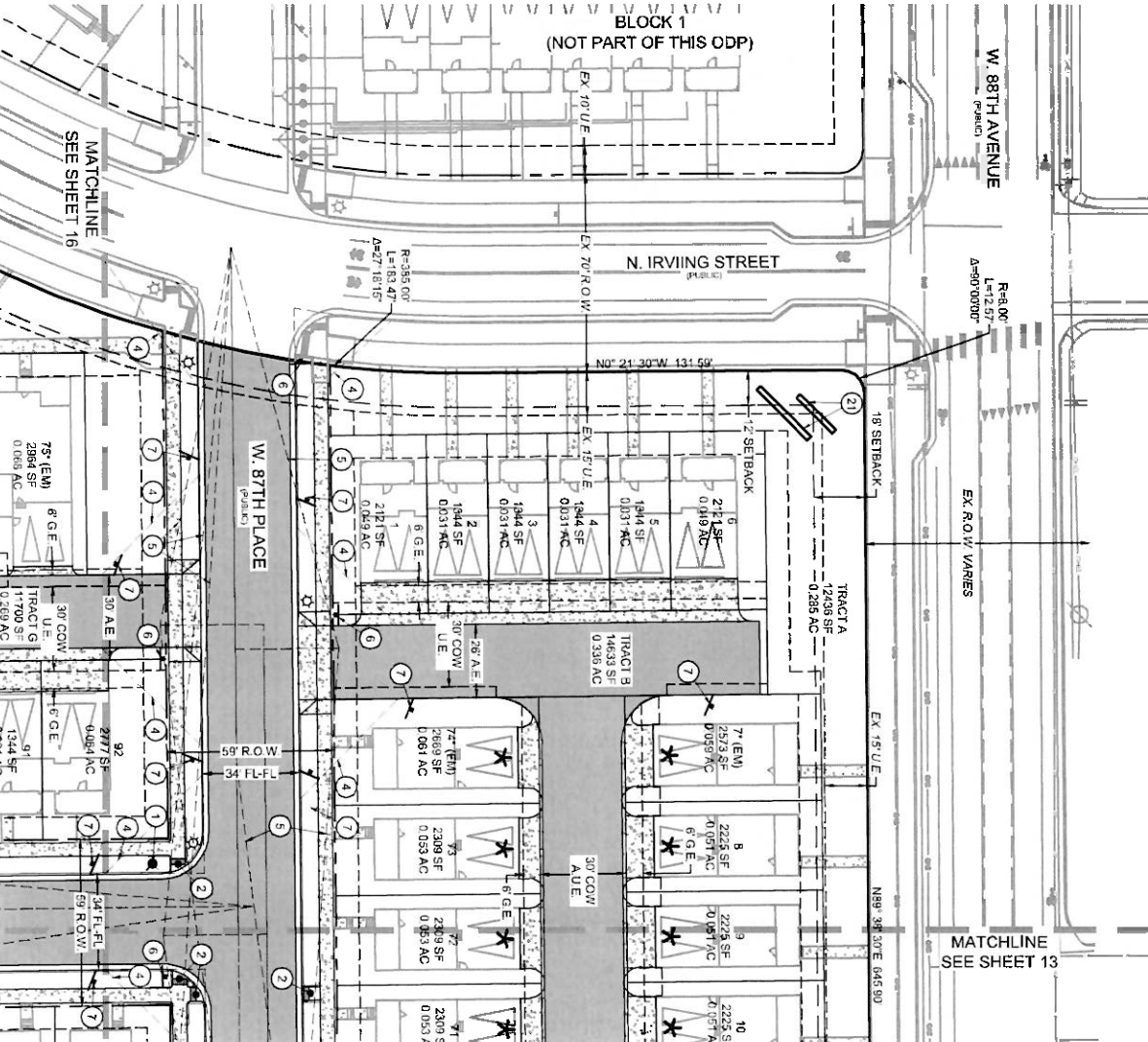
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

11 OF 138
 OVERALL SITE PLAN



ABREVIATIONS:
A/E PUBLIC ACCESS EASEMENT
A/U.E. PUBLIC ACCESS & COW UTILITY EASEMENT
COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
G.E. GAS EASEMENT
S/W SIDEWALK
U.E. UTILITY EASEMENT
PR PRIVATE LIGHT POLE
PR PUBLIC LIGHT POLE
PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 12 OF 138



KEYNOTE LEGEND:

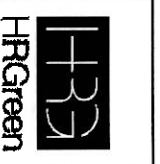
1. PR FIRE HYDRANT
2. CURB RAMP
3. USE REPAIRING WALL (SEE DETAIL ON SHEET 20)
4. LANDSCAPE TRIANGLE
5. SIGHT TRIANGLE
6. STOP SIGN
7. NO PARKING FIRE LANE SIGN
8. SUBDIVISION ENTRY SIGN - PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP
9. BIKE RACK
10. MAIL BOX
11. BENCH
12. UMBRELLA TABLE
13. SHADE PAVILION
14. PICNIC TABLE
15. ACCESSIBLE PARKING SYMBOL PER MICHIGAN 302
16. ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
17. ACCESSIBLE PARKING SIGN
18. SCREEN WALL
19. SEAT WALL
20. PAINT WALL
21. ACCENT WALL

NOTES:

1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
2. ALL PRIVATE WALKS TO SPD AND SFA ARE 4'
3. ALL PROPOSED CURB & GUTTERS ARE 6" VERTICAL
4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
5. FOR MAINTENANCE OF PARKS, ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
6. EXACT PAULING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT
7. ALTHOUGH NODC AND POP SHOW A COW U.E. WALK FOR UNITS ALONG W. 87TH AVE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO MEET THE CITY'S REQUIREMENTS FOR UTILITY AND VEGETATION
8. CIRCULATION PLAN

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS
DATE: 06.14.2024



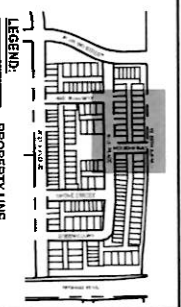
OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

12 OF 138
SITE PLAN

ABBREVIATIONS:
 ALE PUBLIC ACCESS & COW UTILITY EASEMENT
 COW UTILITY EASEMENT
 CITY OF WESTMINSTER UTILITY EASEMENT
 GAS EASEMENT
 SIDEWALK
 UTILITY EASEMENT
 U.E.

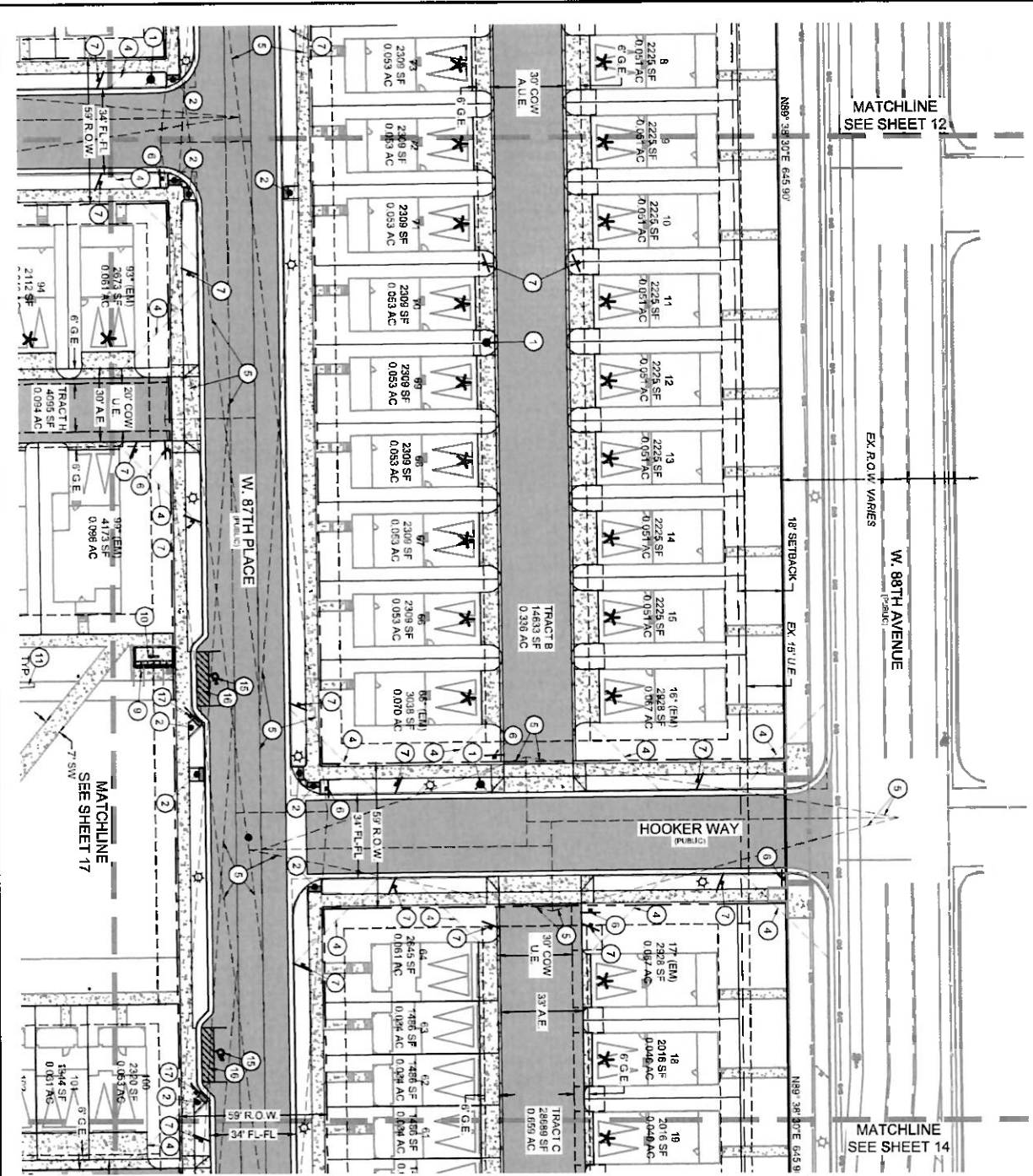
PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 5 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 13 OF 138



LEGEND:
 PROPERTY LINE
 REQUIRED SETBACK
 EDGE OF CONCRETE
 RIGHT OF WAY
 EASEMENT LINE
 LOT LINE
 ACCESSIBLE ROUTE
 WALL RAILING
 LOT 17 - ENHANCED ELEVATION
 LOT 18 (EM) - ENHANCED SIDE MASONRY AT STD

UNIT WITH REAR UPPER STORY STEP ACCESS
 BACK TO ACCOMMODATE FIRE ACCESS
 KEYNOTE LEGEND:
 1 PR FIRE HYDRANT
 2 CURB RAMP
 3 W/RE RETAINING WALL (SEE DETAIL ON SHEET 20)
 4 LANDSCAPE TRIANGLE
 5 SIGHT TRIANGLE
 6 STOP SIGN
 7 NO PARKING/FIRE LANE SIGN
 8 SUPERVISION ENTRY SIGN
 9 VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE DDP
 10 BIKE RACK
 11 BENCH
 12 UMBRELLA TABLE
 13 SHADE PAVILION
 14 PICNIC TABLE
 15 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 16 ACCESSIBLE PARKING STRIPING (45° & YELLOW STRIPING AT 7' O.C.)
 17 ACCESSIBLE PARKING SIGN
 18 SCREEN WALL
 19 SEAT WALL
 20 PANEL WALL
 21 ACCENT WALL

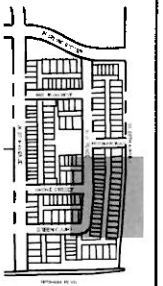
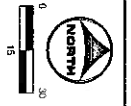


NOTES:
 1 ALL PROPOSED PUBLIC SIDEWALKS ARE 6' UNLESS OTHERWISE NOTED
 2 ALL PRIVATE WALKS TO STD AND SFA ARE 4'
 3 ALL PROPOSED CURBS & GUTTERS IS 8"
 4 SEE SHEET 12 FOR BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 5 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
 6 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 36" IN HEIGHT AND POP SHOW A CIRCUMSCRIBED WALK FOR UNITS ALONG W. 88TH AVE. INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPLING OF VEGETATION.
 7 SEE PAGE 28 FOR PEDESTRIAN CIRCULATION PLAN.

13 OF 138 SITE PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO	HRGreen 	DATE: 06.14.2024
	REVISIONS			
	SUB 01: 11.03.2023 SUB 02: 03.07.2024 SUB 03: 03.05.2024 SUB 04: 06.14.2024			
	SUB 01: 11.03.2023 SUB 02: 03.07.2024 SUB 03: 03.05.2024 SUB 04: 06.14.2024			

- ABBREVIATIONS:**
- ALE PUBLIC ACCESS EASEMENT
 - AUE PUBLIC ACCESS & COW UTILITY EASEMENT
 - COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - G.E. GAS EASEMENT
 - SW SIDEWALK
 - UE UTILITY EASEMENT
- PR PRIVATE LIGHT POLE
PR PUBLIC LIGHT POLE
PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 14 OF 138



LEGEND:

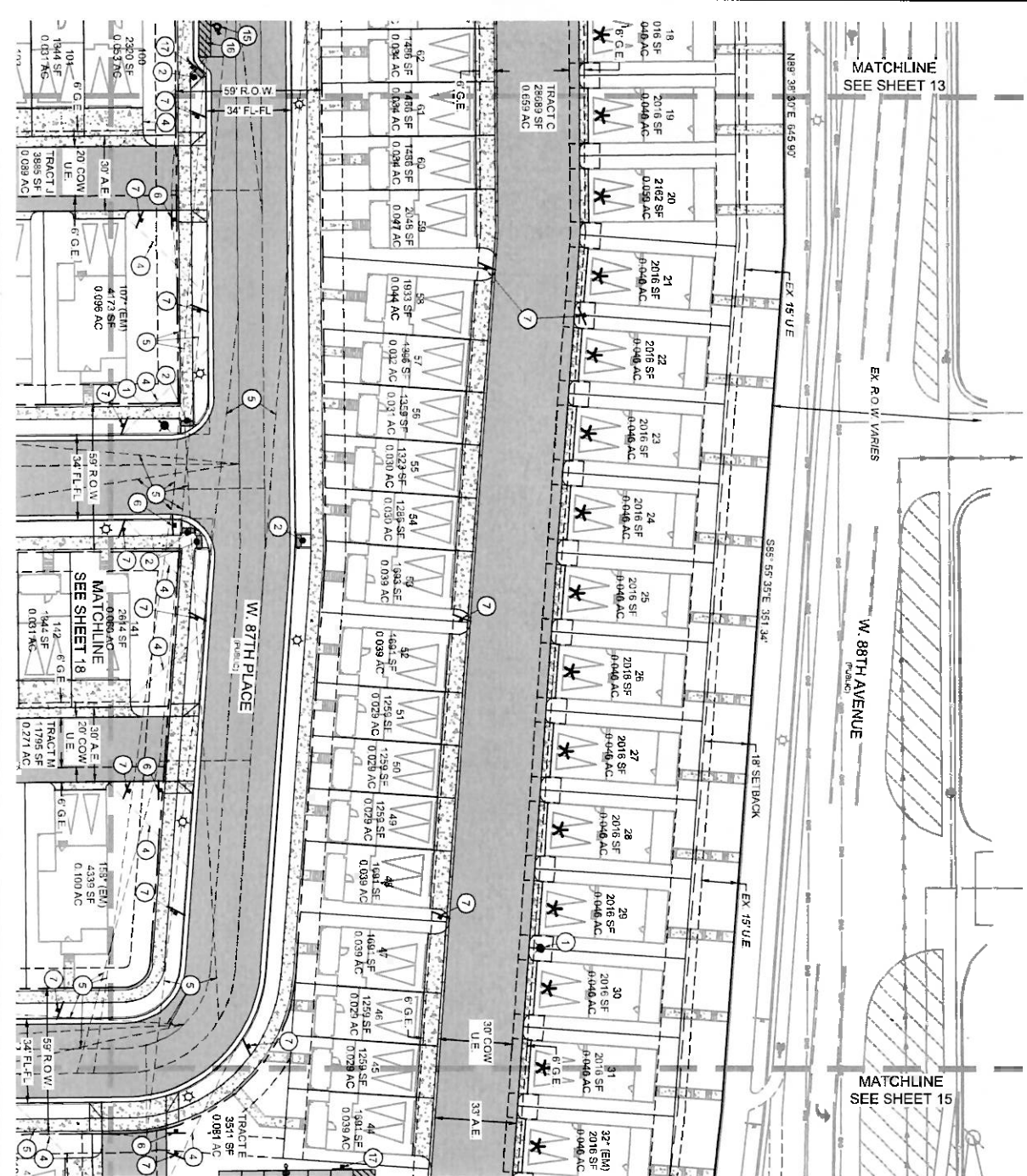
- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING
- (LOT) - ENHANCED ELEVATION
- (LOT) - ENHANCED SIDE MASONRY
- AT STD
- UNIT WITH NEAR UPPER STORY STEP ACCESS
- BACK TO ACCOMMODATE FIRE ACCESS

KEYNOTE LEGEND:

- 1 PR FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN
- 7 NO PARKING/FIRE LANE SIGN
- 8 SUBMISSION ENTRY SIGN
- 9 VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE DOP
- 10 BIKE RACK
- 11 WALL NOOK
- 12 BENCH
- 13 UMBRELLA TABLE
- 14 SHADE PAVILION
- 15 PRONG TABLE
- 16 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.2.2
- 17 ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
- 18 ACCESSIBLE PARKING SIGN
- 19 SCREEN WALL
- 20 SEAT WALL
- 21 PANEL WALL
- 22 ACCENT WALL

NOTES:

- 1 ALL PROPOSED PUBLIC SIDEWALKS ARE FINISHED UNLESS OTHERWISE NOTED
- 2 ALL PRIVATE WALKS TO STD AND SFA ARE FINISHED
- 3 ALL PROPOSED CURB & GUTTER IS 6" VERTICAL
- 4 PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS CHANGES WITHIN THE SEPARATE SHEETS MAY BE ALLOWED PER THE FUTURE HOME BUYER
- 5 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS AND RECREATION AREAS
- 6 EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT
- 7 ALTHOUGH NODP AND POP SHOW A CONSOLIDATED WALK FOR UNITS ALONG W 88TH AVE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPING OF VEGETATION
- 8 CIRCULATION PLAN



UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

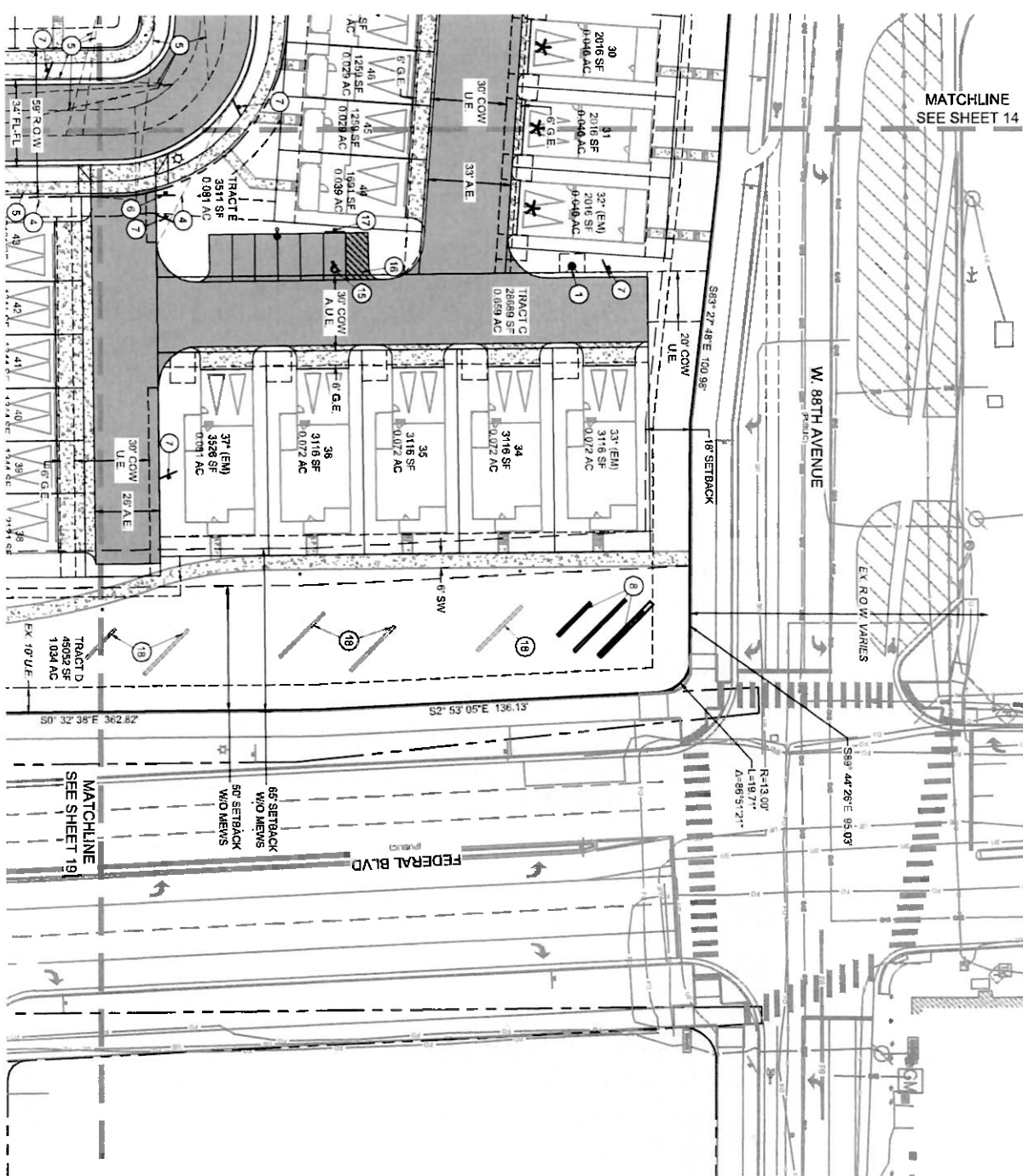
OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
UPLANDS - FILING NO. 1 - BLOCK 5

IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 15 OF 138



UPLANDS

DATE: 06.14.2024



- ### **KEYNOTE LEGEND**

- * UNIT WITH REAR UPPER STORY SLEEP BACK TO ACCOMMODATE FIRE ACCESS.**

- PROPERTY LINE
REQUIRED SETBACK
EDGE OF CONCRETE
RIGHT OF WAY
EASEMENT LINE
LOT LINE
ACCESSIBLE ROUTE
WALL RAILING
(LOTH) - ENHANCED ELEVATION
(LOTH) - ENHANCED SIDE MASONRY
AT SFD

- 7 NO PARKING/FIRE LANE SIGN
- 8 SUPERVISION ENTRY SIGN
(ENDING APPROVAL OF PARKING VIOLATIONS BY THE COMMISSION, IF VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP)
- 9 BIKE ROCK
- 10 MAIL BOX
- 11 BENCH
- 12 UMBRELLA TABLE
- 13 SHADE PAVILION
- 14 PICNIC TABLE
- 15 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 16 ACCESSIBLE PARKING STRIPING (4' x YELLOW STRIPING AT 7' O.C.)
- 17 ACCESSIBLE PARKING SIGN
- 18 SCREEN WALL
- 19 SEAT WALL
- 20 PANEL WALL
- 21 ACENT WALL

1. ALL PROPOSED, PUBLIC SIDEWALKS ARE
CLINICAL OTHERWISE NOTED

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11/03/2023

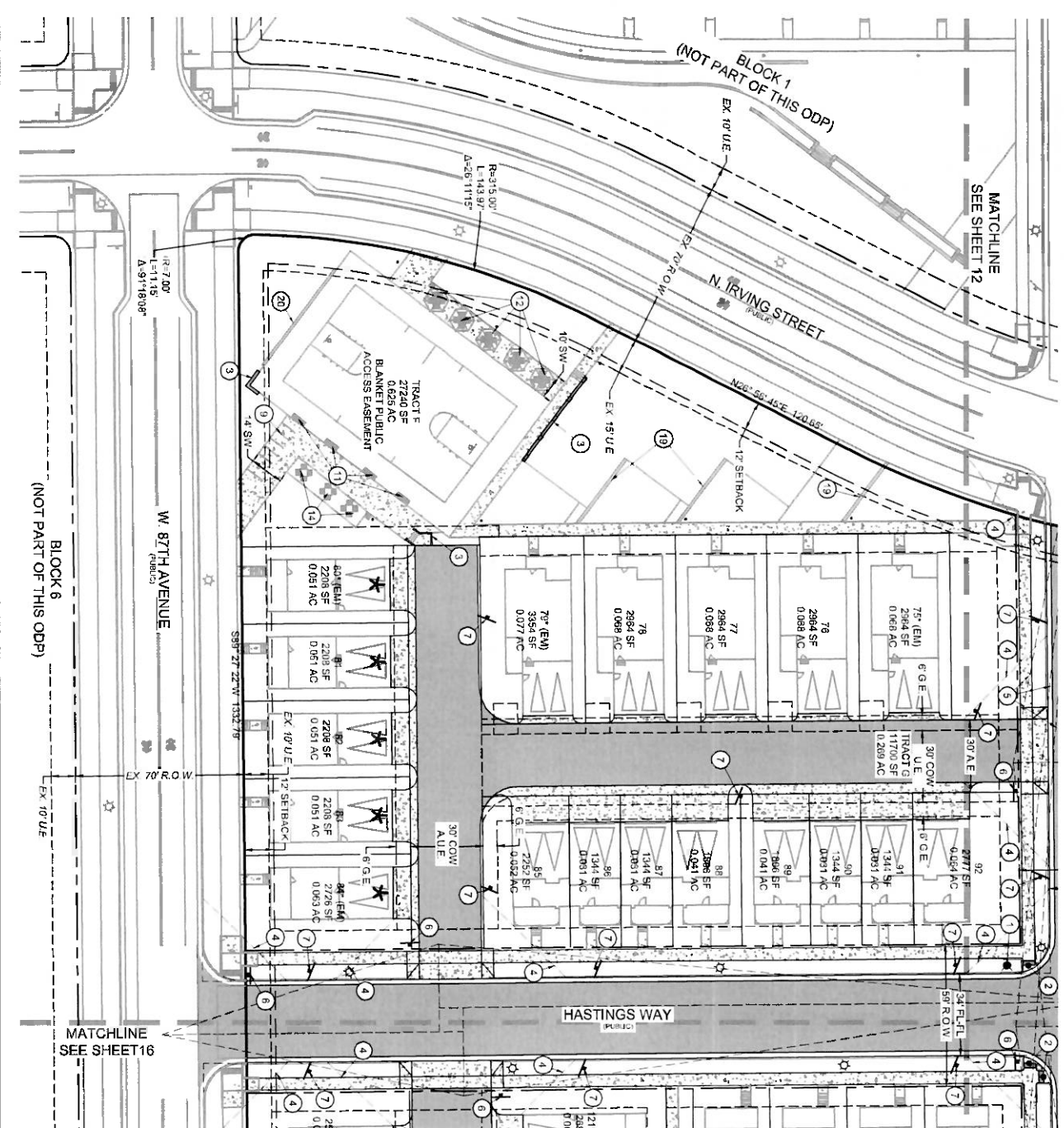
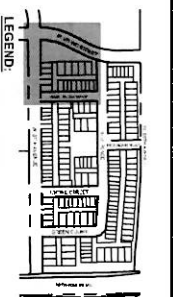
REVISIONS

SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

15 OF 138
SITE PLAN

ABBREVIATIONS:
A/E PUBLIC ACCESS EASEMENT
A/E PUBLIC ACCESS & COW UTILITY EASEMENT
COW U/E CITY OF WESTMINSTER UTILITY EASEMENT
G/E GAS EASEMENT
S/W SIDEWALK
U/E UTILITY EASEMENT
PR PRIVATE LIGHT POLE
PR PUBLIC LIGHT POLE
PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 16 OF 138

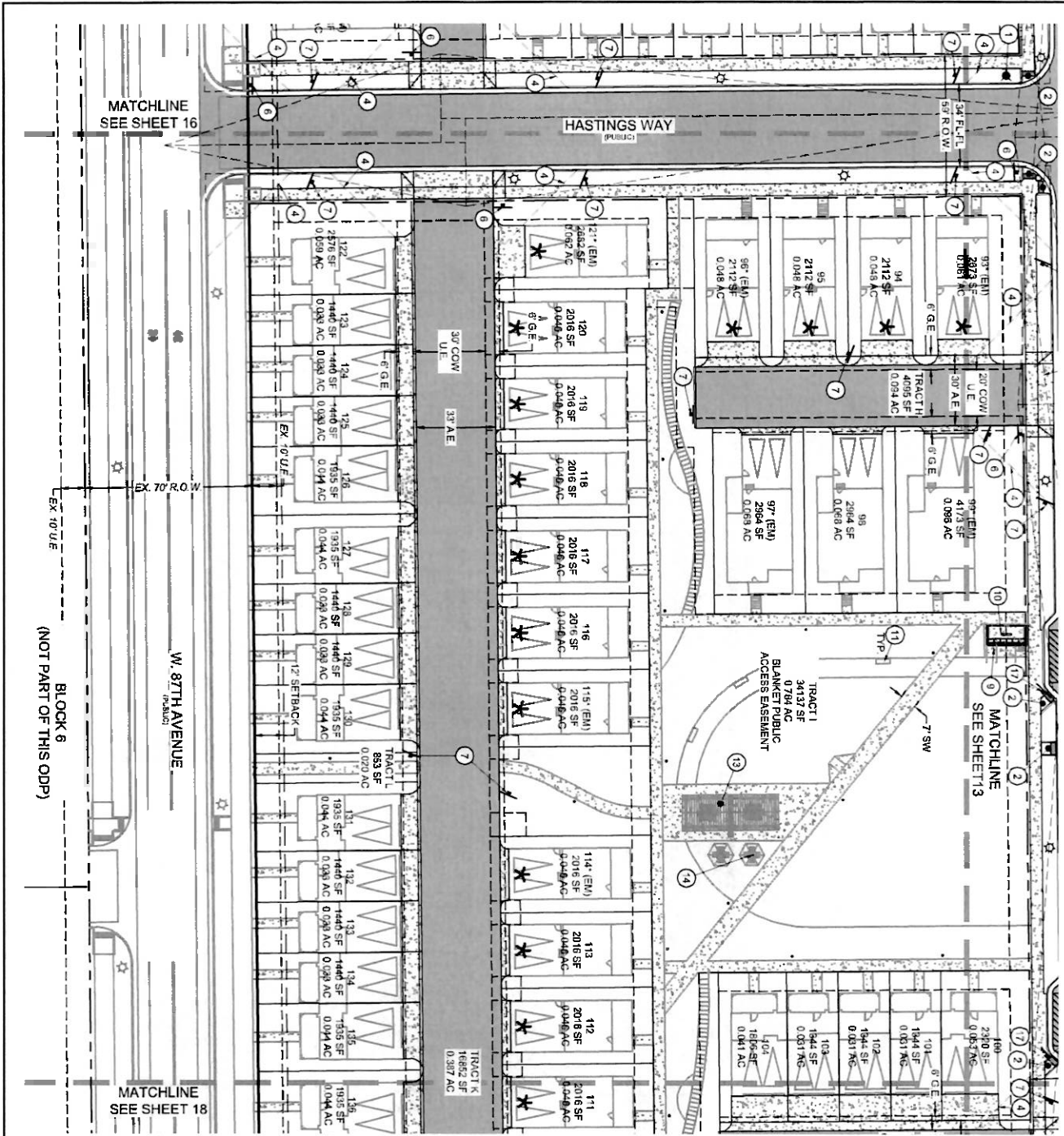
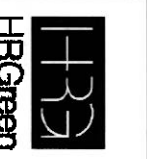


- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - EDGE OF CONCRETE
 - RIGHT OF WAY
 - EASEMENT LINE
 - LOT LINE
 - WALKABLE ROUTE
 - WALL SIGNAGE
 - LOT/ENH - ENHANCED ELEVATION (LOT/ENH) - ENHANCED SIDE MASONRY AT STD
 - UNIT WITH REAR UPPER STORY STEP ACCESS
 - BACK TO ACCOMMODATE FIRE ACCESS
- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 W/SE RETAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 STOP SIGN
 - 6 SIGHT TRIANGLE
 - 7 NO PARKING/FIRE LANE SIGN
 - 8 SUBDIVISION ENTRY SIGN - PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION. IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP.
 - 9 BIKE RACK
 - 10 MAIL BOX
 - 11 BENCH
 - 12 UMBRELLA TABLE
 - 13 SHADY PAVILION
 - 14 PICNIC TABLE
 - 15 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 - 16 ACCESSIBLE PARKING STRIPING (48" & YELLOW STRIPING AT 7' O.C.)
 - 17 ACCESSIBLE PARKING SIGN
 - 18 SCREEN WALL
 - 19 SEAT WALL
 - 20 PANEL WALL
 - 21 ACCEMENT WALL
- NOTES:**
1. ALL PROPOSED, PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
 2. ALL PRIVATE WALKS TO SPD AND SFA ARE 4'
 3. ALL PROPOSED CURB & GUTTERS 6" VERTICAL
 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS, CURBS WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS
 5. ALL LIGHTS LOCATED IN/ON OR PUBLIC ACCESS EASEMENT ARE PUBLIC
 6. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT
 7. A THOUGH MOOP AND POP SHOW A CONSOLIDATED PARK FOR UNITS ALONG WITH A WALKABLE ROUTE TO THE UNIT TO BE CONSIDERED WITH THE UNIT TO LIMIT TRAMPING OR VEGETATION
 8. SEE PAGE 56 FOR PEDESTRIAN CIRCULATION PLAN

16 OF 138 SITE PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO	DATE: 06.14.2024	HRGreen
	REVISIONS			
	SUB 01: 11.03.2023			
	SUB 02: 03.07.2024			
	SUB 03: 05.03.2024			
	SUB 04: 06.14.2024			

ABBREVIATIONS:
 ALE PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. SIDEWALK
 U.E. UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

**OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 5**
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 17 OF 138



- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - EDGE OF CONCRETE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - LOT LINE
 - ACCESSIBLE ROUTE
 - WALKWAY
 - (LOT) - ENHANCED ELEVATION
 - (LOT) (EM) - ENHANCED SIDE MASONRY AT SPD
 - UNIT WITH REAR UPPER STORY STEP ACCESS.
 - * BACK TO ACCOMMODATE FIRE ACCESS.
- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MSE RETAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN
 - 7 NO PARKING/FIRE LANE SIGN
 - 8 SUBDIVISION ENTRY SIGN - PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION. IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE DDP
 - 9 BIKE RACK
 - 10 MAIL BOX
 - 11 BENCH
 - 12 UMBRELLA TABLE
 - 13 SHADE PAVILION
 - 14 PICNIC TABLE
 - 15 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 9B.22
 - 16 ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
 - 17 ACCESSIBLE PARKING SIGN
 - 18 SCREEN WALL
 - 19 SEAT WALL
 - 20 PANE WALL
 - 21 ACCENT WALL
- NOTES:**
1. ALL PROPOSED PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED TO THE STREET AND SEA ARE ALL PRIVATE WALKS TO SPD AND SEA ARE VERTICAL.
 2. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 3. UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
 4. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
 5. EXACT PAINTING LOCATIONS AND EXTENTS SHALL BE PROVIDED BY THE ENGINEER. THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 6. ALTHOUGH ACDP AND POP SHOW A CONSOLIDATED WALK FOR UNITS ALONG W 87TH AVE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPOLING OF VEGETATION. SEE PAGE 28 FOR PEDESTRIAN CIRCULATION PLAN.

<p>UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p>	<p>UPLANDS</p> <p>DATE: 06.14.2024</p>	<p>17 OF 138 SITE PLAN</p>
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ABBREVIATIONS:	
A/E	PUBLIC ACCESS EASEMENT
A.U.E.	PUBLIC ACCESS & C&W UTILITY EASEMENT
C&W U.E.	CITY OF WESTMINSTER UTILITY EASEMENT
G.E.	Gas EASEMENT
SW	SIDEWALK
U.E.	UTILITY EASEMENT
PR	PRIVATE LIGHT POLE
PL	PUBLIC LIGHT POLE
PR, PL	PUBLIC LIGHT POLE PER ENR 22-0074

OFFICIAL DEVELOPMENT PLAN
IPI ANDS - EILING NO. 1 - BLOCK 5

IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 18 OF 138



UPLANDS

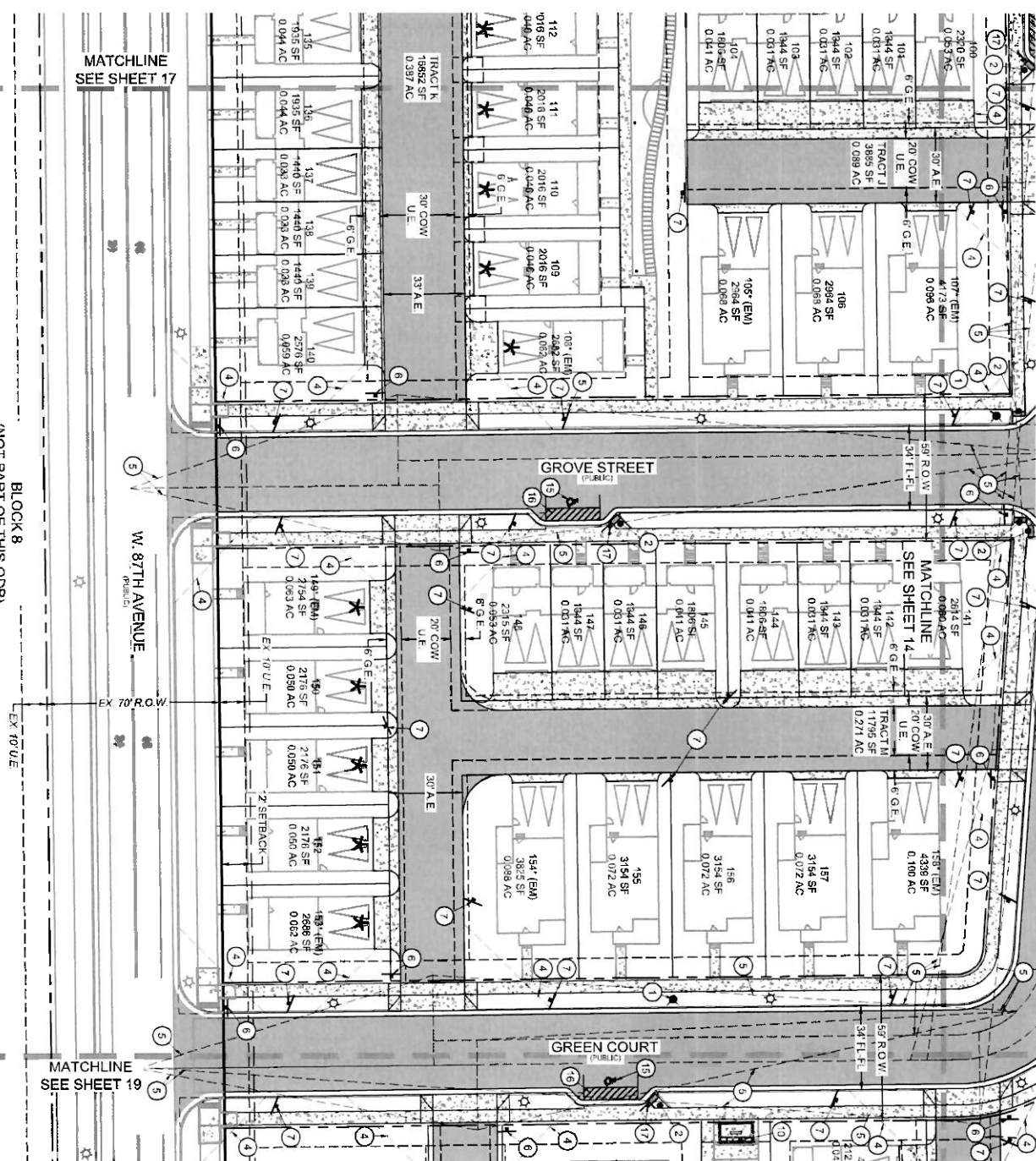
DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS

SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

18 OF 138
SITE PLAN

- * UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS.

