

LEGAL DESCRIPTION

FINAL PLAT FOR BLOCK 5 OF UPLANDS FILING NO. 1, REC. NO. _____ DATED _____
 CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE

I, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PROJECT TEAM

PROPERTY OWNER / APPLICANT: VPFP UPLANDS LLC
 CHAD ELLINGTON
 1480 HUMBOLDT STREET
 DENVER, CO 80218
 CHAD@PEAKDEVGRP.COM

HOMEBUILDER: BROOKFIELD PROPERTIES DEVELOPMENT
 BRAD WILKIN
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 SITE 700
 CENTENNIAL, CO 80111
 BRAD.WILKIN@BROOKFIELDPROPERTIES DEVELOPMENT.COM

CIVIL ENGINEER: HR GREEN
 RYAN LITTLETON
 8310 S. VALELEY HIGHWAY, STE. 300
 ENGLEWOOD, CO 80112
 RLITTLETON@HGREEN.COM

ARCHITECT: ARCHITECT KITY
 WILLIAM RAMSEY
 3680 BLAKE ST. STE. 900
 DENVER, CO 80205
 WRAMSEY@KITY.COM

PLANNER / LANDSCAPE ARCHITECT

NORRIS DESIGN
 BRAD HAIGH
 1101 BANNOCK ST.
 DENVER, CO 80204
 BRAIGH@NORRIS-DESIGN.COM

ARCHITECT: ARCHITECT KITY
 WILLIAM RAMSEY
 3680 BLAKE ST. STE. 900
 DENVER, CO 80205
 WRAMSEY@KITY.COM

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.
 THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:
 • THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH COMPLETION OF HOMES ANTICIPATED WITHIN 5 YEARS OF RECEIVING THE FIRST BUILDING PERMIT, SUBJECT TO MARKET CONDITIONS.

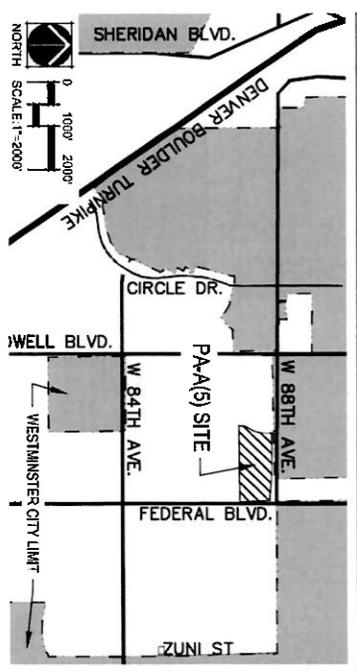
PERMITTED / PROHIBITED USES

- PERMITTED USES:**
- SINGLE-FAMILY ATTACHED (TOWN-HOME) RESIDENCES
 - SINGLE-FAMILY DETACHED RESIDENCES
 - PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES, PARKS, AND OPEN SPACE
 - TEMPORARY SALES OFFICE AND PARKING LOT
 - TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE PROHIBITED USES
 - ACCESSORY STRUCTURES, NO ACCESSORY STRUCTURES WILL BE ALLOWED ON PRIVATE LOTS
 - ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND APPROVED VIA AN ODP AMENDMENT

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE NOT PROPOSED WITH THIS ODP.

**OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 5**

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 1 OF 138



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

ADJACENT	ZONING	LAND USE	COMP. PLAN
PAA(S)	PUD	VACANT	MIXED USE NEIGHBORHOOD
NORTH:	PUD, C-1, ADAMS COUNTY (3 ZONINGS TO THE NORTH)	RESIDENTIAL	RESIDENTIAL LOW-DENSITY
SOUTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
EAST:	PUD	VACANT	COMMERCIAL MIXED USE
WEST:	PUD	VACANT	MIXED USE NEIGHBORHOOD

SHEET INDEX

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LEGAL DESCRIPTION

I, _____ AS _____ A _____ PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

VPFP UPLANDS LLC, A DELAWARE LIMITED LIABILITY COMPANY
 BY: VP FINDERS 2 HOLDINGS LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SOLE MEMBER

BY: VARDE PARTNERS, INC., A DELAWARE CORPORATION, ITS MANAGER

NAME: _____
 BY: _____
 ITS: _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
 THIS _____ DAY OF _____, 20____

CHAIRMAN _____

ATTEST: CITY CLERK _____
 ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
 THIS _____ DAY OF _____, 20____

MAJOR _____
 ATTEST: CITY CLERK _____

CLERK AND RECORDERS CERTIFICATE

RECEPTION NO. _____
 ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20____ AT _____ O'CLOCK _____ M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

UPLANDS
 DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023

REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

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 COVER

CASE #: P-2321-0098



**OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5**
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 138

PROJECT NOTES

PARK DEVELOPMENT FEES
A PARK DEVELOPMENT FEE WILL BE PROVIDED TO THE CITY OF WESTMINSTER IN ACCORDANCE WITH THE CITY OF WESTMINSTER CODE SECTION 11-6-9-C.
THE CITY CODE 11-6-9(C) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. SEE REQUIRED DOLLAR AMOUNT PER UNIT TYPE BELOW DUE TO THE CITY FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEES IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.
PER THE CITY OF WESTMINSTER CODE SECTION 11-6-9-C, THE PARK DEVELOPMENT FEE IS CALCULATED BASED UPON THE NUMBER OF DWELLING UNITS TO BE CONSTRUCTED AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS) - \$2,376.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS) - \$1,934.00 PER UNIT
- FOR 73 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 93 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$362,236.00.

SCHOOL LAND DEDICATION

THE CITY CODE (11-6-4-F) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND FOR THIS SITE. THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE A FEE IN-LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.
PER THE CITY OF WESTMINSTER CODE SECTION 11-6-6-C, THE SCHOOL LAND DEDICATION FEES ARE AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS) - \$976.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS) - \$488.00 PER UNIT
- FOR 73 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 93 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$115,632.00.

PUBLIC ART NOT APPLICABLE

RECOVERY COSTS
ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPER. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPER EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS
MAXIMUM DENSITY OF A COMPREHENSIVE PLAY DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS COP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPILE SITE PROJECT DATA WHEN SUBMITTED WITH EACH COP. PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (81-1-4-40). SERVICE COMMITMENTS PENALTY AND EXPEDITIOUS PROVIDED IN COP REMAINS SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.92 ACRE COMMUNITY.
PER THE CITY OF WESTMINSTER CODE SECTION 11-6-8-A A MINIMUM OF 12.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION. OF THIS, A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL PDP, WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF COP.

PER THE CITY COUNCIL CONDITIONS OF APPROVAL, UPLANDS HAS DEDICATED 40.65 ACRES OF PHYSICAL LAND AND PROVIDED CASH-IN-LIEU FOR 21.99 ACRES, FOR A TOTAL OF 62.64 ACRES OF LAND. THIS DEDICATION IS BASED OFF A PROJECTED POPULATION OF 6220 PERSONS FOR THE ENTIRE UPLANDS PDP. IF FUTURE DDPS INCREASE THE PROJECTED POPULATION ABOVE 6220 PERSONS, ADDITIONAL CASH-IN-LIEU SHALL BE REQUIRED.