KEYNOTE LEGEND:

 - 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MISE RETAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN
 - 7 NO PARKING/FIRE LANE SIGN
 - 8 SUBDIVISION ENTRY SIGN
SUBDIVISION APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT OBTAINED, THE SIGN SHALL BE REMOVED FROM THE OHP
 - 9 BIKE RACK
 - 10 MAIL BOX
 - 11 BENCH
 - 12 UMBRELLA TABLE
 - 13 SHADE PAULOWN
 - 14 PLANT TABLE
 - 15 ACCESSIBLE PARKING SWAOL PER MUTCD FIGURE 9B.22
 - 16 ACCESSIBLE PARKING STRIPING (46" & YELLOW STRIPING AT 2' O.C.)
 - 17 ACCESSIBLE PARKING SIGN
 - 18 SCREEN WALL
 - 19 SEAT WALL
 - 20 PANEL WALL
 - 21 ACCTWT WALL

- 1 NOTES: PROPOSED PUBLIC SPACES ARE
- 2 5 MILES DISTANCE NOTED
- 3 1. ALL PRIVATE WALKS TO STD AND SPA ARE
- 4 2.
- 5 3. ALL PROPOSED CURB & GUTTER IS 8'
- 6 4. VERTICAL
- 7 PLEASE SEE BUILDING AND LOT TYPICALS FOR
- 8 CRITICAL PARAMETERS OF BUILDING'S
- 9 FOOTPRINTS CHANGES WITHIN THESE
- 10 PARAMETERS MAY BE ALLOWED PER THE
- 11 PLANS. HOA WILL BE RESPONSIBLE
- 12 FOR MAINTENANCE OF PARKS.
- 13 5. ALL LIGHTS LOCATED IN/ON OR PUBLIC
- 14 ACCESS EASEMENT ARE PUBLIC.
- 15 EXACT RAILING LOCATIONS AND EXTENTS
- 16 MAY BE ADJUSTED TO ENSURE THAT
- 17 THEY ARE PROVIDED ON ALL WALKS
- 18 OVER 30" IN HEIGHT.
- 19 8. ALL CURB AND GPP SHOW A
- 20 CONSULTED WALK FOR WALKS ALONG
- 21 W 8TH AVE. INDIVIDUAL WALKS HAVE
- 22 BEEN COORDINATED WITH THE CITY TO
- 23 LIMIT TRAMPLING OF VEGETATION.
- 24 SEE PAGE 18 FOR PEDESTRIAN
- 25 CIRCULATION PLAN.

A.E. PUBLIC ACCESS EASEMENT
 A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 19 OF 138



LEGEND

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- ENHANCED ELEVATION
- ENHANCED SIDE MASONRY
- AT STD

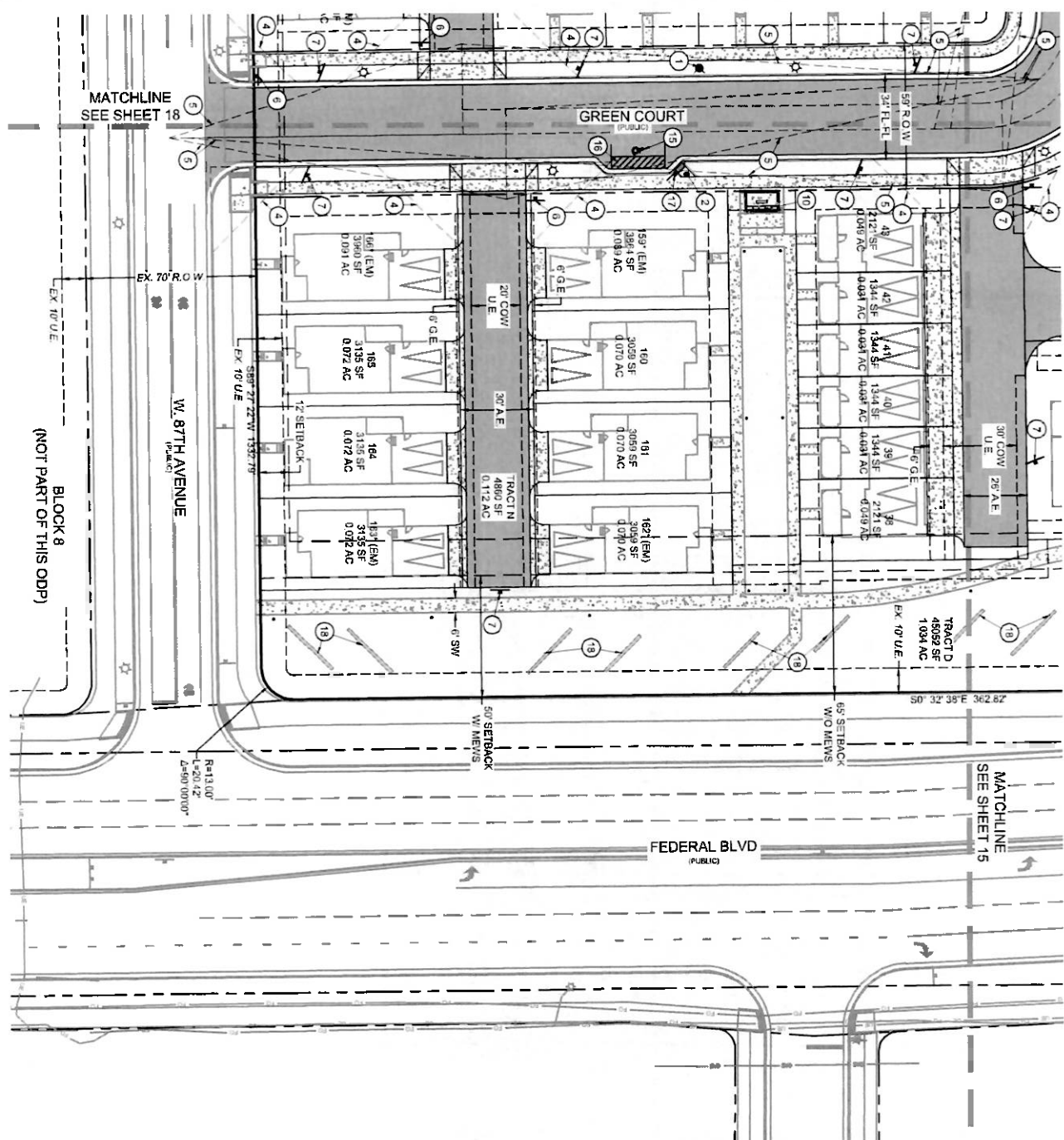
* UNIT WITH REAR UPPER STORY STEP
 BACK TO ACCOMMODATE FIRE
 ACCESS

KEYNOTE LEGEND:

- 1 PR. FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN
- 7 NO PARKING/FIRE LANE SIGN
- 8 SUBDIVISION ENTRY SIGN
- 9 VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP
- 10 BIKE RACK
- 11 MAIL BOX
- 12 BENCH
- 13 UMBRELLA TABLE
- 14 SHADE PAVILION
- 15 PICNIC TABLE
- 16 ACCESSIBLE PARKING SYMBOL
- 17 ACCESSIBLE PARKING STRIP (45' 4" YELLOW STRIPING AT 2' O.C.)
- 18 ACCESSIBLE PARKING SIGN
- 19 SCREEN WALL
- 20 SEAT WALL
- 21 PANEL WALL
- 22 ACCHT WALL

NOTES:

- 1 ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
- 2 ALL PRIVATE WALKS TO STD AND SEA ARE 4'
- 3 ALL PROPOSED CURB & GUTTER IS 6" VERTICAL
- 4 PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
- 5 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
- 6 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
- 7 EXACT RAILING LOCATIONS AND EXTENTS SHALL BE DETERMINED ENSURING THEY ARE PROTECTED ON ALL WALLS OVER 36" IN HEIGHT
- 8 ALTHOUGH NODP AND POP SHOW A CONSOLIDATED WALK FOR UNITS ALONG W 88TH AVE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPLING OF VEGETATION. SEE PAGE 18 FOR PEDESTRIAN CIRCULATION PLAN



UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024

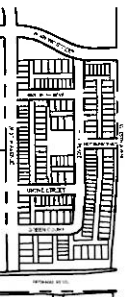


OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS

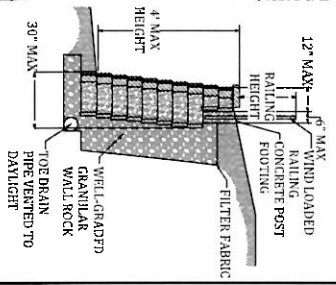
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 20 OF 138

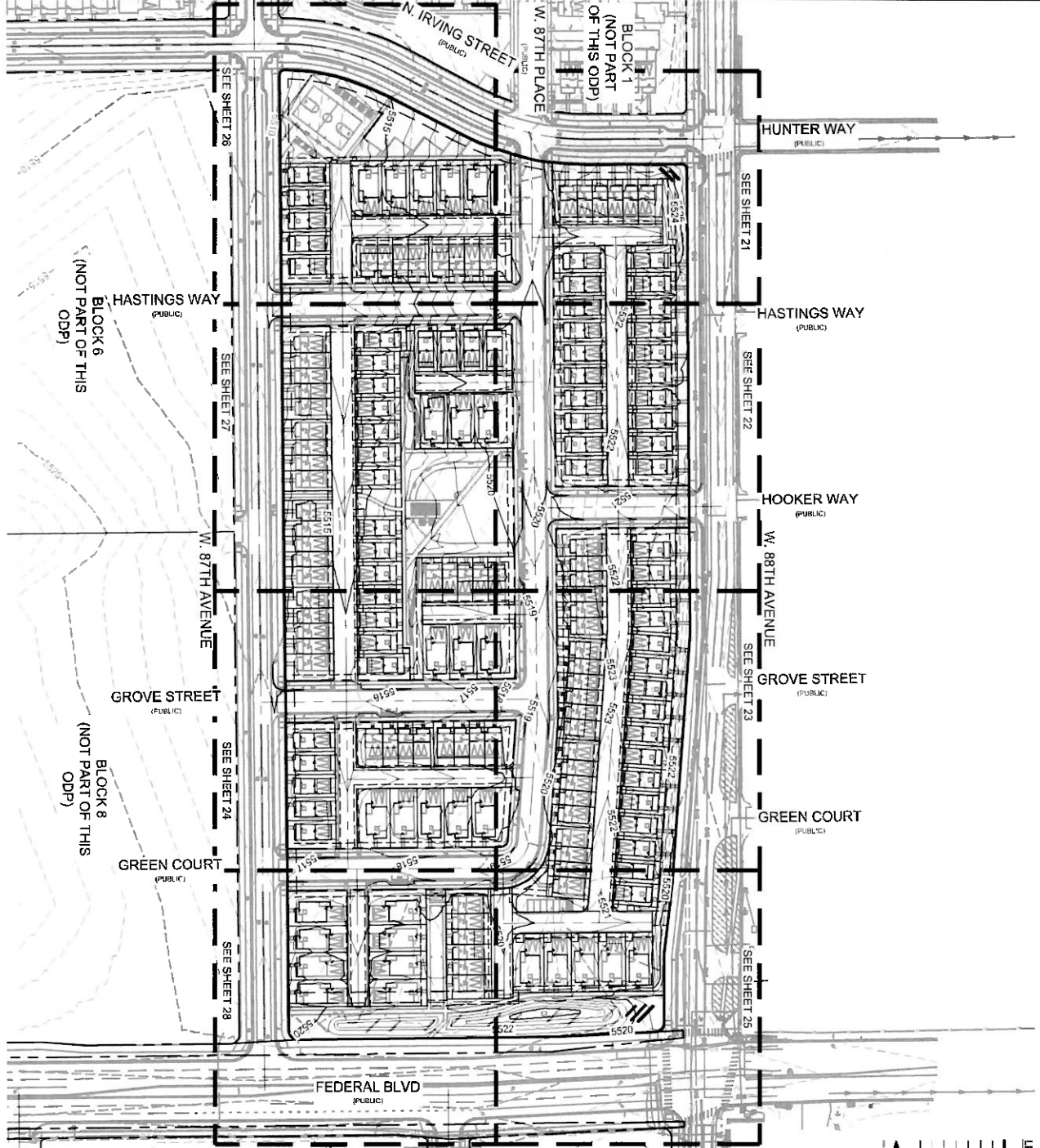


- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR 5500
 - PROPOSED MINOR CONTOUR 5500
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED DRAINAGE
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING

GRAVITY WALL DETAIL



- NOTES:**
1. THIS IS A DESIGN/BUILD ELEMENT BASED UPON EXISTENTIAL CONTRACTOR SELECTION. THE EXACT DIMENSIONS AND DETAILS MAY VARY WITH SPECIFIC WALL MANUFACTURER, BUT WILL GENERALLY REMAIN WITHIN THE PARAMETERS SHOWN HERE.
 2. RETAINING WALL FACE TO BE ALLAN BLOCK AS SHOWN EXTERIOR WITH COLOR EXHIBITS.

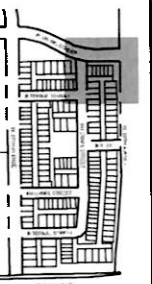


20 OF 138 OVERALL GRADING PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
	REVISIONS
	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5**
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

DATE: 06.14.2024

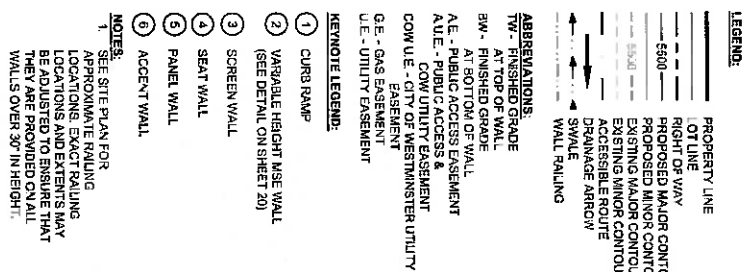
ND-PLANNING NO. 1-BL
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 21 OF 138



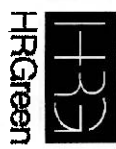
DATE: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

21 OF 138
GRADING PLAN

OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 5 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 22 OF 138

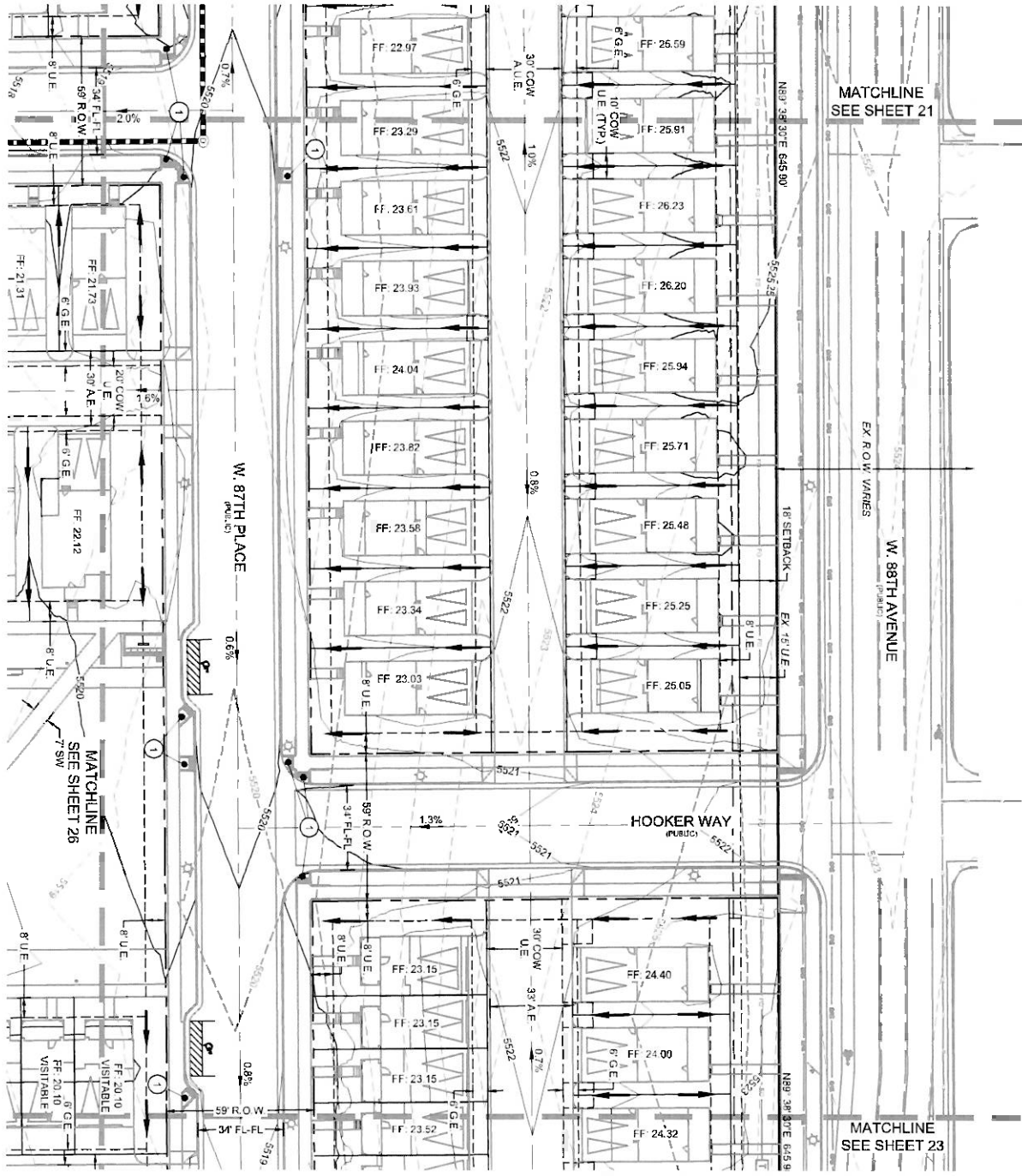


UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DEGRADE ARROW
 - SWALE
 - WALL RAILING
- ABBREVIATIONS:**
- TW - FINISHED GRADE
 - AT TOP OF WALL
 - BW - FINISHED GRADE
 - AT BOTTOM OF WALL
 - A/E - PUBLIC ACCESS EASEMENT
 - COV U/E - CITY OF WESTMINSTER UTILITY EASEMENT
 - G/E - GAS EASEMENT
 - U/E - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- 1 CURB RAMP
 - 2 VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
 - 3 SCREEN WALL
 - 4 SEAT WALL
 - 5 PANEL WALL
 - 6 ACCENT WALL
- NOTES:**
- 1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