THE BELOW CHART NOTES THE PROJECTED POPULATION FOR UPLANDS BY PLANNING AREA FOR THE PURPOSE OF DETERMINING THE CASH-IN-LIEU PAYMENT DUE AT THE TIME OF FINAL PLAT IN COMPLIANCE WITH PDP CONDITION OF APPROVAL 7. THE ODP PLO TRACKING TABLE WILL BE UPDATED WITH EACH ODP.

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

PARCEL	PHYSICAL PLO ACRES REQUIRED	PLO ACRES DEDICATED PDP PLV22-0052	PLO ACRES REMAINING	VIEW CORRIDOR ACRES REQUIRED	VIEW CORRIDOR ACRES DEDICATED PDP PLV22-0052	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	21.00 AC	0 AC	-	-	-
PARCEL B	6.08 AC	6.08 AC	0 AC	3.28 AC	3.28 AC	0 AC
PARCEL C	3.00 AC	3.00 AC	0 AC	-	-	-
PARCEL D	4.21 AC	4.21 AC	0 AC	3.07 AC	3.07 AC	0 AC
PARCEL E	-	0	-	-	-	-
TOTAL	34.30 AC	34.30 AC	0 AC	6.35 AC	6.35 AC	0 AC

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

PLANNING AREA	LAND USE	GROSS AREA (AC)	% OF SITE	GROSS DENSITY RANGE (DU/AC)	MAX # OF UNITS	UNITS BY TYPE						PROJECTED POPULATION			TOTAL PLO ACRES REQUIRED	PLO CASH-IN-LIEU ACRES
						SFD	OR	SFA	OR	MF	SFD	SFA	MF	% OF POPULATION		
PA-A(1)	RESIDENTIAL	22.24	6.51%	4.0-8.8	78	39	0	0	117	97.5	-	2.13%	2.57	0.30		
PA-A(2)	RESIDENTIAL	13.98	5.98%	6.0-10.3	135	25	0	75	275	-	1.64%	4.20	0.23			
PA-A(3)	RESIDENTIAL	20.21	6.65%	5.5-7.0	141	40	0	120	222.5	-	2.02%	4.11	0.37			
PA-A(4)	RESIDENTIAL	13.87	5.84%	7.0-9.5	125	28	0	84	242.5	-	1.83%	3.92	0.26			
PA-A(9)	RESIDENTIAL	18.20	7.78%	8.0-8.5	168	93	0	279	182.5	-	6.09%	5.34	0.87			
PA-A(6)	RESIDENTIAL	23.83	10.18%	5.2-5.8	140	25	35	80	75	87.5	1.64%	3.87	0.23			
PA-A(7)	RESIDENTIAL	18.52	7.96%	8.0-10.3	180	112	88	0	336	470	-	7.34%	6.07	1.05		
PA-A(8)	MIXED USE/COMMERCIAL	19.54	8.35%	20.0-25.2	491	0	49	369	0	122.5	738	13.93%	10.33	1.98		
PA-B(1)	RESIDENTIAL	16.28	6.99%	4.15-5.0	82	38	44	0	114	110	-	2.40%	2.89	0.34		
PA-B(2)	RESIDENTIAL	13.32	5.89%	1.0-2.0	26	26	0	0	78	-	1.70%	0.84	0.24			
PA-C(1)	MIXED USE/COMMERCIAL	16.32	6.99%	15.0-22.7	70	0	0	70	0	-	3.05%	1.58	0.44			
PA-C(2)	RESIDENTIAL	13.77	5.89%	8.0-18.0	247	0	247	0	0	-	10.79%	5.93	1.54			
PA-C(3)	RESIDENTIAL	19.60	8.38%	4.0-4.8	94	47	0	141	0	117.5	-	3.08%	3.10	0.44		
PA-C(4)	OFFICE	3.10	1.33%	-	-	0	0	0	0	-	-	-	0.00	0.00		
PA-E	PRIVATE OPEN SPACE	1.23	0.53%	-	-	0	0	0	0	-	-	-	0.00	0.00		
						1975	473	651	766	1419	1627.5	1532	100.00%	54.94	14.29	
						1890					POTENTIAL POPULATION	4578.5				

NOTE: BOLDED PLANNING AREAS HAVE BEEN APPROVED OR ARE UNDER REVIEW. BOLDED PLANNING AREAS SHOWN WITHIN THIS TABLE PROVIDE SPECIFIC UNIT COUNTS AS PROPOSED. NON BOLDED UNIT COUNTS DISPLAY THE MAXIMUMS SET FORTH IN THE UPLANDS PDP.

**UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**



DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
PREPARED: 11.03.2023

REVISIONS

SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

**3 OF 138
SITE DATA**

OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 138

OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

THE GENERAL INTENT OF THIS ODP IS TO:
 1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN STANDARDS 11-5-5, OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-15 STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPS.

PROJECT SCOPE:

THE ODP AREA CONTAINS THE 18.20 GROSS ACRES IN UPLANDS FILING 1, BLOCK 5. THE SITE IS BOUNDED BY EXISTING SINGLE-FAMILY DETACHED HOMES TO THE NORTH AND VACANT LAND WITHIN P&A TO THE WEST, TO THE EAST IS P&A AND SOUTH.

THE ODP PROPOSES A TOTAL OF 73 SINGLE-FAMILY ATTACHED TOWNHOMES, AND 93 SINGLE-FAMILY DETACHED HOMES, FOR A TOTAL OF 166 HOMES. THIS RESULTS IN A GROSS DENSITY OF 9.12 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN/LAND USE DESIGNATION OF TOWNLAND.