COUNTY OF ADAMS, STATE OF COLORADO
SHEET 23 OF 138

OFFICIAL DEVELOPMENT PLAN

A PLANNED UNIT DEVELOPMENT

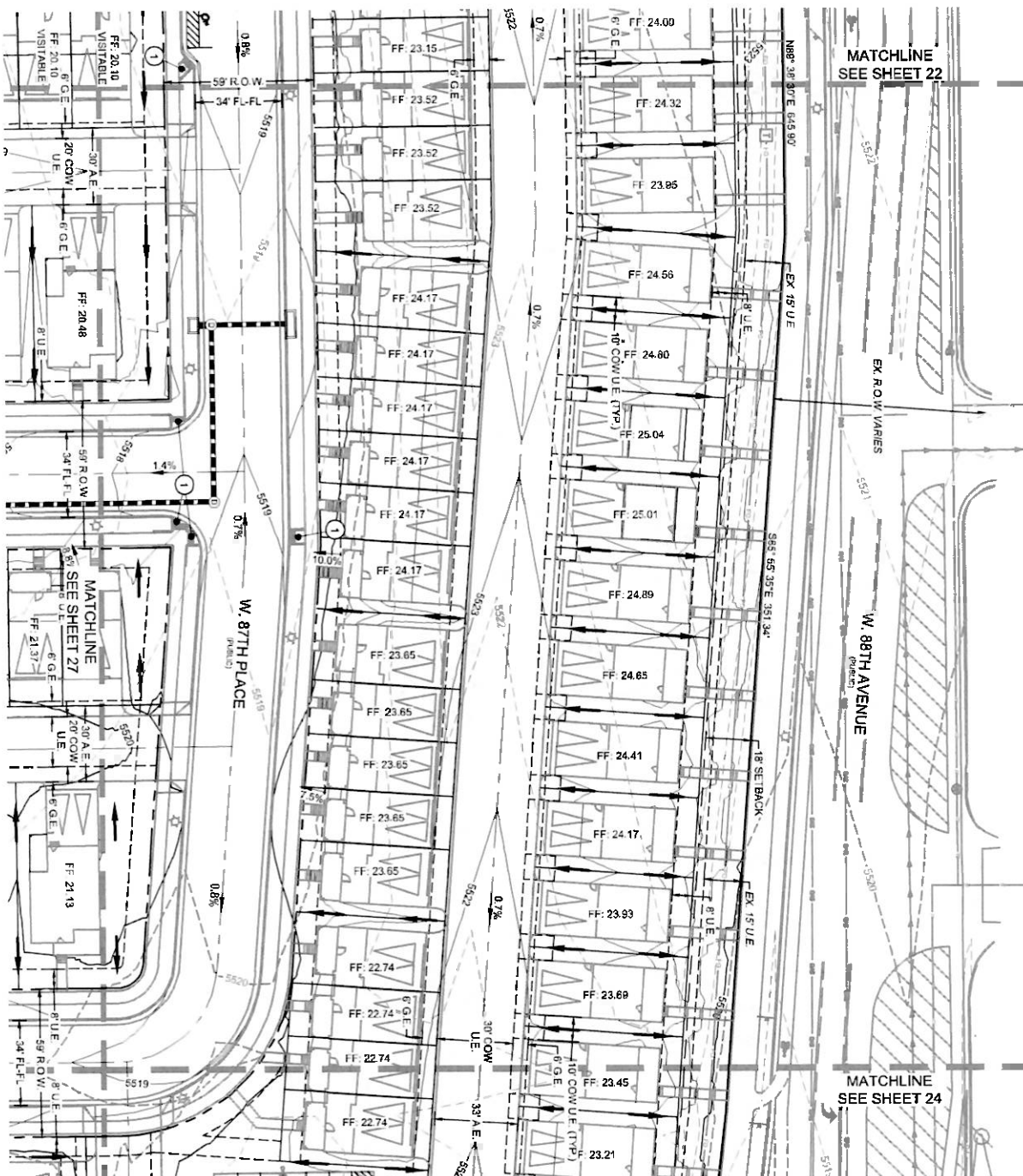
IN THE CITY OF WESTMINSTER

SHEET 23 OF 138



HHGreen

MATCHLINE
SEE SHEET 24



PROPERTY LINE
LOT LINE
RIGHT OF WAY
PROPOSED MAJOR CONTOUR
5500
PROPOSED MINOR CONTOUR
%000
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
ACCESSIBLE ROUTE
DRAINAGE ARROW
SWALE
WALL PAILING

UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS

SUB 01: 11.03.2023

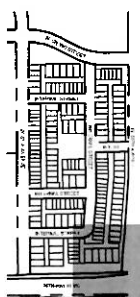
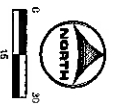
SUB 02: 03.07.2024

SUB 03.05.03.2024

SUB 04: 06.14.2024

23 OF 138
GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 24 OF 138



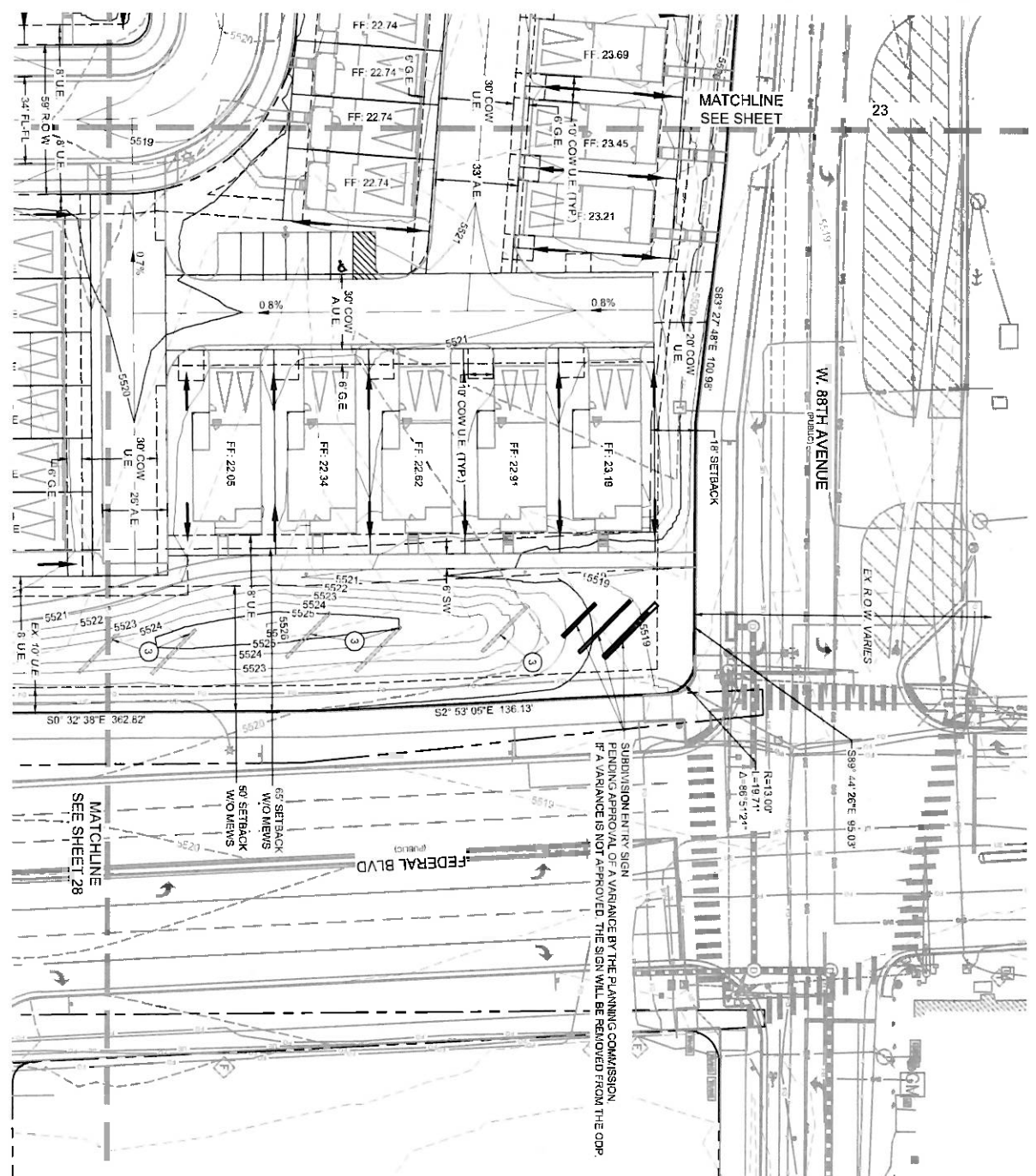
UPLANDS

DATE: 06.14.2024

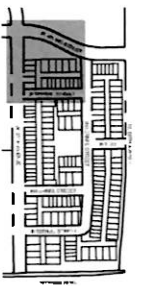
**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTIGUOUS
 - PROPOSED MINOR CONTIGUOUS
 - EXISTING MAJOR CONTIGUOUS
 - EXISTING MINOR CONTIGUOUS
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING
- ABBREVIATIONS:**
- FW - FINISHED GRADE
 - AT - AT TOP OF WALL
 - BW - FINISHED GRADE
 - AT - AT BOTTOM OF WALL
 - AE - PUBLIC ACCESS EASEMENT
 - AUE - PUBLIC ACCESS EASEMENT
 - COUE - CITY OF WESTMINSTER UTILITY EASEMENT
 - GE - GAS EASEMENT
 - UE - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- 1 CURB RAMP
 - 2 VARIABLE HEIGHT WIRE WALL (SEE DETAIL ON SHEET 20)
 - 3 SCREEN WALL
 - 4 SEAT WALL
 - 5 PANEL WALL
 - 6 ACCENT WALL
- NOTES:**
- 1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 36" IN HEIGHT.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 25 OF 138



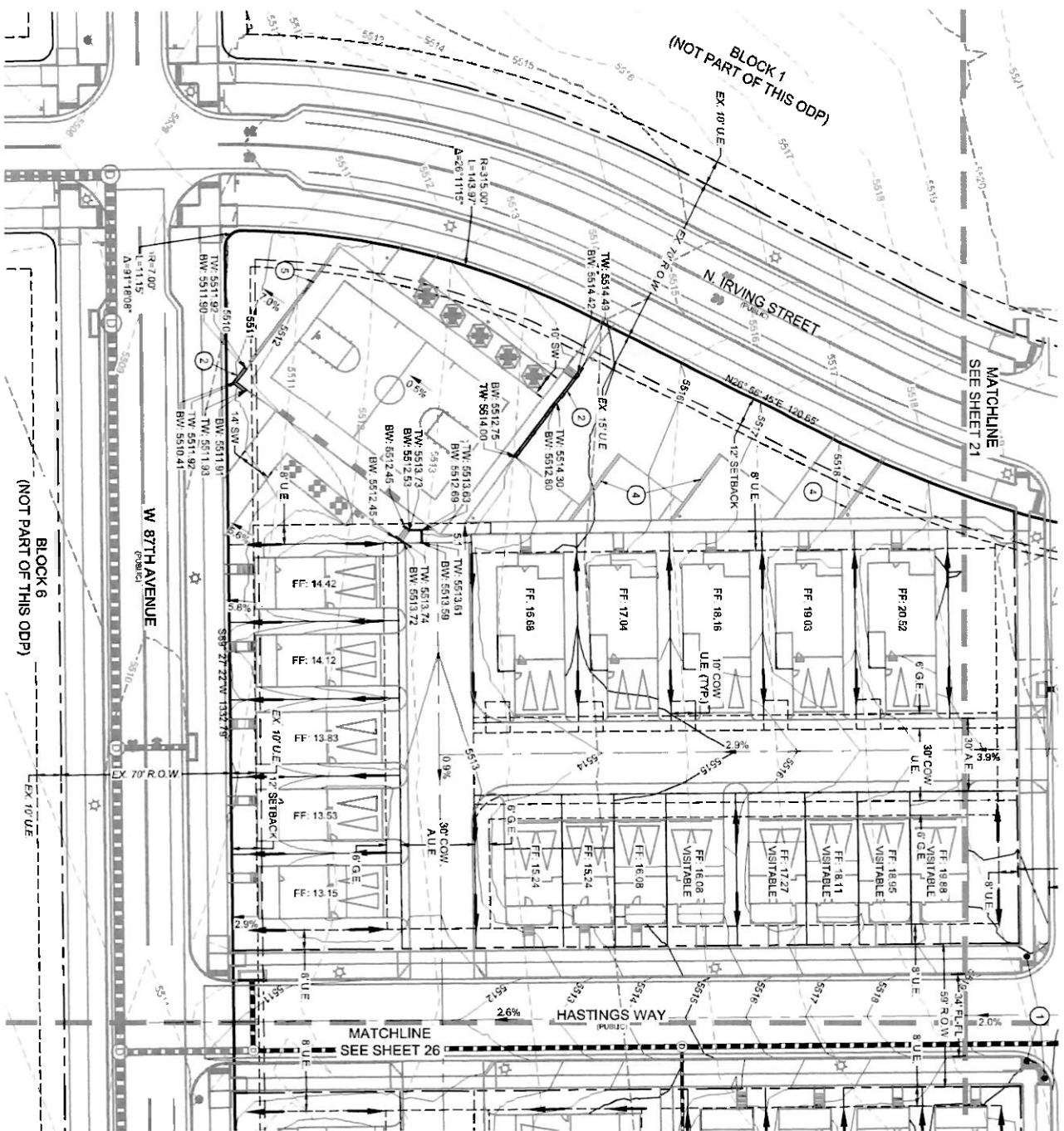
UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

25 OF 138
 GRADING PLAN

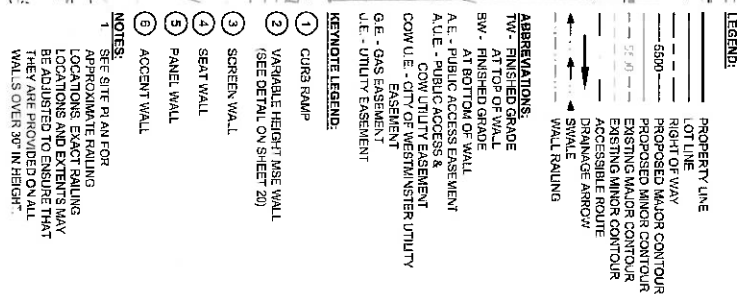


- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SWALE
 - WALL PAULING
- ABBREVIATIONS:**
- FW - FINISHED GRADE
 - AT - AT TOP OF WALL
 - BW - FINISHED GRADE
 - AT - AT BOTTOM OF WALL
 - A.E. - PUBLIC ACCESS EASEMENT
 - A.U.E. - PUBLIC ACCESS & UTILITY EASEMENT
 - COW U.E. - CITY OF WESTMINSTER UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- 1 CURB RAMP
 - 2 VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
 - 3 SCREEN WALL
 - 4 SEAT WALL
 - 5 PANEL WALL
 - 6 ACCENT WALL
- NOTES:**
- SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 36" IN HEIGHT.

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 26 OF 138



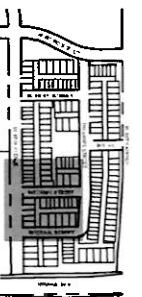
Publications



DATE: 06.14.2024

26 OF 138
GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 27 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL TYPING

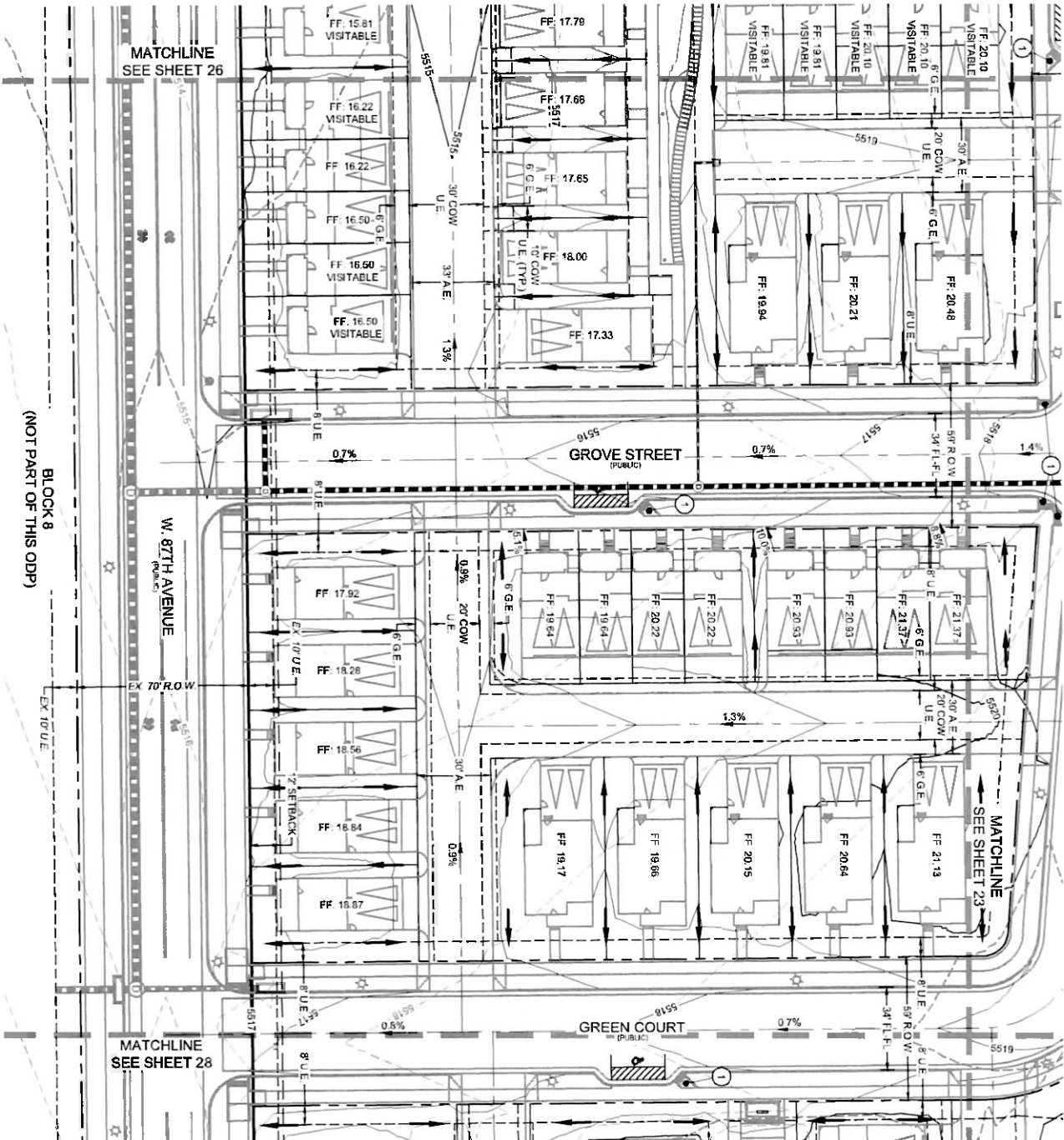
- ABBREVIATIONS:**
- FW - FINISHED GRADE
 - TV - AT TOP OF WALL
 - BW - FINISHED GRADE
 - AT - AT BOTTOM OF WALL
 - AE - PUBLIC ACCESS EASEMENT
 - AUE - PUBLIC ACCESS & COW UTILITY EASEMENT
 - COW UTILITY EASEMENT
 - COU UTILITY EASEMENT
 - UE - UTILITY EASEMENT
 - GE - GAS EASEMENT

KEYNOTE LEGEND:

- 1 CURB RAMP
- 2 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 20)
- 3 SCREEN WALL
- 4 SEAT WALL
- 5 PANEL WALL
- 6 ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS

DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

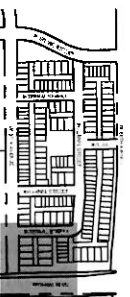
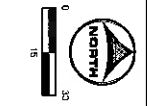
REVISIONS

- SUB 01: 11.03.2023
- SUB 02: 03.07.2024
- SUB 03: 05.03.2024
- SUB 04: 06.14.2024

27 OF 138
 GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 28 OF 138

0' 15' 30'



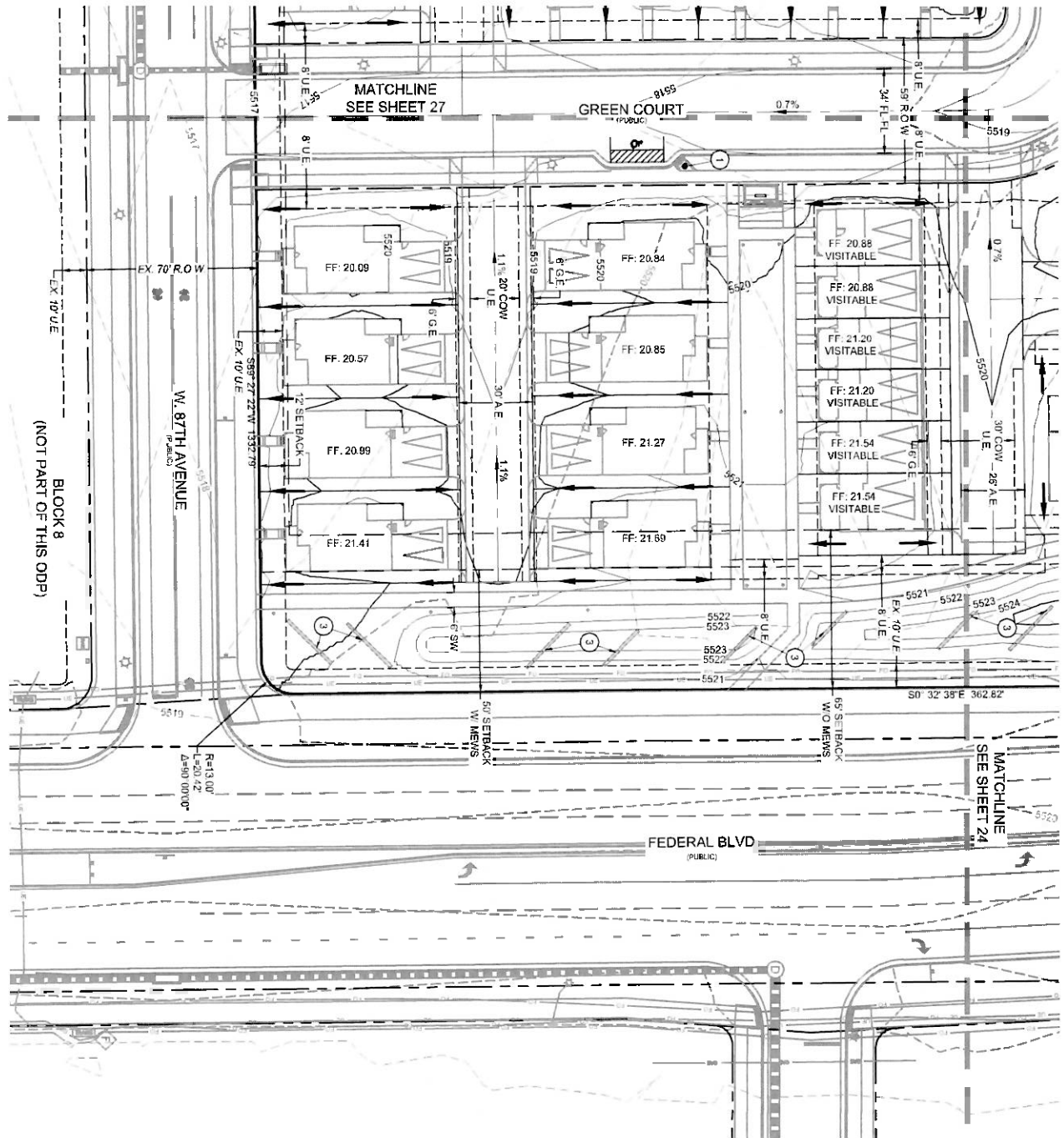
UPLANDS

DATE: 06.14.2024

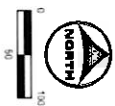
**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

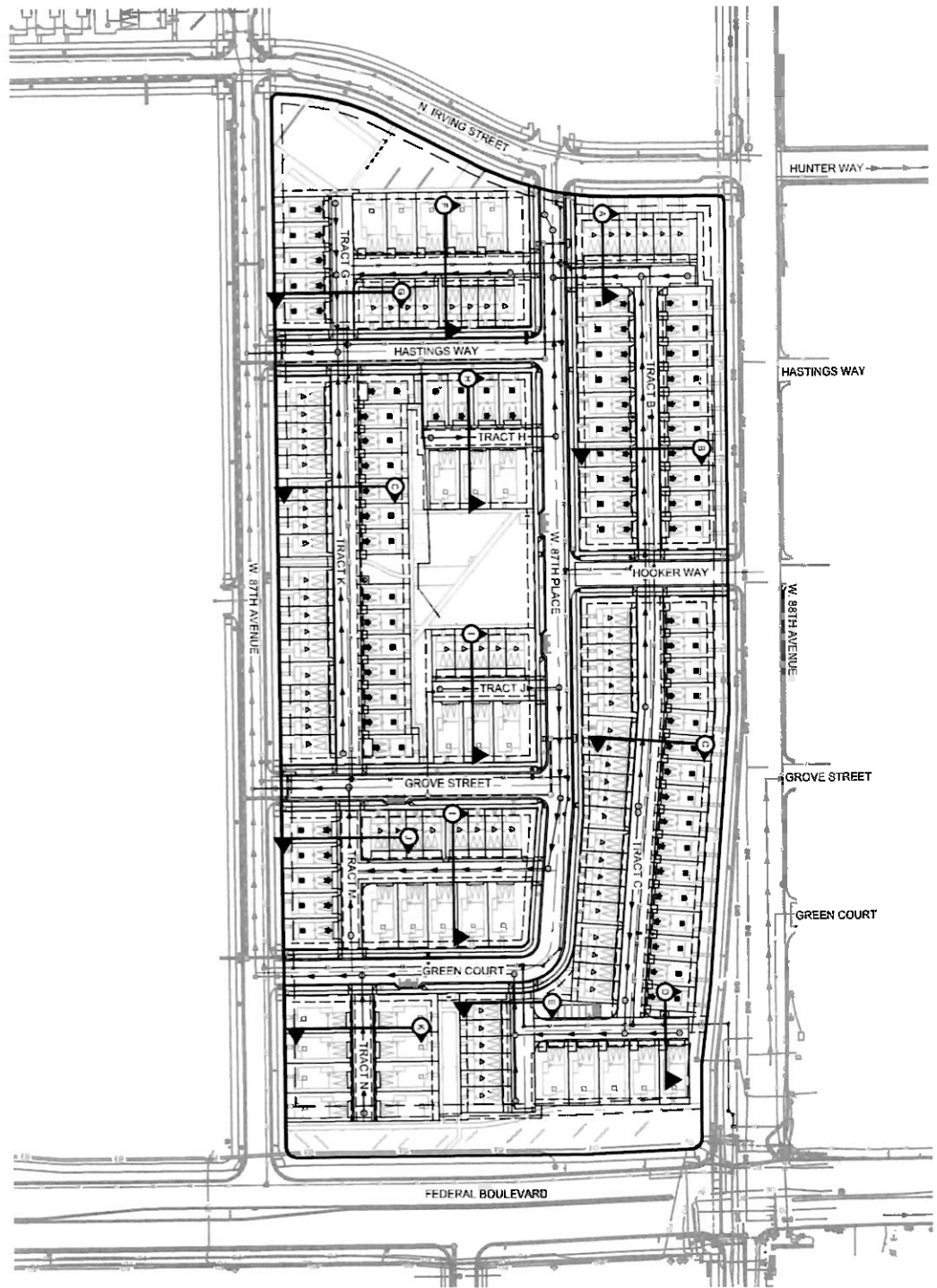
28 OF 138
 GRADING PLAN



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 29 OF 138



- LEGEND**
- SINGLE FAMILY DETACHED (3-STORY)
 - SINGLE FAMILY DETACHED (2-STORY)
 - ▲ TOWNHOUSE (3-STORY)
 - UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS
 - WATER MAIN
 - SANITARY SEWER MAIN
 - STORM SEWER
- NOTE:**
 PROPOSED ALLEY SECTION SYMBOLS SHOWN ON THIS KEYMAP REFLECT THE ALLEY SECTIONS SHOWN ON SHEETS 30 - 33



29 OF 138 TYPICAL SECTIONS KEYMAP	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
	REVISIONS	
	SUB 01: 11.03.2023	
	SUB 02: 03.07.2024	
	SUB 03: 05.03.2024	
	SUB 04: 06.14.2024	

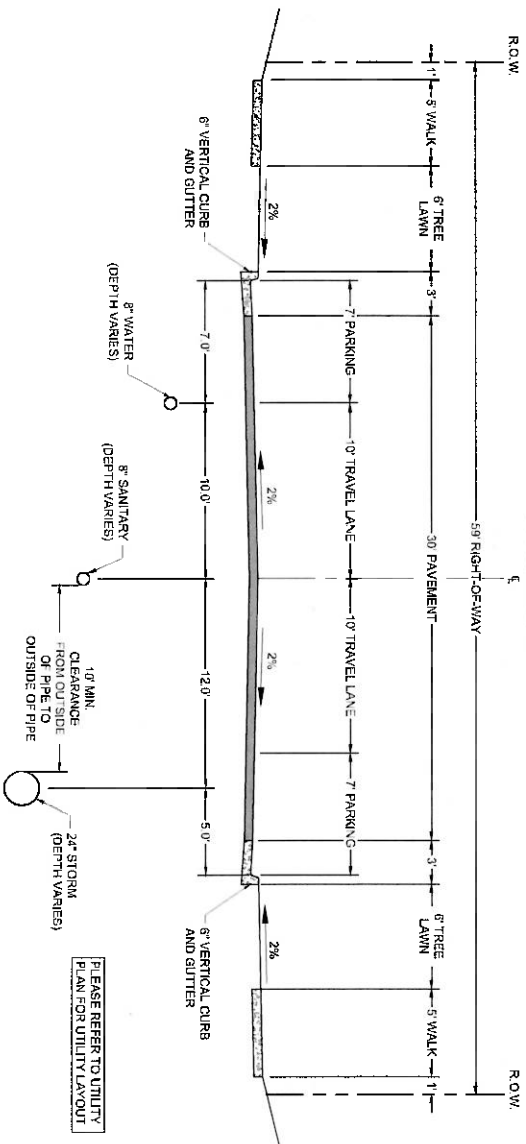
**UPLANDS FILING NO. 1
 BLOCK 5**
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO




DATE: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 30 OF 138

LOCAL W/ DETACHED WALK
W. 87TH PLACE, HASTINGS WAY,
HOOKEWAY, GROVE STREET, GREEN COURT



UPLANDS

DATE: 06.14.2024



UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

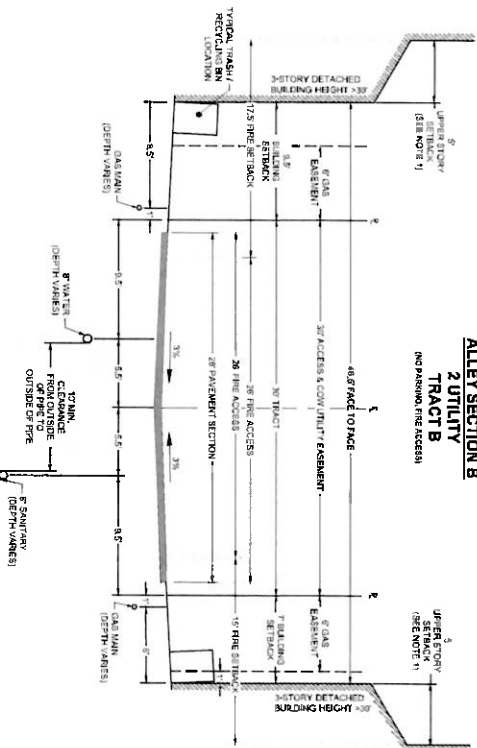
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS

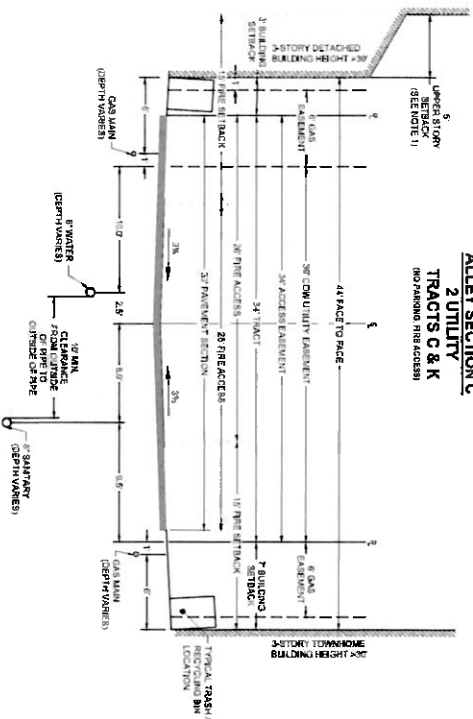
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

30 OF 138
 TYPICAL SECTIONS

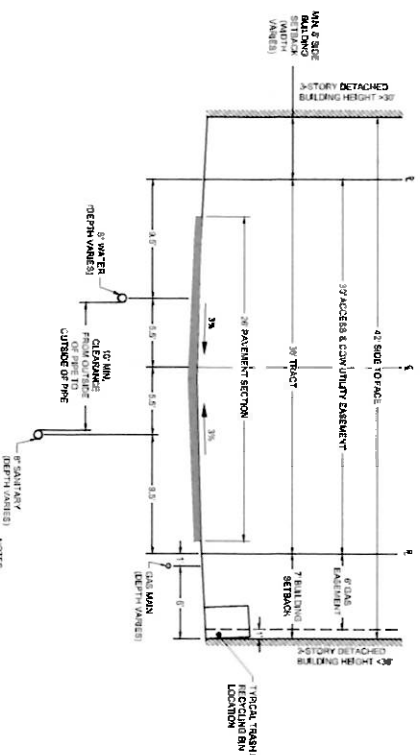
2 UTILITY TRACT B
(TWO PARCELS, PREACRES)



2 UTILITY TRACTS C & K
(NO PARKING, FIRE ACCESS)

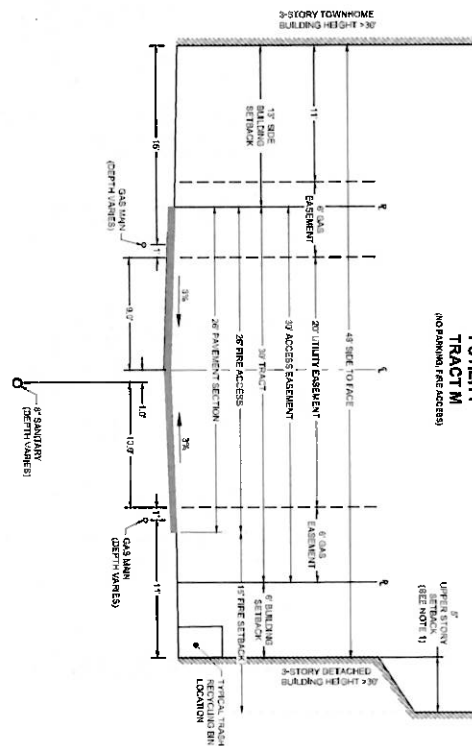


2 UTILITY TRACT C
(NO PARKING, FIRE ACCESS)

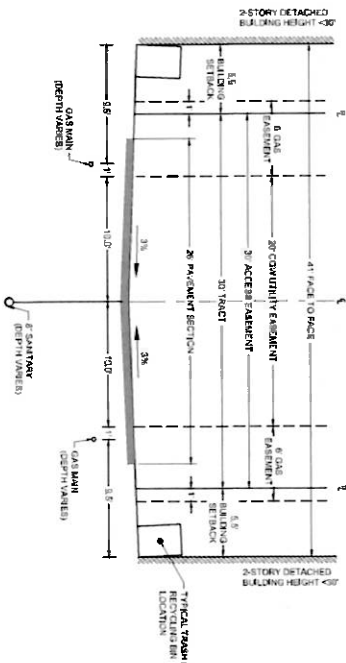


31 OF 138

TRACTS J & M
(NO PARADE, FIRE ACCESS)



TRACT N
(NO PARKING, FIRE ACCESS)