THE SITE PLANNING EMPHASIZES FRONTING HOMES TO THE EXTERIOR OF THE SITE TO CREATE A WALKING, PEDESTRIAN-FRIENDLY ENVIRONMENT WHEREVER POSSIBLE. WHERE HOMES ARE NOT FRONTING ONTO PUBLIC STREETS, THE HOMES ARE ORGANIZED AROUND COMMON OPEN SPACE. THE COMMUNITY IS CONSISTENT WITH PROPOSED DEVELOPMENT TO THE WEST, MATCHING ITS MIX OF 3-STORY AND 2-STORY HOMES ALONG IRVING STREET. THE PROPOSED NEIGHBORHOOD INCORPORATES EXISTING ARCHITECTURAL STANDARDS AND MASSING, PROPOSING 3-STORY SINGLE-FAMILY DETACHED HOMES FRONTING W. 88TH AVENUE, 2-STORY HOMES ARE LOCATED ALONG FEDERAL BOULEVARD TO INTEGRATE THE NEIGHBORHOOD WITH THE EXISTING URBAN FABRIC, PARTICULARLY THE COMMERCIAL AND FEDERAL BOULEVARD. THIS PLACEMENT TRANSITIONS DENSITY WITH AVENUE AND FEDERAL BOULEVARD. THIS PLACEMENT TRANSITIONS DENSITY WITH 3-STORY HOMES GENERALLY IN THE SOUTHWEST PORTION OF THE NEIGHBORHOOD TO 2-STORY HOMES LOCATED ALONG FEDERAL BOULEVARD. ALL TOWNHOMES, EXCEPT THOSE FRONTING IRVING, OPEN A ROOF-DECK OPTION TO PROVIDE OUTDOOR SPACE IN AN URBAN FORM THAT IS CONSISTENT WITH THE ARCHITECTURE OF THE 3-STORY TOWNHOME. ROOF DECKS ARE NOT PERMITTED ON IRVING IN ORDER TO REDUCE IMPACT TO THE EXISTING NEIGHBORS. A 9' WIDE SETBACK FOR HOMES ON MENUS AND 65' FOR HOMES WITHOUT IS PROVIDED ALONG THE EAST BOUNDARY OF THE SITE.

THE PROPOSED HOMES ARE A VARIETY OF 2- AND 3-STORY STRUCTURES.

- SINGLE-FAMILY DETACHED: 2-STORY
 - SINGLE-FAMILY DETACHED: 3-STORY
 - SINGLE-FAMILY ATTACHED TOWNHOMES: 3-5 STORY
- UPLANDS P&A(S) CONSISTS OF A MIX OF 2-STORY AND 3-STORY SINGLE-FAMILY DETACHED HOMES, AND 3-STORY ATTACHED TOWNHOMES. BOTH PROPOSED HOME TYPES ARE ALL-ELECTRIFIED, ACTIVATING STREETS AT A HUMAN SCALE. THE SINGLE-FAMILY DETACHED HOMES UTILIZE PORCHES AND PATIOS TO PROVIDE VARIETY TO ELEVATION MASSING, WHILE ROOF-TOP DECKS MAXIMIZE VIEWS. THE 3-STORY TOWNHOMES OFFER A ROOF-TOP DECK OPTION AS AN ENHANCEMENT TO USABLE OUTDOOR SPACE. ALL THE PROPOSED HOMES OFFER AN ATTACHED 2-CAR GARAGE. PARKING IS PROVIDED ON-STREET ON THE ADJACENT LOCAL STREETS, INCLUDING 87TH AVENUE AND 87TH PLACE, IRVING STREET, INTERNAL LOCAL STREETS, AND DISPERSED IN OFF-STREET PARKING SPACES. ADDITIONAL PARKING ARE PROVIDED ALONG 88TH AVENUE, BUT ARE NOT INCLUDED IN THE TOTAL PARKING COUNT.

THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TOWNLAND DESIGN GUIDELINES THROUGHOUT. IN ORDER TO FULLY ACHIEVE THESE CHARACTERISTICS, THERE ARE AREAS WHERE THIS SITE PLAN VARIES FROM THE DIMENSIONAL REQUIREMENTS WITHIN RELEVANT CITY CODE. PLEASE REFER TO ODP EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS ODP TO SEE SPECIFIC INSTANCES WHERE THESE PRINCIPLES DIFFER FROM CITY REQUIREMENTS. IN GENERAL, THESE EXCEPTIONS INSURE THAT THE COMMUNITY CONTRIBUTES TO THE VIBRANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS NEIGHBORHOOD INCLUDES HOMES THAT TARGET A RANGE OF HOMEBUYERS, FROM ENTRY-LEVEL, ATTACHED TOWNHOMES TO DETACHED HOMES. THIS IS A GOAL NOT ONLY OF TOWNLAND, BUT OF RECENT CITY PLANS AND VISIONS AS WELL. THE PUBLICLY ACCESSIBLE PRIVATE PARKS IS THOUGHTFULLY PROVIDED WITHIN THIS PLANNING AREA. THIS SPACE HAS BEEN CAREFULLY PLACED TO OFFER THE

STANDARD STATEMENTS

GREATEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THIS SPARK ALONG WITH THE OTHERS THROUGHOUT PARCEL. A ESTABLISH A RECOGNIZABLE IDENTITY TO THE COMMUNITY WITH VARIOUS FOCUSES AND THEMES BEING DEVELOPED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER THEMES EXHIBIT SUBMITTED WITH THIS ODP FOR MORE DETAIL ON PARK PROGRAMMING ACROSS UPLANDS.

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAN FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFF-SITE STORM DRAINAGE DETENTION FACILITIES AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PRO-PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAN.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL ALL STREET NAME SIGNS. DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPERS EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTO-METRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF-SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY, AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMAL AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT. PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY, TEMPORARY FENCING IS TO BE PAINTED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADS/WAYS TO WITHIN 50' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH THAT COMBUSTIBLES ARE BROUGHT ON-SITE, ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF ALL-WEATHER SURFACE MATERIAL, THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS, MINIMUM 75,000 LBS.
- T. DEVELOPERS AND BUILDER SHALL PATROL, ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.
- V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.
- W. THE IMPROVEMENTATION PLAN AND COMPLIANCE WITH CRS, TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPROVEMENTATION PLAN THAT COMPLETS WITH CRS 9-6 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 650 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN AMOUNT OR 1% OF THE ALLOWED UNITS.
- X. PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED WITH ALL APPLICABLE ADA REGULATIONS.

STANDARD STATEMENTS, CONT.

- EXPENSE.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY, AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMAL AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
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- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADS/WAYS TO WITHIN 50' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH THAT COMBUSTIBLES ARE BROUGHT ON-SITE, ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF ALL-WEATHER SURFACE MATERIAL, THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS, MINIMUM 75,000 LBS.
- T. DEVELOPERS AND BUILDER SHALL PATROL, ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.
- V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REFUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.
- W. THE IMPROVEMENTATION PLAN AND COMPLIANCE WITH CRS, TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPROVEMENTATION PLAN THAT COMPLETS WITH CRS 9-6 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 650 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN AMOUNT OR 1% OF THE ALLOWED UNITS.
- X. PRIOR TO RELEASE OF THE SURETY FOR THE LANDSCAPE AND PRIVATE IMPROVEMENTS AGREEMENT, THE PROPERTY OWNER SHALL PROVIDE AN AFFIDAVIT AFFIRMING THAT ALL AREAS OF THE DEVELOPMENT THAT ARE SUBJECT TO A PUBLIC ACCESS EASEMENT WERE DESIGNED AND CONSTRUCTED WITH ALL APPLICABLE ADA REGULATIONS.