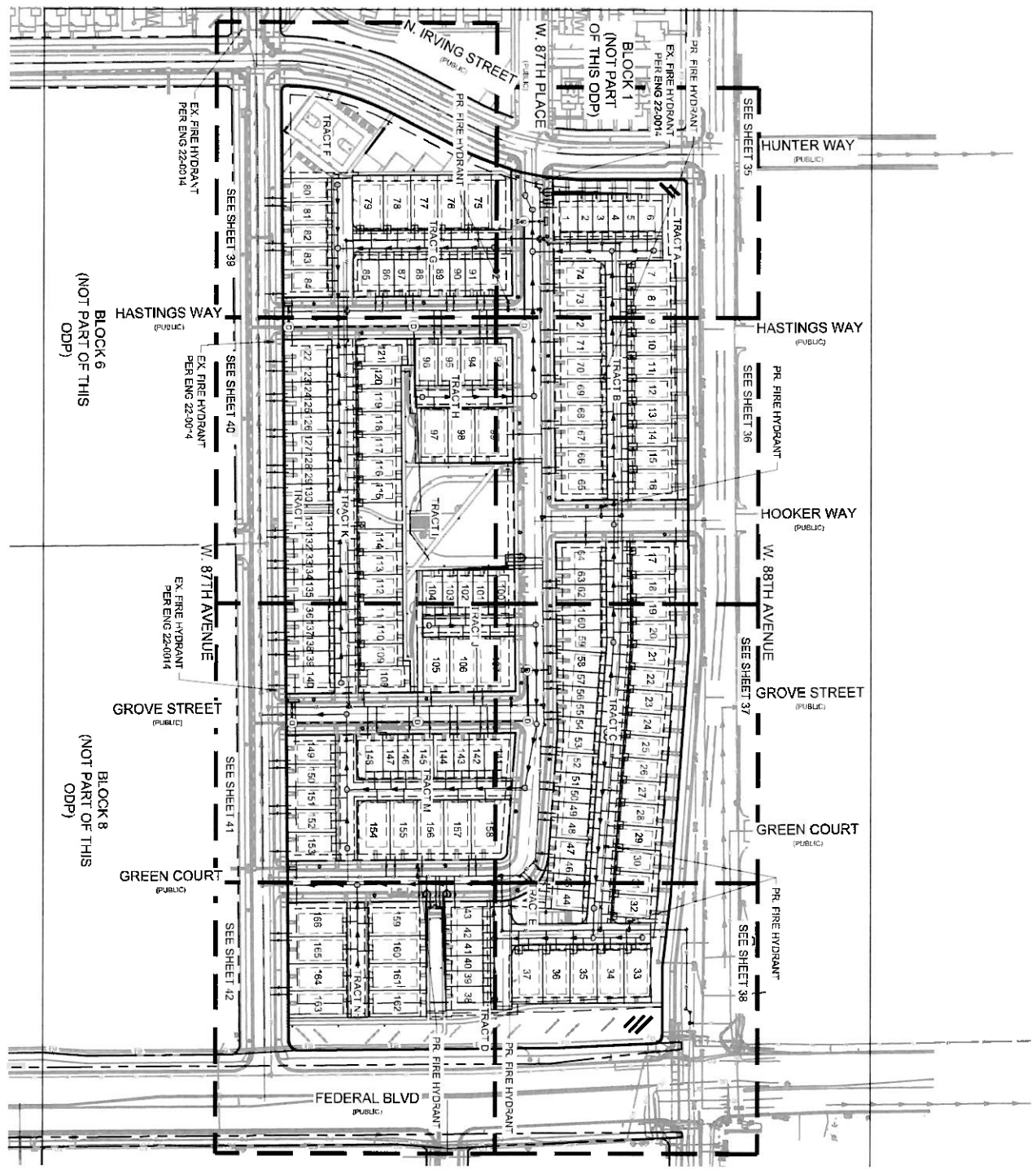
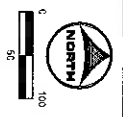


33 OF 138
TYPICAL SECTIONS

DATE: 06.14.2024



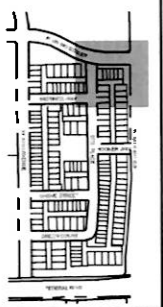
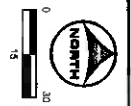
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 34 OF 138



34 OF 138 <small>OVERALL UTILITY PLAN</small>	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO	 UPLANDS	 HRCreen
	REVISIONS			
	SUB 01: 11.03.2023			
	SUB 02: 03.07.2024			
	SUB 03: 05.03.2024		DATE: 06.14.2024	
	SUB 04: 06.14.2024			

ABBREVIATIONS:
 A.E. PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. CITY OF WESTMINSTER GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0074

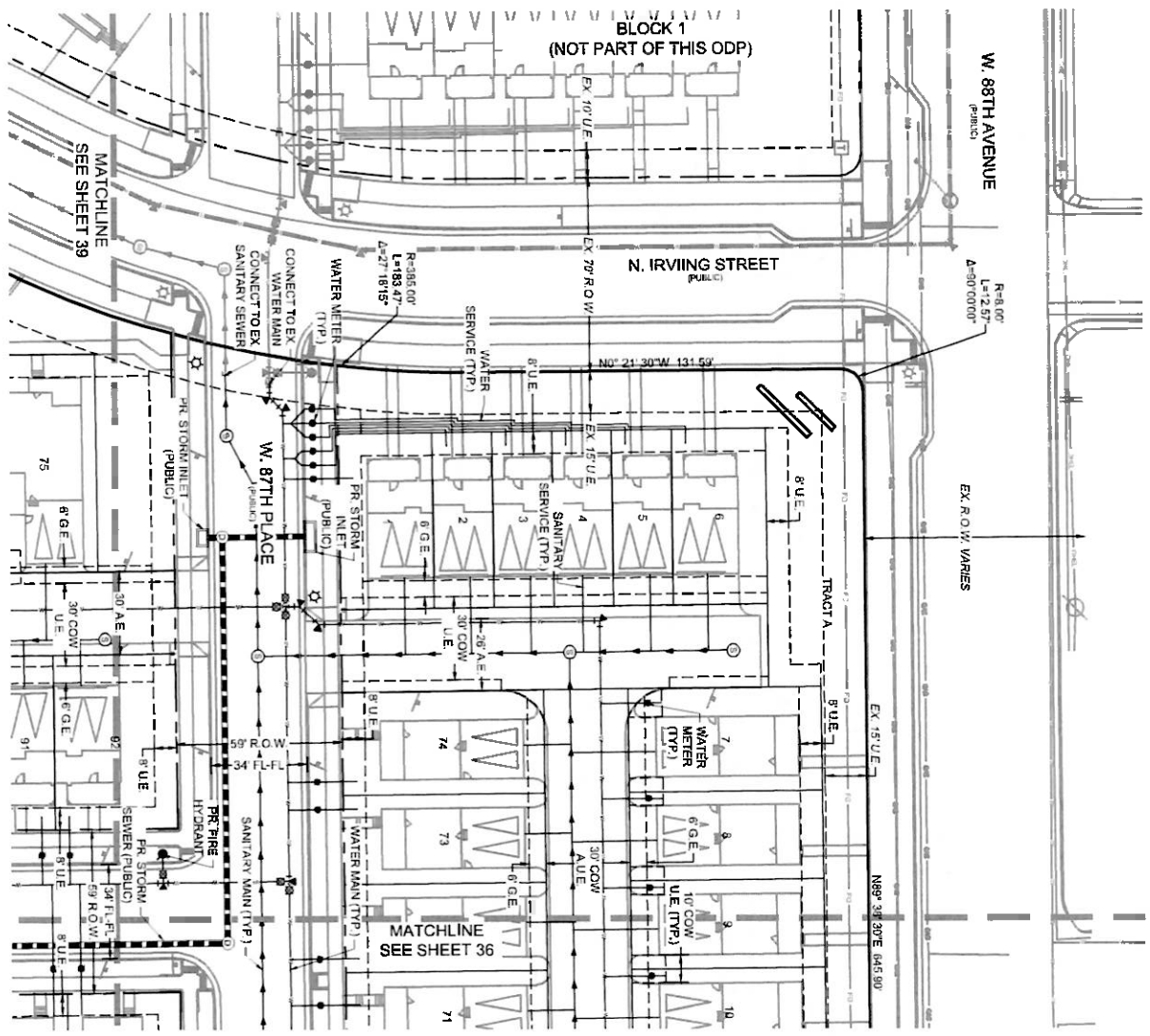
**OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 5**
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 35 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR. SANITARY SEWER
- PR. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- PR. WATER SERV. & METER
- PR. FIRE HYDRANT
- EX. WATER LINE
- EX. FIRE HYDRANT
- PR. STORM SEWER
- PR. STORM MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS

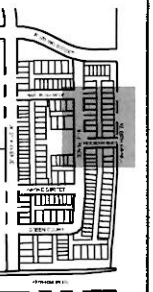
DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

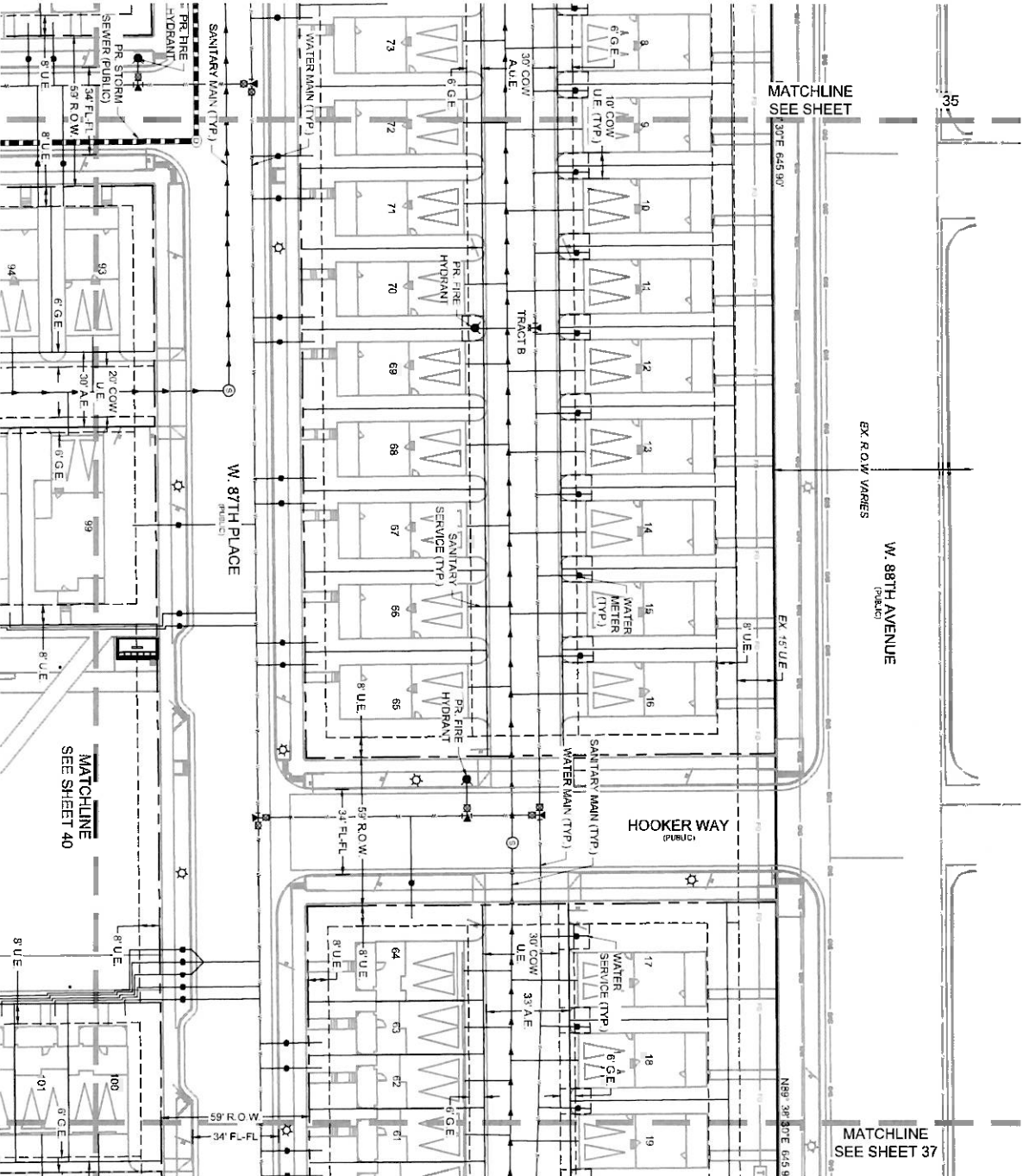
ABBREVIATIONS:
 AE. PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COW A.E. CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT
 PR. PRIVATE LIGHT POLE
 PR. PUBLIC LIGHT POLE
 PR. PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 36 OF 138



UPLANDS

DATE: 06.14.2024



NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC

- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR. SANITARY SEWER
 - PR. SANITARY MANHOLE
 - EX. SANITARY SEWER
 - EX. SANITARY MANHOLE
 - PR. WATER LINE
 - PR. WATER SERV. & METER
 - PR. FIRE HYDRANT
 - EX. WATER LINE
 - EX. FIRE HYDRANT
 - PR. STORM SEWER
 - PR. STORM MANHOLE
 - EX. STORM SEWER
 - EX. STORM MANHOLE
 - EX. STORM INLET

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

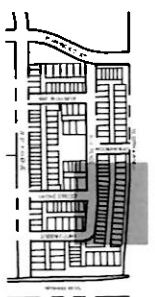
REVISIONS

SUB 01: 11.03.2023
 SUB 02: 03.07.2024
 SUB 03: 05.03.2024
 SUB 04: 06.14.2024

36 OF 138
 UTILITY PLAN

ABBREVIATIONS:
 A.E. PUBLIC ACCESS EASEMENT
 C.O.W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 C.O.A.U.E. COUNTY OF ADAMS UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT
 P.R. PRIVATE LIGHT POLE
 P.R. PUBLIC LIGHT POLE
 P.R. PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 37 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- P.R. SANITARY SEWER
- P.R. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- P.R. WATER LINE
- P.R. WATER SERV. & METER
- P.R. FIRE HYDRANT
- EX. FIRE HYDRANT
- EX. WATER LINE
- P.R. FIRE HYDRANT
- P.R. STORM SEWER
- EX. STORM SEWER
- P.R. STORM MANHOLE
- EX. STORM MANHOLE
- EX. STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



37 OF 138 UTILITY PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO			
	REVISIONS				DATE: 06.14.2024
	SUB 01: 11.03.2023 SUB 02: 03.07.2024 SUB 03: 05.03.2024 SUB 04: 06.14.2024				

ABBREVIATIONS:
 AE PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COWA U.E. COW PUBLIC ACCESS & UTILITY EASEMENT
 G.E. GAS EASEMENT
 SW SIDEWALK
 U.E. UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 38 OF 138

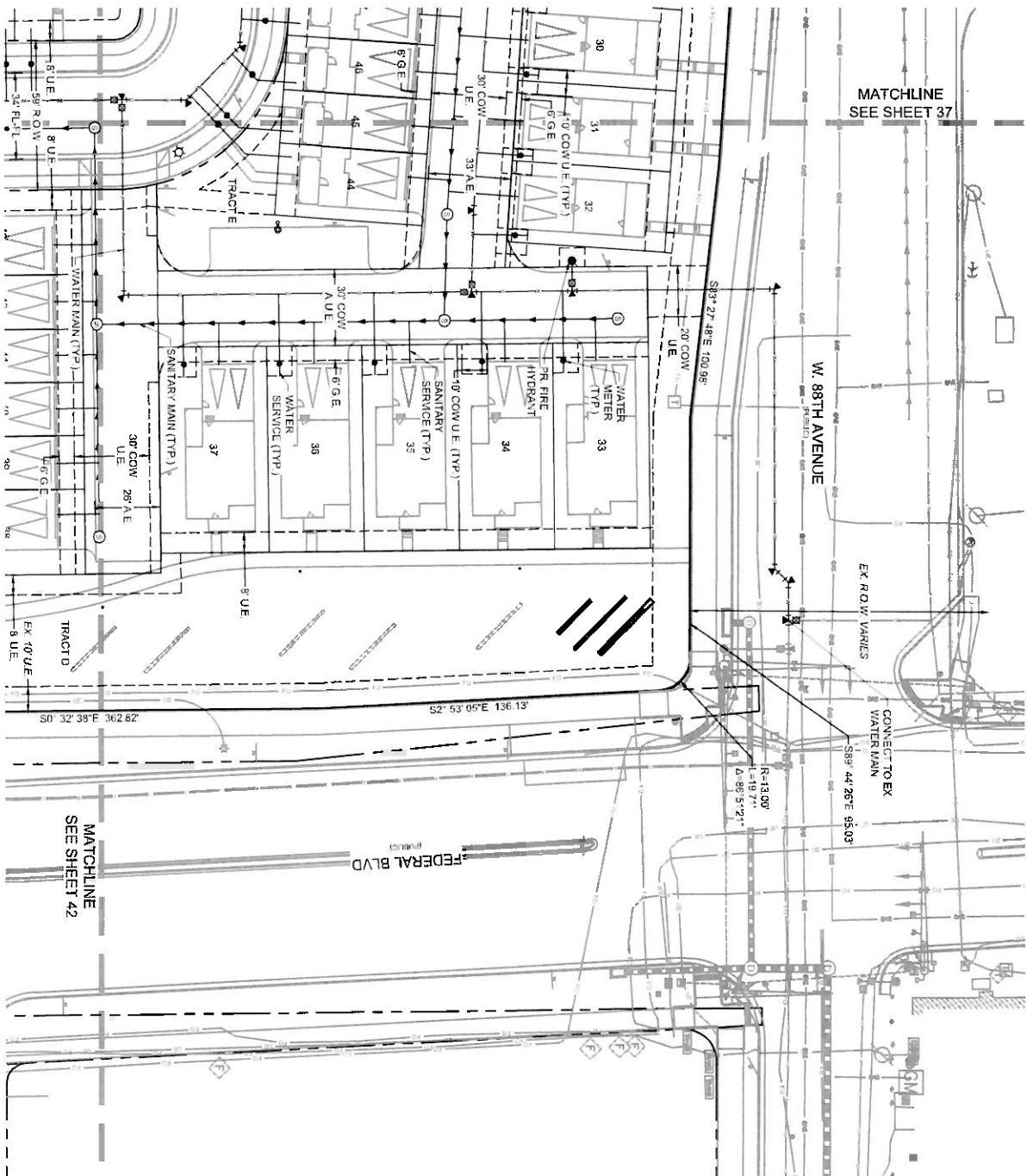


UPLANDS

DATE: 06.14.2024

- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR. SANITARY SEWER
 - PR. SANITARY MANHOLE
 - EX. SANITARY SEWER
 - EX. SANITARY MANHOLE
 - PR. WATER LINE
 - PR. WATER SERV. METER
 - PR. FIRE HYDRANT
 - EX. WATER LINE
 - EX. FIRE HYDRANT
 - PR. STORM SEWER
 - PR. STORM MANHOLE
 - EX. STORM SEWER
 - EX. STORM MANHOLE
 - EX. STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC