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OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023		
REVISIONS		
SUB 01:	11.03.2023	
SUB 02:	03.07.2024	
SUB 03:	05.03.2024	
SUB 04:	06.14.2024	

UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

DATE: 06.14.2024



EXCEPTIONS AND JUSTIFICATIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS IN UPLANDS FILING NO. 1 - BLOCK 5. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE, UPLANDS MDDP AND LANDSCAPE REGULATIONS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE PID ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO UPDATE THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER. THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. THIS PROPOSED ODP AND RELATED EXCEPTIONS HELP FURTHER THE TRADITIONAL, COMPACT NEIGHBORHOOD DEVELOPMENT PRINCIPLES, INCLUDING CREATING A WALKABLE DEVELOPMENT THROUGH AN INTERCONNECTED STREET/BLOCK PATTERN WITH NARROWER STREETS, SUPPORTING DOCUMENTS INCLUDE:

- **2013 COMPREHENSIVE PLAN** - THE PLAN INCLUDES A NUMBER OF GUIDING PRINCIPLES THAT SUPPORT COMMUNITIES WITH A BALANCED MIX OF HOUSING OPPORTUNITIES THAT MAINTAIN A DIVERSE HOUSING SUPPLY IN AN ACTIVE, WALKABLE ENVIRONMENT. THE UPLANDS POP CONSISTED OF AN ITERATIVE, MULTI-YEAR DESIGN PROCESS THAT RESULTED IN THE ACCEPTED POP ZONE DISTRICT THAT GOVERNS THIS PLANNING AREA. THE 2013 COMPREHENSIVE PLAN WAS A FOUNDRATIONAL GUIDING DOCUMENT FOR MUCH OF THE POP PROCESS AND SOME OF THOSE GUIDING PRINCIPLES, WHILE NOT IN CONFLICT WITH THE 2040 COMPREHENSIVE PLAN, REMAIN AS GUIDING PRINCIPLES FOR THE POP AND ITS PLANNING AREAS.

- **2040 COMPREHENSIVE PLAN** - THIS PLAN INCLUDES A CORNERSTONE FOCUSED ON PROVIDING A BALANCED MIX OF HOUSING OPPORTUNITIES FOR A RANGE OF INCOMES, AGE GROUPS, AND LIFESTYLE CHOICES. IT GOES ON TO ENCOURAGE SUSTAINABLE DESIGN PRACTICES AND TO CONTINUE PROVIDING A VARIETY OF NEIGHBORHOOD TYPES WITH A DIVERSITY OF HOUSING CHOICES TO SERVE A RANGE OF HOUSEHOLD SIZES, COMPOSITIONS AND NEEDS.

- **2017 HOUSING NEEDS ASSESSMENT** - THIS STUDY INCLUDES RECOMMENDATIONS TO ACCOMMODATE A VARIETY OF HOUSING CHOICES AND PRICE POINTS, BUILDING SMALLER HOMES ON SMALLER LOTS TO CREATE AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE THEREBY LOWERING THE OVERALL COST, AND ENHANCING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.

- **WESTMINSTER MUNICIPAL CODE** - THE SITE IS ZONED PUD; PER CODE, THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL STANDARD ZONING REGULATIONS.

- **PRELIMINARY DEVELOPMENT PLAN (PDP)** - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES.

- **MASTER OFFICIAL DEVELOPMENT PLAN (MDDP)** - THE VILLAGE RESIDENTIAL NEIGHBORHOOD WITHIN UPLANDS IS DESCRIBED IN THE MDDP AS A MIX OF ALLEY LOADED SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL HOMES ORGANIZED IN A TRADITIONAL GRID FORMAT.

OFF-STREET PARKING:

AN EXCEPTION TO WMC 11-7-4(B)(2)

STANDARD: SPD ENCLOSED PARKING (2 SPACES/UNIT) = 186 SPACES

SPD PERIPHERAL PARKING (2 SPACES/UNIT) = 186 SPACES

SFA OFF-STREET PARKING (1 SPACE/3 UNITS) = 25 SPACES

SFA OFF-STREET PARKING (2 SPACES/UNIT) = 146 SPACES

EXCEPTION: UPLANDS A59 PROVIDES 83 SINGLE-FAMILY DETACHED HOMES AND 73 SINGLE-FAMILY ATTACHED TOWNHOMES. NO DRIVEWAYS ARE PROVIDED WITH THE P4-A59 LAYOUT. ALL HOMES FEATURE A 2-CAR GARAGE, ACCOUNTING FOR 32 OFF-STREET PARKING SPACES. 147 PARKING SPACES ARE PROVIDED THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND INTERVAL OAK STREET PARALLEL SPACES. FOR A TOTAL OF 479 PARKING SPACES PROVIDED, THE WMC

REQUIRES 434 PARKING SPACES. AN ADDITIONAL 45 SPACES ARE PROVIDED ALONG W. 80TH AVENUE, WHICH ARE NOT INCLUDED IN THE TOTAL PROVIDED PARKING SPACES.

JUSTIFICATION: P4-A59 LAYOUT DOES NOT PROVIDE DRIVEWAYS, THUS THE REQUEST FOR AN EXCEPTION TO DRIVEWAY PARKING AS REQUIRED BY CODE, WITHOUT TRADITIONAL DRIVEWAY PARKING TO CONTRIBUTE TO PARKING TOTALS, THE TOTAL OUTLOT SPACES PROVIDED IS LOWER THAN CODE REQUIRES. WHILE DRIVEWAYS ARE NOT PROVIDED, THE PROPOSED LAYOUT ADDRESSES THIS POTENTIAL DEFICIT IN PARKING BY PROVIDING SUPPLEMENTAL PARKING THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL, LOCAL ROADS). AS ALL UNITS ARE ALLEY-LOADED AND DIRECTLY FRONTING THE STREET, PEDESTRIAN CONNECTIVITY IS IMPROVED THROUGH INCREASED CONNECTION TO PUBLIC STREETS AND SIDEWALKS. THEREFORE ENHANCING PEDESTRIAN MOBILITY THROUGHOUT THE PLANNING AREA, OVERALL PARKING NUMBERS PROVIDED ARE SUPPORTIVE OF THE NEIGHBORHOOD.

2013 COMP PLAN: THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASES HOUSING DIVERSITY.

2040 COMP PLAN: THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND PROVIDES OPPORTUNITIES FOR A RANGE OF HOUSING TYPES AND AFFORDABILITY TO ACCOMMODATE ALL INCOMES, LIFESTYLE AND AGE GROUPS WITHIN THE CITY (LUG-7). FURTHER, THE PROPOSED USE OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL, LOCAL ROADS) TO PROVIDE PARKING FOR THE PROPOSED TOWNHOMES COMPLIES WITH TABLE 3.5 OF THE URBAN MILD-FAMILY DEVELOPMENT STANDARDS FOR TOWNHOMES WHICH INCLUDES TUCK-UNDER PARKING WITH SOME ON-STREET OR SURFACE PARKING AS A DEVELOPMENT CHARACTERISTIC, FORM AND GUIDELINE FOR TOWNHOMES.

WMC: THE PROPOSED PARKING SOLUTION ENCOURAGES ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING (11-7-4(D)), PROVIDES FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN (11-7-4(B)) THROUGH THE USE OF ALLEY-LOADED HOMES ON SMALLER LOTS AND ON-STREET PARKING THAT AID NATURAL FRICTION TO THE STREET TO SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS. THE PROPOSED ALLEY-LOADED DESIGN IS CONSISTENT WITH A NEO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY RATHER THAN A STANDARD SUBURBAN NEIGHBORHOOD. WMC CODE (11-7-4(B)(2)(A)(I)) SPECIFICALLY NOTES PARKING MAY BE REDUCED FOR THIS TYPE OF NEIGHBORHOOD UPON A FINDING THAT LESS PARKING IS NEEDED BASED UPON THE DESIGN OF THE DEVELOPMENT.

MDDP: THE EXCEPTION ALIGNS WITH THE MDDP WHICH NOTES ON-STREET PARALLEL PARKING SHOULD BE PROVIDED THROUGHOUT THE COMMUNITY TO HELP SLOW TRAFFIC. THE MDDP FURTHER NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND BICYCLE ACCESS WITHIN UPLANDS. THESE TWO DESIGN CONCEPTS INFLUENCE THE DESIGN OF HOMES AWAY FROM TRADITIONAL DRIVEWAYS AND FRONT YARDS.

TMND: THIS EXCEPTION ALIGNS WITH THE TMND DESIGN GUIDELINES BY SLOWING TRAFFIC - THE INCLUSION OF ON-STREET PARKING ADDS NATURAL FRICTION TO THE STREET, WHICH HELPS SLOW TRAFFIC AND ENCOURAGES MORE PEDESTRIAN MOVEMENTS.

LANDSCAPE AREA:
AN EXCEPTION TO LANDSCAPE REGULATIONS VII B.1.A.

STANDARD: (SFA) PROVIDE A MINIMUM OF 40% OF THE OVERALL SITE AREA (EXCLUDING RIGHT-OF-WAY LANDSCAPE AREA) SHALL BE LANDSCAPED.

**OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5**

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 138

EXCEPTION: UPLANDS PROVIDES A MINIMUM LANDSCAPE AREA OF 27.0% FOR SINGLE-FAMILY ATTACHED TOWNHOMES WITHIN P4-A59.

JUSTIFICATION: THIS EXCEPTION ALLOWS FOR MORE COMPACT HOME TYPES THAT ENGAGE THE STREET AND PROMOTE COMMUNITY INTERACTION. IT REDUCES POTENTIAL IRRIGATED AREA WHILE PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THIS ALSO ASSISTS IN PROVIDING COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH HAVE INCREASED ALLEY PAVEMENT WIDTHS.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY AND PROMOTE A DENSITY TRANSITION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TIRE LAWN AREAS. WHILE THE OVERALL LANDSCAPE AREA IS REDUCED, THE REQUIRED PUBLICLY ACCESSIBLE PRIVATE PARK SPACE IS STILL PROVIDED AT 7% IS PROVIDED - 4% IS REQUIRED).

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL L14 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN. L14 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEATURES SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALLOWS FOR THE OPPORTUNITY TO PROVIDE THOUGHTFUL AND IMPACTFUL WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE, POCKET PARKS AND ON LOT LANDSCAPING. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN (11-7-4(B)) THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS. THE REDUCED LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11-7-4(B)) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION. THIS EXCEPTION ALSO ALLOWS FOR COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH INCLUDE INCREASED PAVED AREAS WITHIN THE ALLEY.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THE REDUCED LANDSCAPE AREAS ALSO ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING - THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SF-4 HOMES ON LARGER LOTS THAT TAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE (11-7-4(B)) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS

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UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

5 OF 138 EXCEPTIONS	OFFICIAL DEVELOPMENT PLAN	
	PREPARED: 11.03.2023	
	REVISIONS	
	SUB 01:	11.03.2023
	SUB 02:	03.07.2024

EXCEPTIONS AND JUSTIFICATIONS, CONT.

MODP: THIS EXCEPTION ALIGNS WITH THE MODP, WHICH NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONTACTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THE MODP FURTHER NOTES THAT BUILD-TO LINES AND/OR FRONT SETBACKS SHOULD BE STUDIED TO FORM PEDESTRIAN FRIENDLY STREETS CAPES. THESE DESIGN CONCEPTS INFLUENCE THE DESIGN AWAY FROM HOMES WITH TRADITIONAL DRIVEWAYS AND FRONT YARDS.

ROOF DESIGN

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

STANDARD: BUILDING FORMS SHALL PROVIDE ROOF PITCHES OF 5 IN 12 OR GREATER.

EXCEPTION: ALL MAIN ROOFS ON SINGLE-FAMILY DETACHED MEET THIS STANDARD. SECONDARY ROOFS AT FRONT PORCHES AND OVER GARAGES ARE NO LESS THAN 1 IN 12 FOR ONE SINGLE-FAMILY DETACHED STYLE. ONE OF THREE SINGLE-FAMILY ATTACHED TOWNHOME ELEVATION STYLES MEET THIS STANDARD. THIS EXCEPTION APPLIES TO THE MOUNTAIN MODERN PRODUCT, WHICH INCLUDES A MAIN SHED ROOF OF 4 IN 12 WITH A 3 IN 12 GABLE BETWEEN. THIS PROVIDES A LOWER SHED ROOF TO ACTIVATE MODERN STYLE AND PROVIDE ARCHITECTURAL DIVERSITY WHILE KEEPING WITHIN THE REQUIRED BUILDINGS HEIGHTS. ADDITIONALLY, THE DECREASED ROOF PITCH ACTIVATES THE ROOF PLANE OF THE UNIT AND PROVIDES ENHANCED PRIVATE OUTDOOR LIVING.

JUSTIFICATION: THIS EXCEPTION APPLIES THE SECONDARY ROOF PITCH PROVIDED WITH ONE SINGLE-FAMILY DETACHED BUILDING FORM, WITH A ROOF PITCH LESS THAN 5 IN 12 WHERE EGRESS WINDOWS ARE REQUIRED. ALL OF SECONDARY ROOFS ON THE OTHER TWO STYLES WILL BE BETWEEN 3 IN 12 AND 4 IN 12. ADDITIONALLY, PRODUCTS WITH A ROOF PITCH NO LESS THAN 1 IN 12 PROVIDE VARIATION IN ROOF FORMS THAT ARE MORE CONTEMPORARY AND HELP CREATE A DIVERSE STREETSCAPE. ALL SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED MINOR ROOFS MEET THE STANDARD OF A ROOF PITCH OF 5 IN 12 OR GREATER, NOT OTHERWISE MENTIONED.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY... OVERALL DESIGN (11-4-21(B)) THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS AND, IN SOME CASES, MATCH THE TRANSITIONAL STYLE OF ONE OF THREE ELEVATION TYPES.