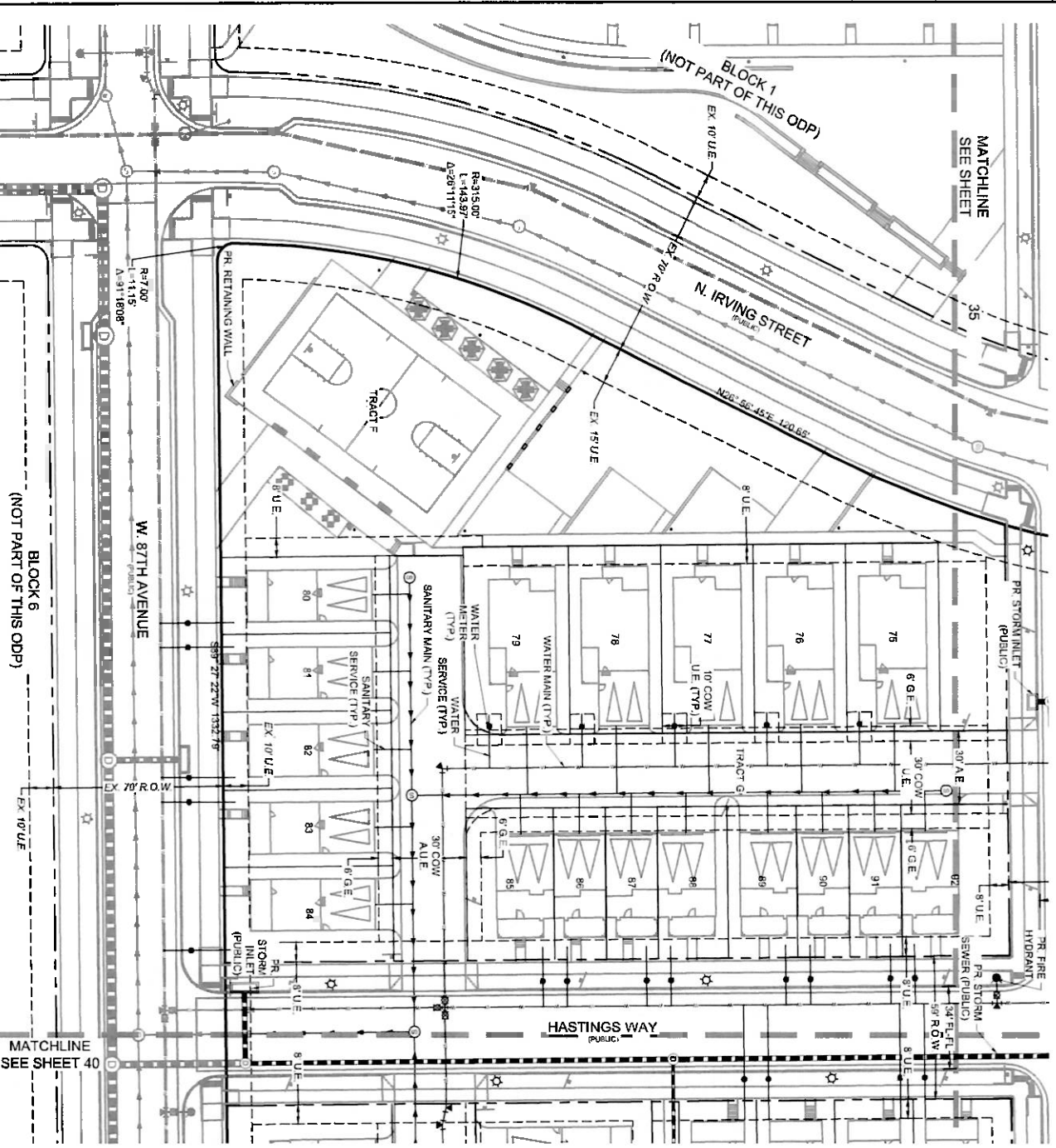


UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

ABBREVIATIONS:
 A.E. PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COW A.U.E. COW PUBLIC ACCESS & UTILITY EASEMENT
 G.E. GAS EASEMENT
 SW UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 39 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- PR WATER LINE
- PR WATER SERV & METER
- PR FIRE HYDRANT
- EX WATER LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

ABBREVIATIONS:
 A.E. PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COW A.E. COW PUBLIC ACCESS & UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

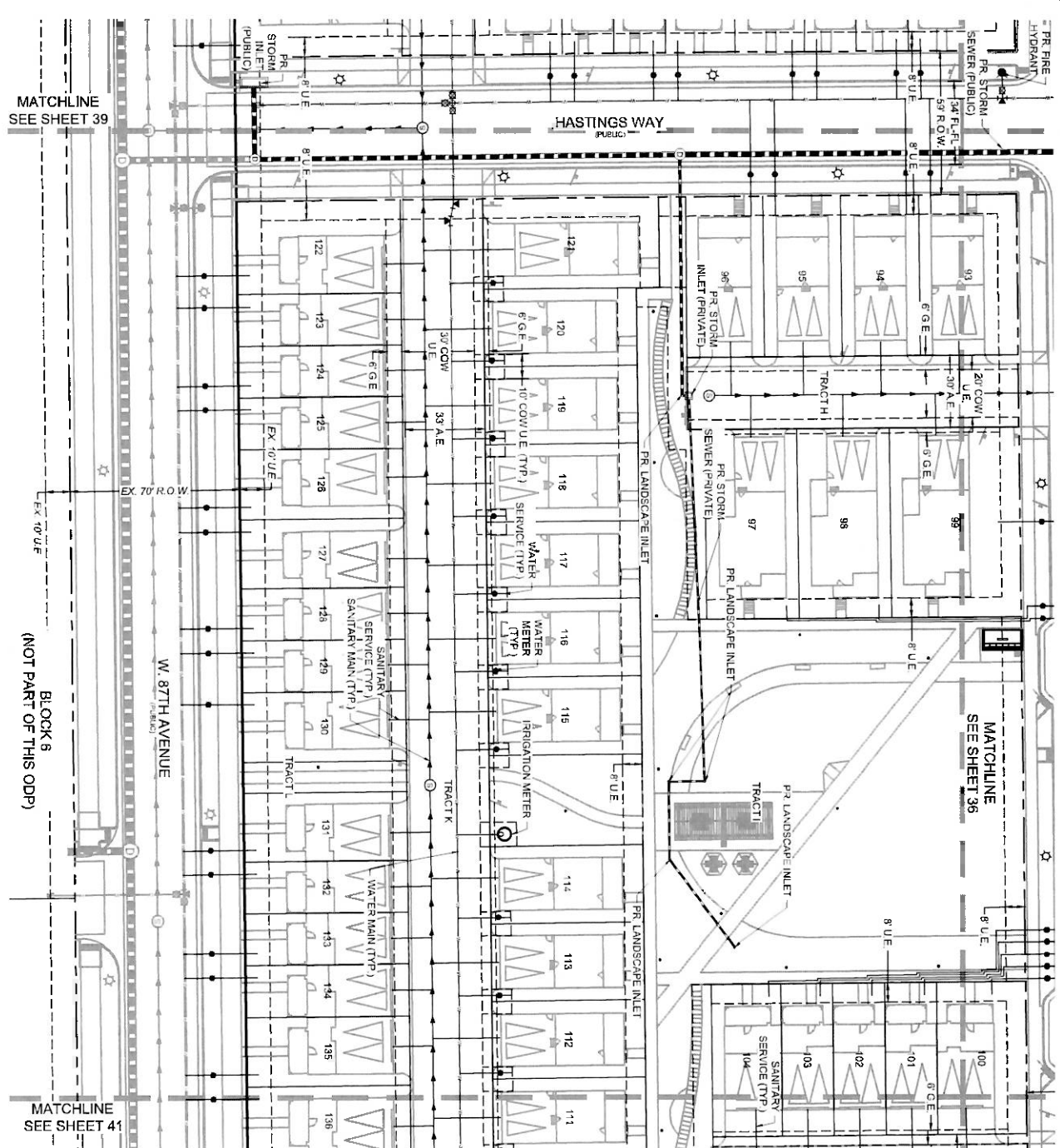
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 40 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- PR WATERLINE
- PR WATER SERV. METER
- PR FIRE HYDRANT
- EX WATERLINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM INLET
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC



MATCHLINE
SEE SHEET 39

MATCHLINE
SEE SHEET 41

BLOCK 5
(NOT PART OF THIS ODP)

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

ABBREVIATIONS:
 AE PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COW A U.E. COW PUBLIC ACCESS & UTILITY EASEMENT
 G.E. GAS EASEMENT
 SW SIDEWALK
 U.E. UTILITY EASEMENT

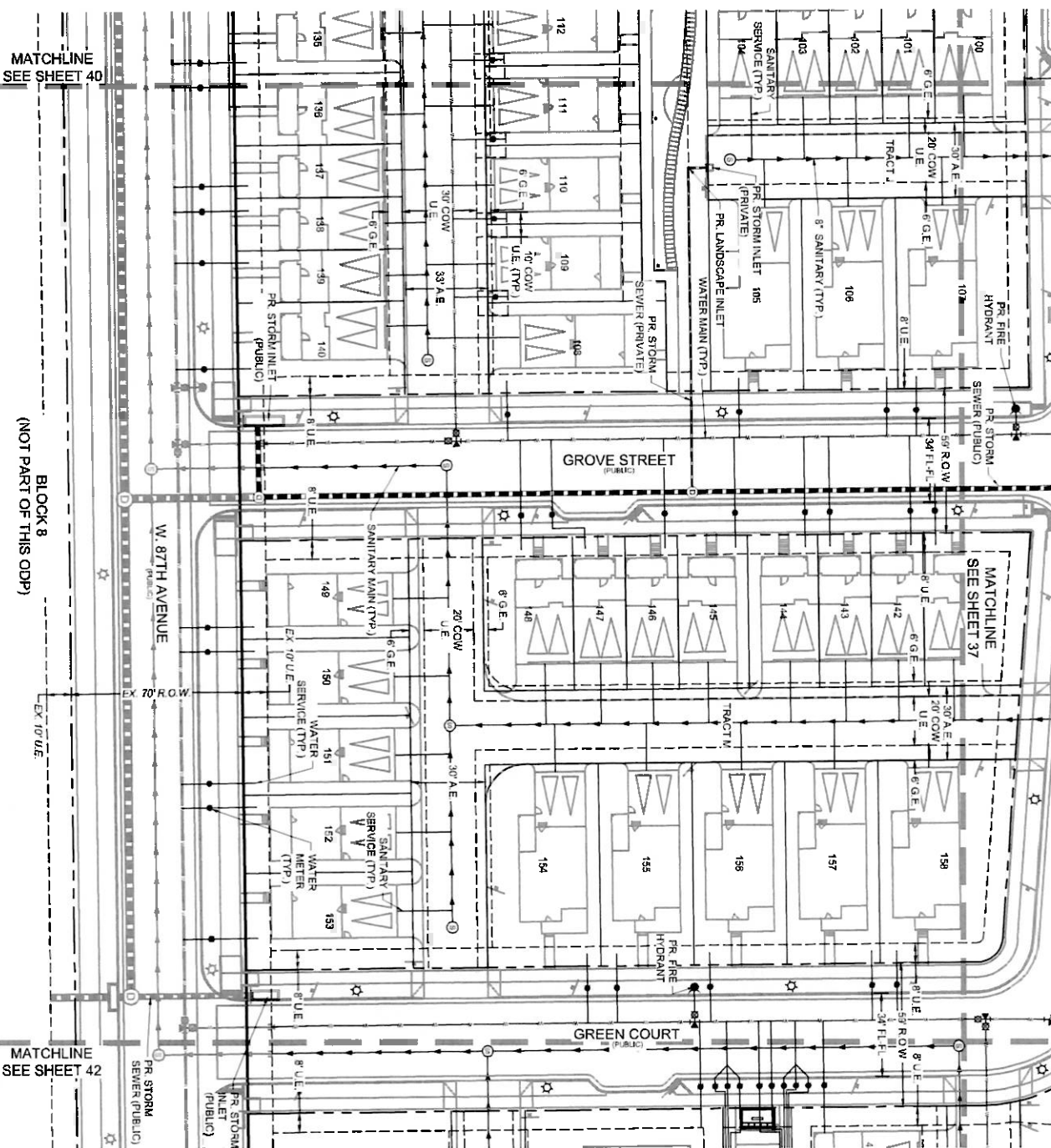
PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

**OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 5**
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 41 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - EX SANITARY SEWER
 - EX SANITARY MANHOLE
 - PR WATER LINE
 - PR WATER SERV. & METER
 - PR FIRE HYDRANT
 - EX WATER LINE
 - EX FIRE HYDRANT
 - PR STORM SEWER
 - PR STORM MAN-HOLE
 - EX STORM SEWER
 - EX STORM MAN-HOLE
 - EX STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS

DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

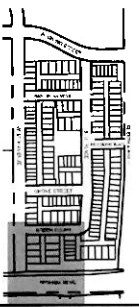
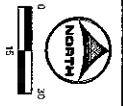
REVISIONS

SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

41 OF 138
 UTILITY PLAN

ABBREVIATIONS:
 A/E PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COW A.U.E. COW PUBLIC ACCESS & UTILITY EASEMENT
 CSE EASEMENT
 S/E SANITARY EASEMENT
 U/E UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

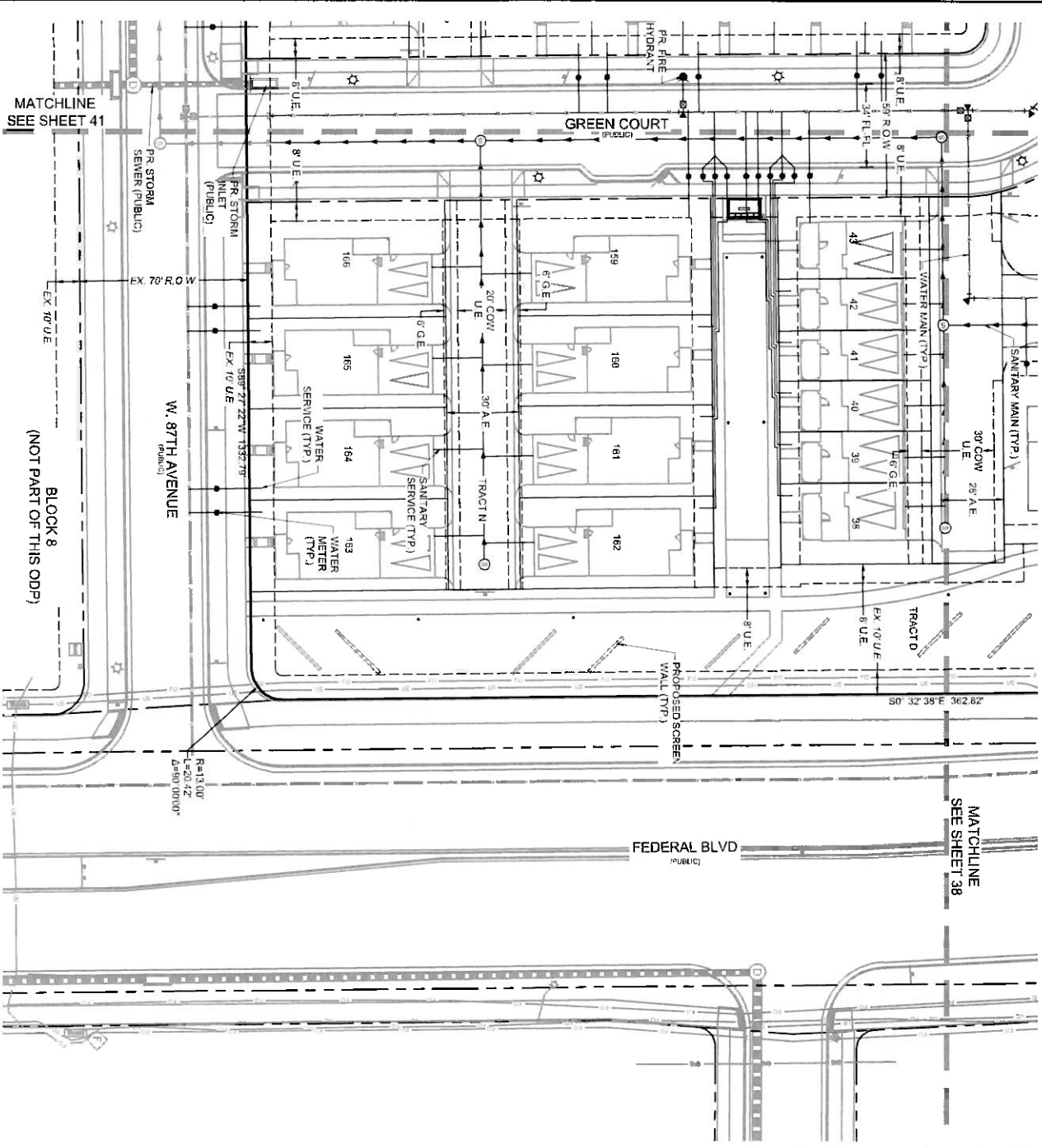
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 42 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- PR WATERLINE
- PR WATER SERV & METER
- PR FIRE HYDRANT
- EX WATER LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- PR STORM INLET
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC



UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

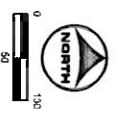
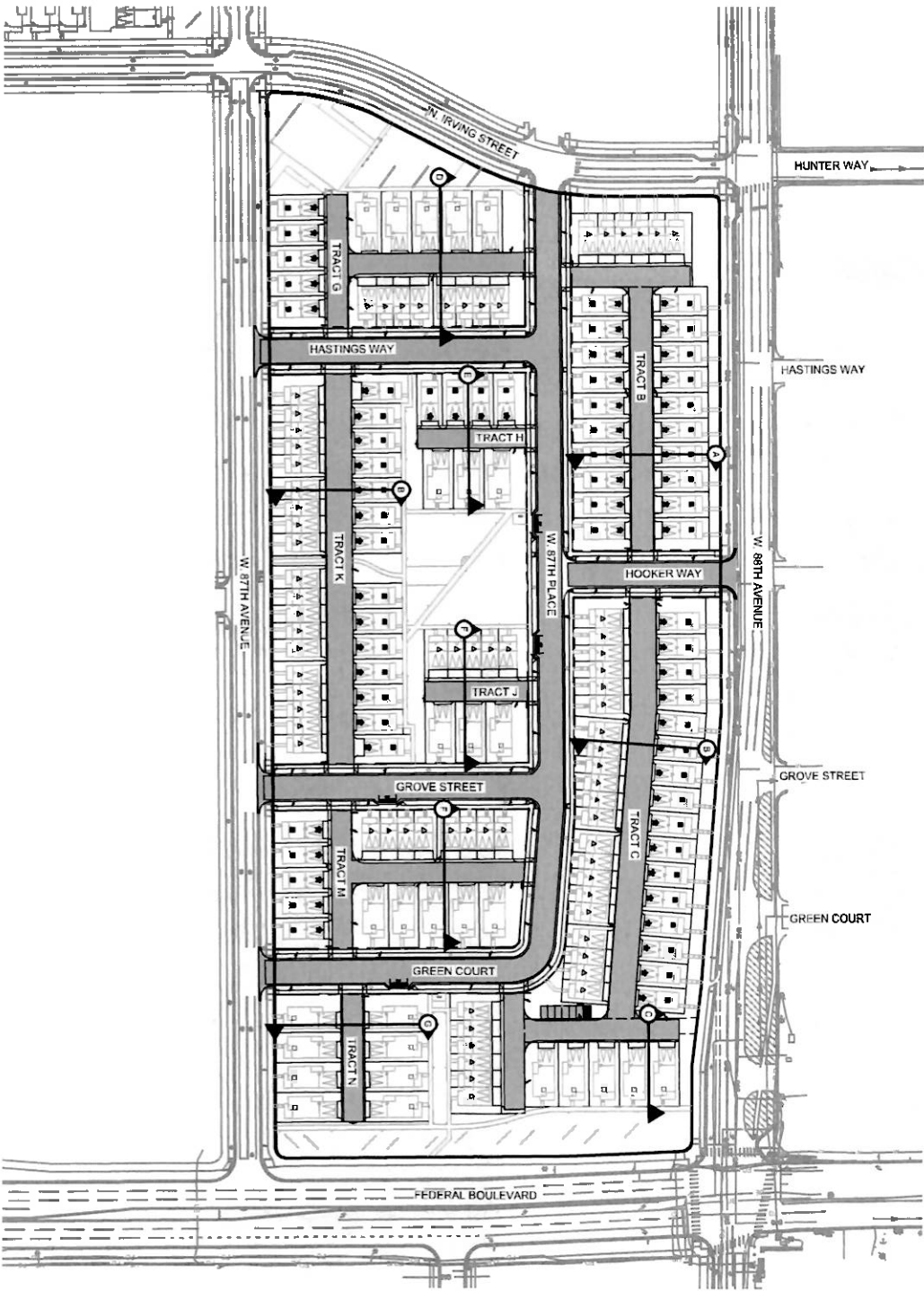
UPLANDS

DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01: 11.03.2023	
SUB 02: 03.07.2024	
SUB 03: 05.03.2024	
SUB 04: 06.14.2024	

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 43 OF 138



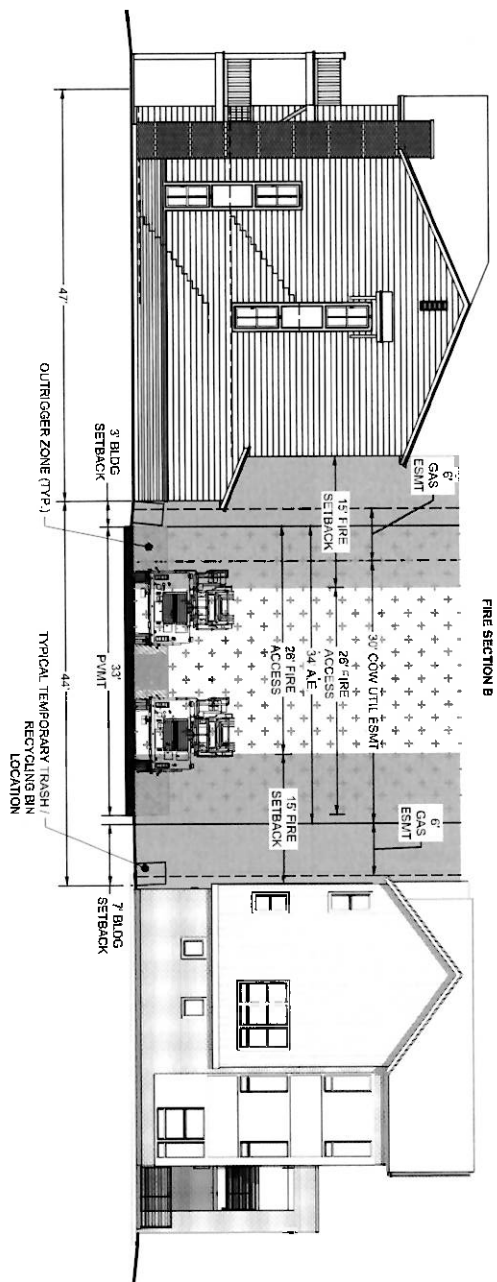
- LEGEND**
- SINGLE FAMILY DETACHED (3-STORY)
 - SINGLE FAMILY DETACHED (2-STORY)
 - ▲ TOWNHOME (3-STORY)
 - UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS
 - ASPHALT PAVEMENT

43 OF 138 OVERALL FIRE CROSS SECTION	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
	REVISIONS
	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

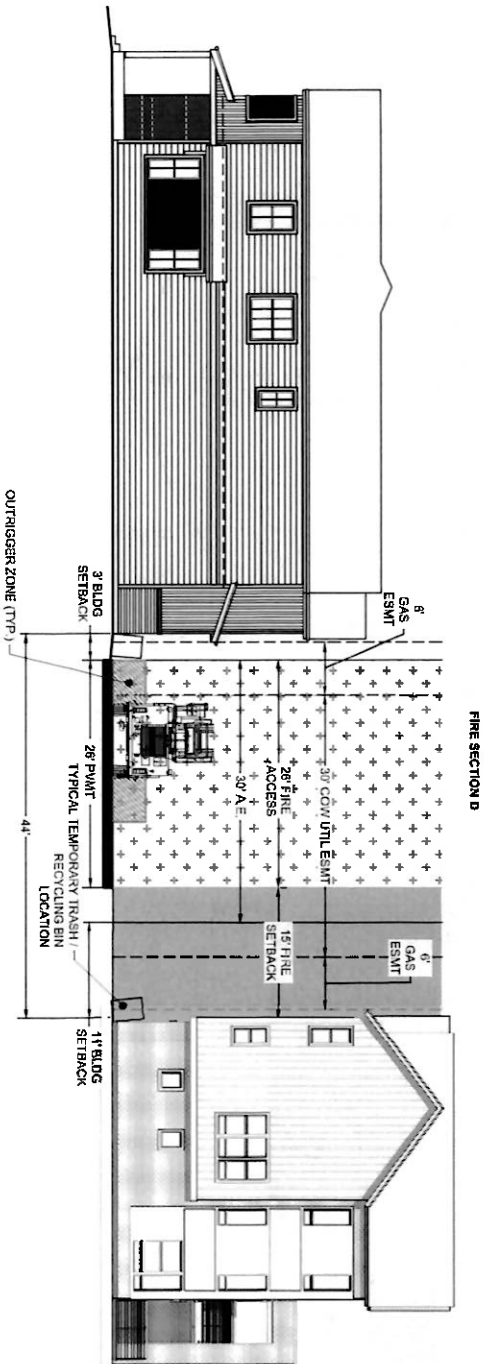
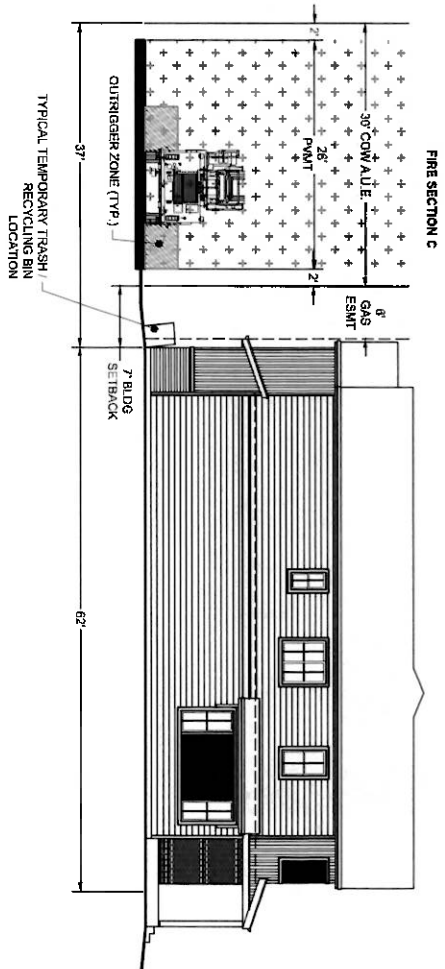
DATE: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
LANDS - FILING NO. 1 - BLOCK 1
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 44 OF 138



SUB 04: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 45 OF 138



UPLANDS FILING NO. 1
BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024



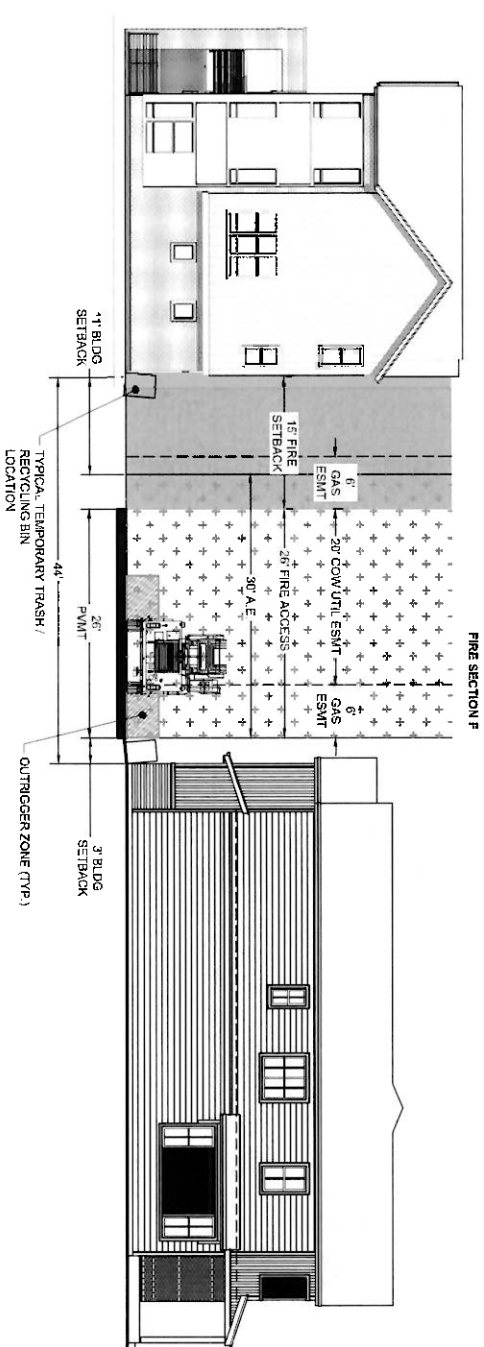
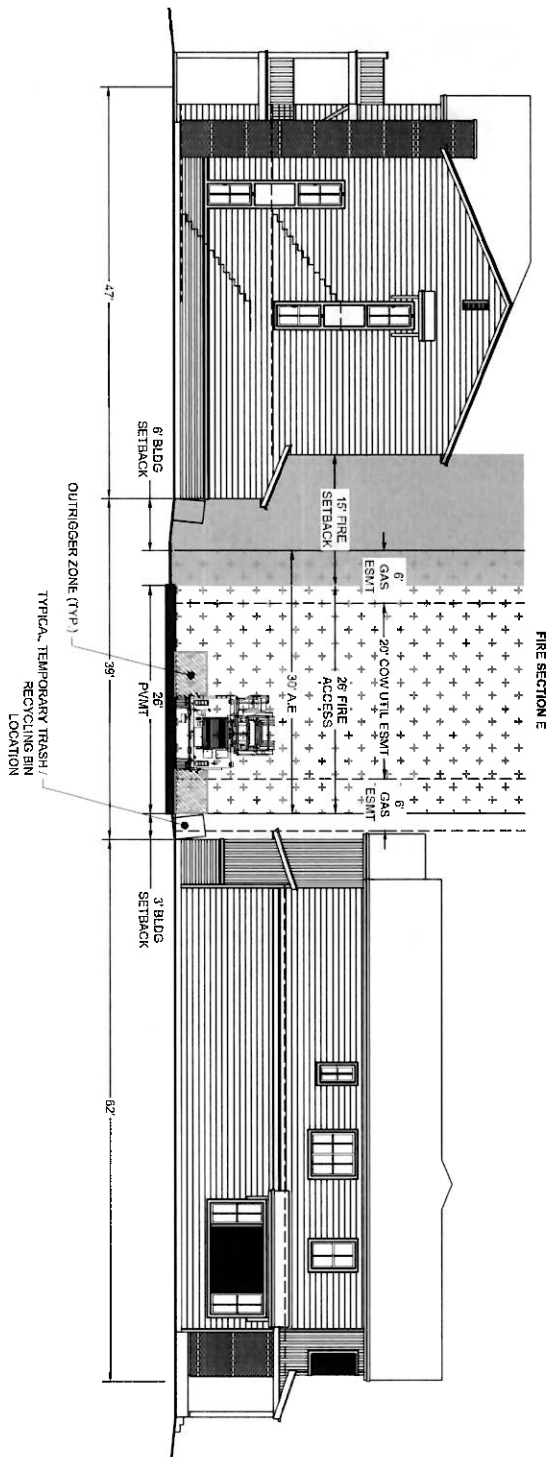
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS

SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

UPLANDS - FILING NO. 1 - BLOCK 5

OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 46 OF 138



UPLANDS

DATE: 06.14.2024



UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

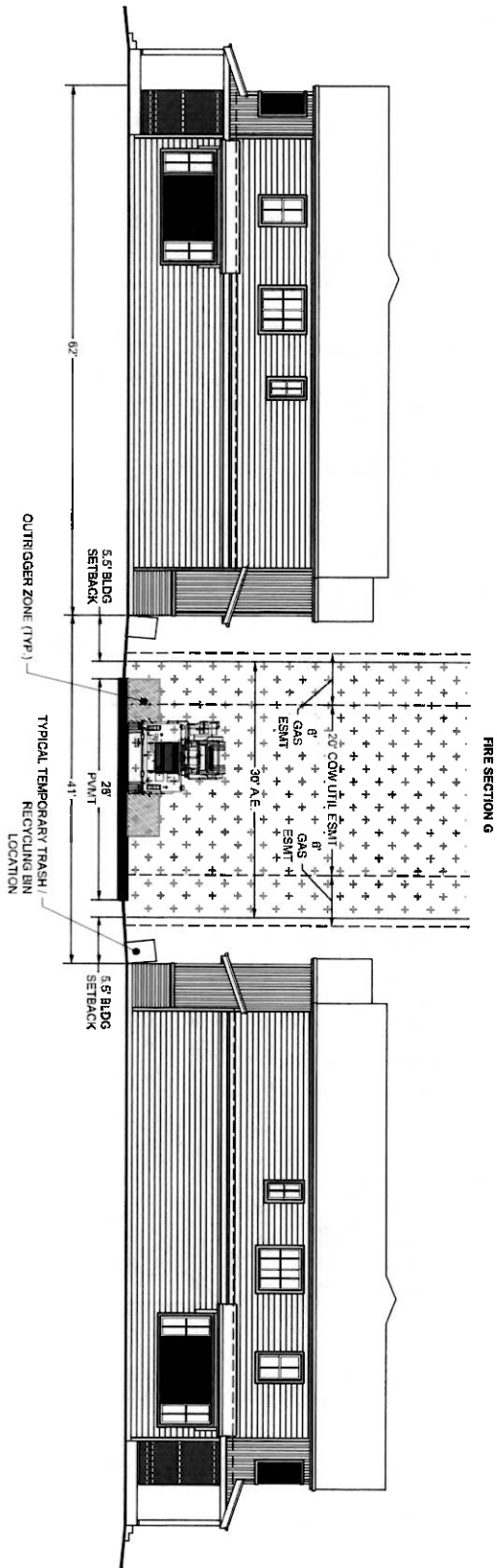
OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS

SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

46 OF 138
FIRE CROSS SECTION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 47 OF 138



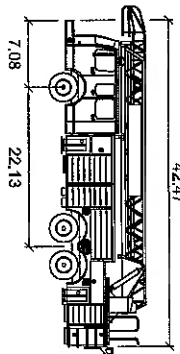
47 OF 138 FIRE CROSS SECTION	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
	REVISIONS
	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
	SUB 04: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5**
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024





Westminister Fire Truck

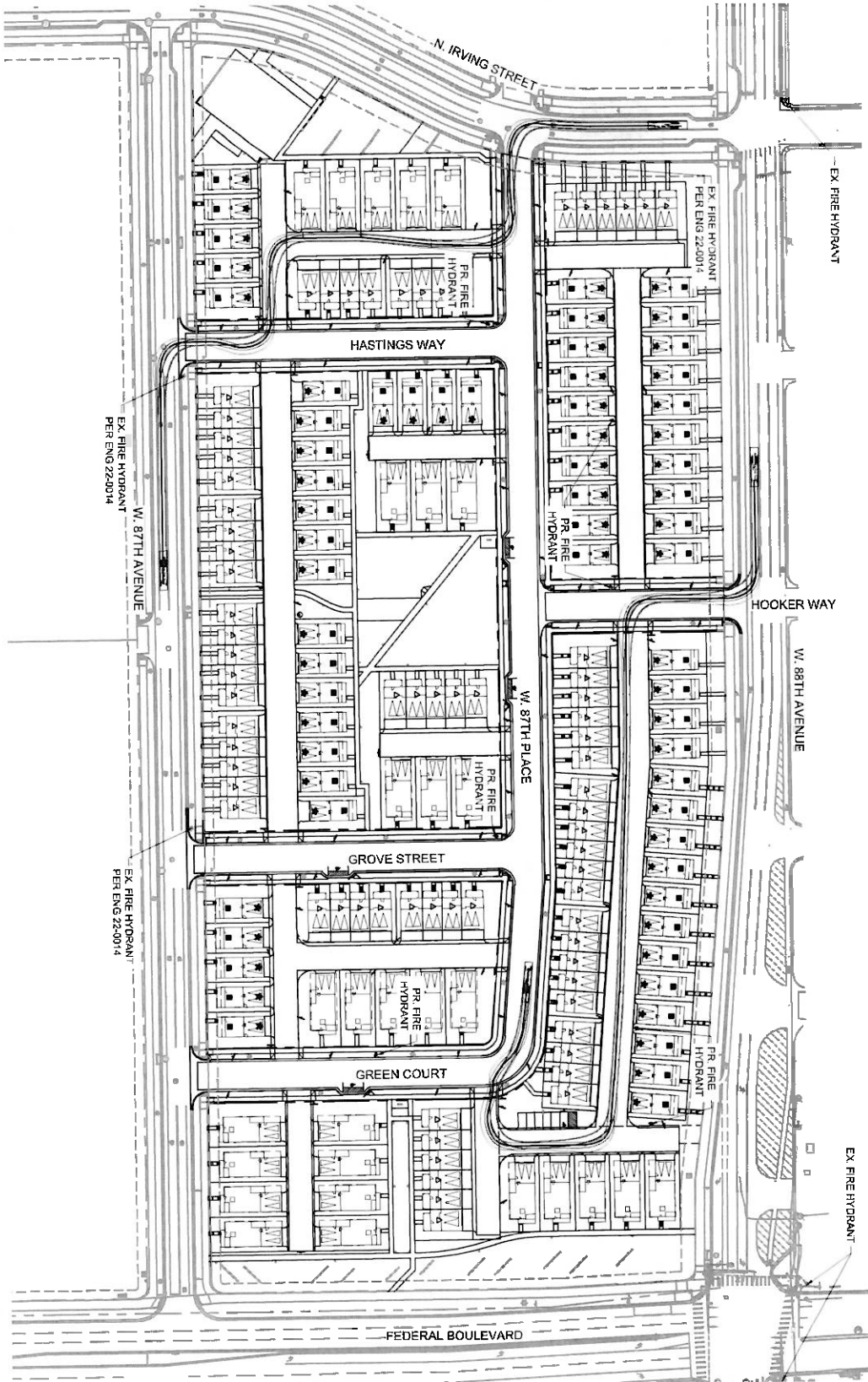
Width	feet
Track	: 8.33
Lock to Lock Time	: 6.91
Steering Angle	: 6.0
Inside Cramp Angle	: 37.1
	: 40.0

OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 5 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 48 OF 138



- LEGEND**
- FRONT TIRES
 - WHEEL TIRES
 - VEHICLE BODY
 - SINGLE FAMILY DETACHED (2-STORY)
 - SINGLE FAMILY DETACHED (3-STORY)
 - TOWNHOME (3-STORY)
 - UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS

NOTE: ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHANG OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS

SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024