MASONRY

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

STANDARD: SINGLE-FAMILY ATTACHED BUILDING FORMS (TOWNHOMES) SHALL PROVIDE MASONRY ON AN AVERAGE 50% OF NON-WINDOW/DOOR SURFACES ON ALL ELEVATIONS.

EXCEPTION: UPLANDS PA-A15) PROVIDES 50% OR MORE MASONRY ON ALL FRONT ELEVATIONS, PROVIDING A TRANSITION BETWEEN THE EXISTING AND PROPOSED ARCHITECTURAL FABRIC. MASONRY VARIES BETWEEN 11% AND 57% ON REAR AND SIDE ELEVATIONS.

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY ATTACHED TOWNHOMES TO ENSURE THE TOWNHOMES ARE DESIGNED CONSISTENT WITH THEIR ARCHITECTURAL STYLE WHILE PROVIDING ARCHITECTURAL DIVERSITY. A VARIETY OF MATERIALS ARE BEING UTILIZED INCLUDING HORIZONTAL, VERTICAL, PANEL, AND BOARD BATTEN SIDING FOR ELEVATION DIVERSITY. ON ELEVATIONS WHERE MASONRY IS BELOW 50%, BRICK IS UTILIZED WHERE IT IS MOST IMPACTFUL. THE PROPOSED ARCHITECTURAL STYLE DOES NOT SUPPORT BRICK CLADDING AT UPPER STORIES, THEREFORE IT IS PROVIDED AT THE BASE OF REAR ELEVATIONS TO DEMONSTRATE GREATER MASSING AND PROVIDES SCALED ARCHITECTURAL CHARACTER.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
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2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN BY COMPLYING WITH SECTION 3.0 LAND USE AND DEVELOPMENT TO SUPPORT THE CITY'S GREAT NEIGHBORHOODS INITIATIVE, BUILDING A SENSE OF PLACE IN NEIGHBORHOODS AND COMMERCIAL DISTRICTS. THE ARCHITECTURE EMPLOYED WITHIN THE PLANNING AREA ESTABLISHES A SENSE OF PLACE THAT IS RESPECTFUL TO THE SURROUNDING ARCHITECTURE WHILE FOSTERING QUALITY CHARACTER ALIGNING WITH THE OVERALL VISION FOR UPLANDS. THE ARCHITECTURAL PALETTE FACILITATES A RECOGNIZABLE AND PLEASING URBAN FORM FOR THE PLANNING AREA.

MODP: THIS EXCEPTION ALIGNS WITH THE MODP BY ENHANCING THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS THAT ALLOW FOR THE FRONT ENTRY WAY TO INTERACT WITH THE STREET IN AN INVITING AND CONSISTENT MANNER. (SHEET 17 OF 43).



UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

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EXCEPTIONS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 7 OF 138

EXCEPTIONS AND JUSTIFICATIONS, CONT.

DIMENSIONAL STANDARDS, BUILDING HEIGHT, LOT SIZE, AND SETBACKS
 AN EXCEPTION TO MDPB BUILDING FORM CHARACTERISTICS TABLES (SFD AND SFA TOWNHOME, SHEETS 17 AND 18 OF 43)

STANDARD: BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE BELOW.

EXCEPTION: THIS EXCEPTION APPLIES TO THE NOTED INTERNAL ON-LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW, WHERE REQUIREMENTS HAVE NOT BEEN MET. THE MINIMUM PROVIDED IS BOLDED AND DOUBLE-OUTLINED.

JUSTIFICATION: ALL PERMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UP LANDS PROPOSES A MIX OF PORCHES/PATIO, DECKS AND SIDEFRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UP LANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION. BUILDING HEIGHT IS MET FOR ALL BUT ONE PRODUCT TYPE: SINGLE FAMILY ATTACHED TOWNHOME WITH THE ROOF TOP DECK. THIS PRODUCT IS LIMITED IN ITS PLACEMENT TO INTERNAL LOTS ONLY. PLEASE REFER TO SHEET 2 FOR LOCATIONS WHERE THE PRODUCT IS NOT ALLOWED.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY. PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE.

THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD THE PROPOSED HOMES AND ALLOW FOR LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES (7% PROVIDED - 4% IS REQUIRED) WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL L14 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY WITH A FOCUS ON SITE LANDSCAPE AND BUILDING DESIGN. L14 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED HOMES. REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN. SPECIFICALLY, CRITERIA 4 ASKS IF "THE PROPOSED DEVELOPMENT PROVIDES APPROPRIATE TRANSITIONS BETWEEN USES?" WHICH THIS PROPOSAL INTENTFULLY DOES PROVIDE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERMETER SETBACKS FURTHER IS SUPPORTED BY GOAL HW-2 OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES ON SMALLER LOTS) DIVERSITY AND FLEXIBILITY IN HOUSING PRICES. THE REDUCED SETBACKS ENCOURAGE HIGHER QUALITY DEVELOPMENT BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES AND VARIETY OF PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE AND SUGGESTS BOTH CONSTRUCTION OF AFFORDABLE AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

TOWN: THIS EXCEPTION ALIGNS WITH TOWN BY MINIMIZING GARAGE VISIBILITY, ENCOURAGING CONSISTENT STREET FRONTAGES, CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BIKE AND PEDESTRIAN SAFETY AND STREET ACTIVATION, AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES, INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN TOWN.

MDPB: THIS EXCEPTION ALIGNS WITH THE MDPB BY PROVIDING HOME AND LOT DESIGNS THAT ENHANCE THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS, INCLUDING AT-GRADE OR RAISED PORCHES/PATIO, BUILDING ENTRIES, BALCONIES AND STAIRS, AND MINIMIZING VIEWS OF THE GARAGE FROM THE STREET. FURTHER, THE MDPB NOTES FRONT SETBACKS SHOULD BE STUDIED AT SITE SPECIFIC ODP TO FORM PEDESTRIAN FRIENDLY STREETSCAPIES.

DIMENSIONAL STANDARDS, BUILDING HEIGHT, LOT SIZE, AND SETBACKS										
	MAX. HEIGHT	MAX. STORIES	MIN. LOT SIZE	MIN. LOT DEPTH	MIN. LOT WIDTH	MIN. FRONT SETBACK TO MAIN STRUCTURE	MIN. SIDE SETBACK, INTERIOR LOT	MIN. SIDE SETBACK, CORNER LOT	MIN. REAR SETBACK	MIN. REAR YARD SPACE
SINGLE FAMILY DETACHED (SFD) HOME										
UPLANDS MASTER ODP	40'	3	-	90'	25'	14'	7'	14'	5'	20x20 REAR YARD
UPLANDS FILING 1, BLOCK 1 ODP	40'	3	-	63'	32'	13'	5'	10'	3'	0 SF**
SINGLE FAMILY ATTACHED (SFA) TOWNHOME										
UPLANDS MASTER ODP	40'	3	-	80' (W/ ATTACHED GARAGE)	16'	10'	0'	8'	5'	15' MIN
UPLANDS FILING 1, BLOCK 1 ODP	45'	3	-	69'	21'	12'	0'	10'	7'	0 SF***

* THE ROOF TOP DECK OPTION AND THE GABLE ROOFS EXCEED THE 40' ONLY ON SFA TOWNHOMES MODERN BROWNSTONE STYLE
 ** A MINIMUM OF 410 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFD HOMES
 *** A MINIMUM OF 237 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA HOMES

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**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

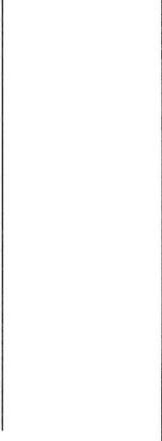
NORRIS DESIGN
 1015 S. 11TH ST.
 WESTMINSTER, CO 80057
 303.426.1111

UPLANDS

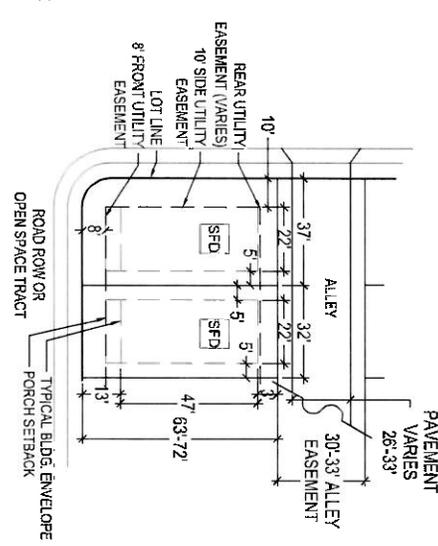
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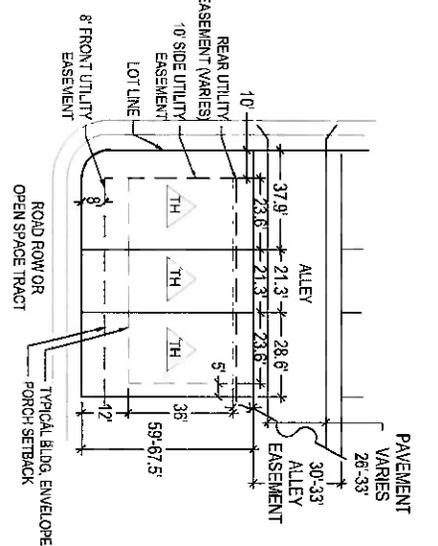
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SINGLE FAMILY 2-STORY DETACHED HOME
 (39' X 78'83" TYPICAL LOT / 43' X 78'83" TYPICAL CORNER LOT)
 (26' X 67' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE FAMILY 3-STORY DETACHED HOME
 (32' X 63'72" TYPICAL LOT / 37' X 63'72" TYPICAL CORNER LOT)
 (22' X 52' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE FAMILY 3-STORY ATTACHED TOWNHOME
 (21.3' X 59'67.5" TYPICAL LOT / 37.9' X 59'67.5" TYPICAL CORNER LOT)
 (23.8' X 44' MAX. BUILDING ENVELOPE INCLUDING PORCH)

LOT SETBACKS	SFD MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1/2)
FRONT TO LIVING AREA:	14'	13'
FRONT TO PORCH:	6'	8'
SIDE (INTERNAL)	7'	5'
SIDE (CORNER)	14'	10'
SIDE (ABUTTING LOCAL STREET)	5'	3'
REAR:	5'	15'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 17-22, 66-74, 80-84, 93-96, 108-121, 154-156:	5'	17.5'
REAR FIRE SETBACK PER ALLEY SECTION FOR LOTS 1-6, 44-58, 65-92, 100-104:	SFA (TOWNHOME) MODP MINIMUM SETBACKS	PROPOSED SETBACKS (1/2)
FRONT TO LIVING AREA:	6-12'	16'
FRONT TO PORCH:	0'	8'
SIDE (INTERNAL)	0'	0'
SIDE (CORNER)	8'	10'
SIDE (ABUTTING LOCAL STREET)	5'	7'
REAR:	5'	15'

PROPOSED SETBACK NOTES

- ALL SETBACKS SHOWN ARE MINIMUMS. IN SOME LOCATIONS A HOME MAY BE SETBACK FURTHER FROM THE LOT LINE THAN THE MINIMUM.
- SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION.
- CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW WELLS, OVERHANGS, OR SIMILAR ARCHITECTURE FEATURES MAY ENCRoACH INTO A SETBACK A MAXIMUM OF 2 FT.
- SEE EXCEPTIONS SHEETS 5-7.
- SEE DETAILED LOT TYPICALS FOR EACH FOOTPRINT ON STARTING ON SHEET 83.
- SEE SHEETS 31-38 FOR TYPICAL ALLEY SECTIONS WHICH SHOW SETBACKS, BUILDING TO PROPERTY LINE, AND FIRE SETBACKS, BUILDING TO PAVEMENT EDGE. TYPICAL ALLEY SECTIONS ARE MORE LOCATION SPECIFIC THAN THE PROPOSED MINIMUM SETBACK TABLES AS THEY PROVIDE DIMENSIONS FOR BUILDING TO PAVEMENT LOCATION WHICH VARIES DEPENDING ON THE LOCATION OF THE ALLEY (ALLEY LOCATION DOES NOT IMPACT LOT DEPTH, THUS MINIMUM SETBACKS ARE MAINTAINED) AND PROVIDES INFORMATION SPECIFIC TO FIRE REQUIREMENTS.

MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

- HOMEOWNER MAINTENANCE:**
- DRIVEWAYS
 - PORCHES, PATIOS & STEPS
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS, COMMON ON-LOT LEADER WALK TO COMMON SIDEWALK INCLUDING SNOW REMOVAL)
 - ON-LOT FENCES (SFD ONLY)
 - ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
 - SIDE YARDS INSIDE PRIVATE FENCED AREA
- HOA MAINTENANCE:**
- ALLEYS (INCLUDING SNOW REMOVAL)
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS, COMMON SIDEWALKS MAY ALSO OCCUR ON-LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT) (INCLUDING SNOW REMOVAL)
 - ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
 - HOA-OWNED LANDSCAPE TRACTS/OUTLOTS
 - OFF-SITE DETENTION POND
 - RETAINING WALLS
 - FENCING INCLUDING ON-LOT FOR SFA ONLY
 - ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
 - TREE LAWNS
 - TRASH PICKUP

LOT TYPICAL NOTES

- REAR SETBACKS VARY DUE TO UTILITY LOCATIONS.
- REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.

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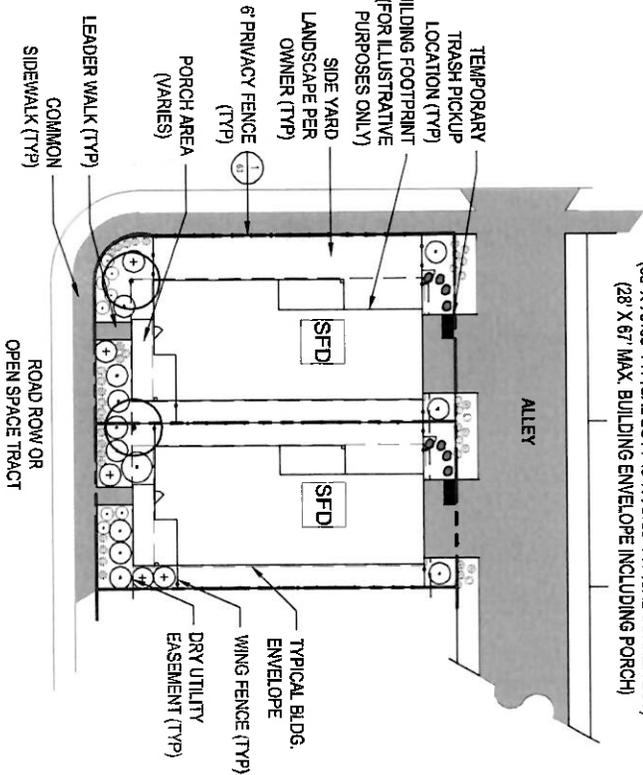


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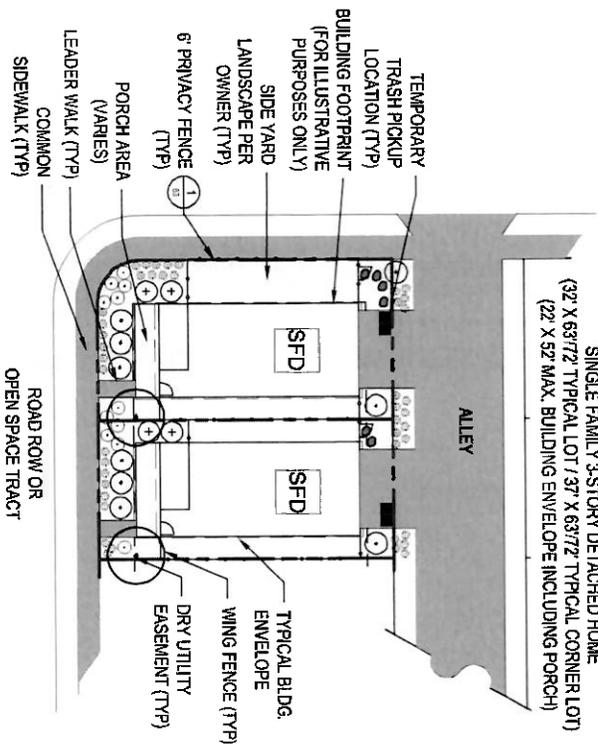
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LANDSCAPE LOT TYPICALS

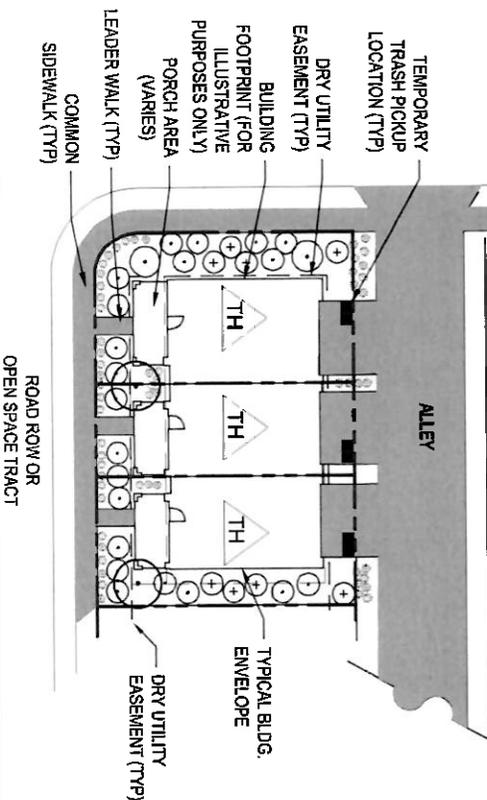
SINGLE FAMILY 3-STORY DETACHED HOME
 (38' X 78/83' TYPICAL LOT / 43' X 78/83' TYPICAL CORNER LOT)
 (28' X 67' MAX. BUILDING ENVELOPE INCLUDING PORCH)



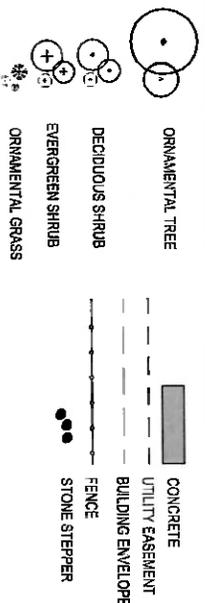
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 (32' X 63/72' TYPICAL LOT / 37' X 63/72' TYPICAL CORNER LOT)
 (22' X 52' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE FAMILY 3-STORY ATTACHED TOWNHOME
 (21.3' X 39/67.5' TYPICAL LOT / 36.6' X 39/67.5' TYPICAL CORNER LOT)
 (23.6' X 44' MAX. BUILDING ENVELOPE INCLUDING PORCH)



LEGEND



NOTES

1. LOT AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANNING CONDITION. GENERAL PARAMETERS OF A MINIMUM OF 1 TREE AND 3 SHRUBS PER 500 SF LANDSCAPE AREA IN FRONT YARDS ARE REQUIRED. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FINAL PRODUCT CONFIGURATION WHERE APPROPRIATE SPACE EXISTS AND UTILITY EASEMENTS DO NOT PROHIBIT THE PLANTING OF TREES AND SHRUBS. SUBSTITUTIONS SHALL NOT BE ALLOWED ON THE PRIVATE LOTS. DEVELOPER SHALL SHOW AT TIME OF BUILDING PERMIT WHETHER TREES CAN OR CANNOT BE PLANTED ON THE PRIVATE LOTS.
2. REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS. STARTING ON SHEET 83.
3. DESIGN (AVERAGE) LANDSCAPE CONDITIONS ARE SHOWN ON LOT TYPICALS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL LANDSCAPE PLANS FOR EACH LOT WILL OCCUR AT TIME OF BUILDING PERMIT, BUT MUST COMPLY WITH MINIMUM STANDARDS SET FORTH IN THE ODP.
4. TRASH AND RECYCLING CONTAINERS TO BE LOCATED PERMANENTLY WITHIN GARAGES. SEE ARCHITECTURE TYPICALS FOR FURTHER DETAIL STARTING AT SHEET 83.

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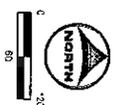
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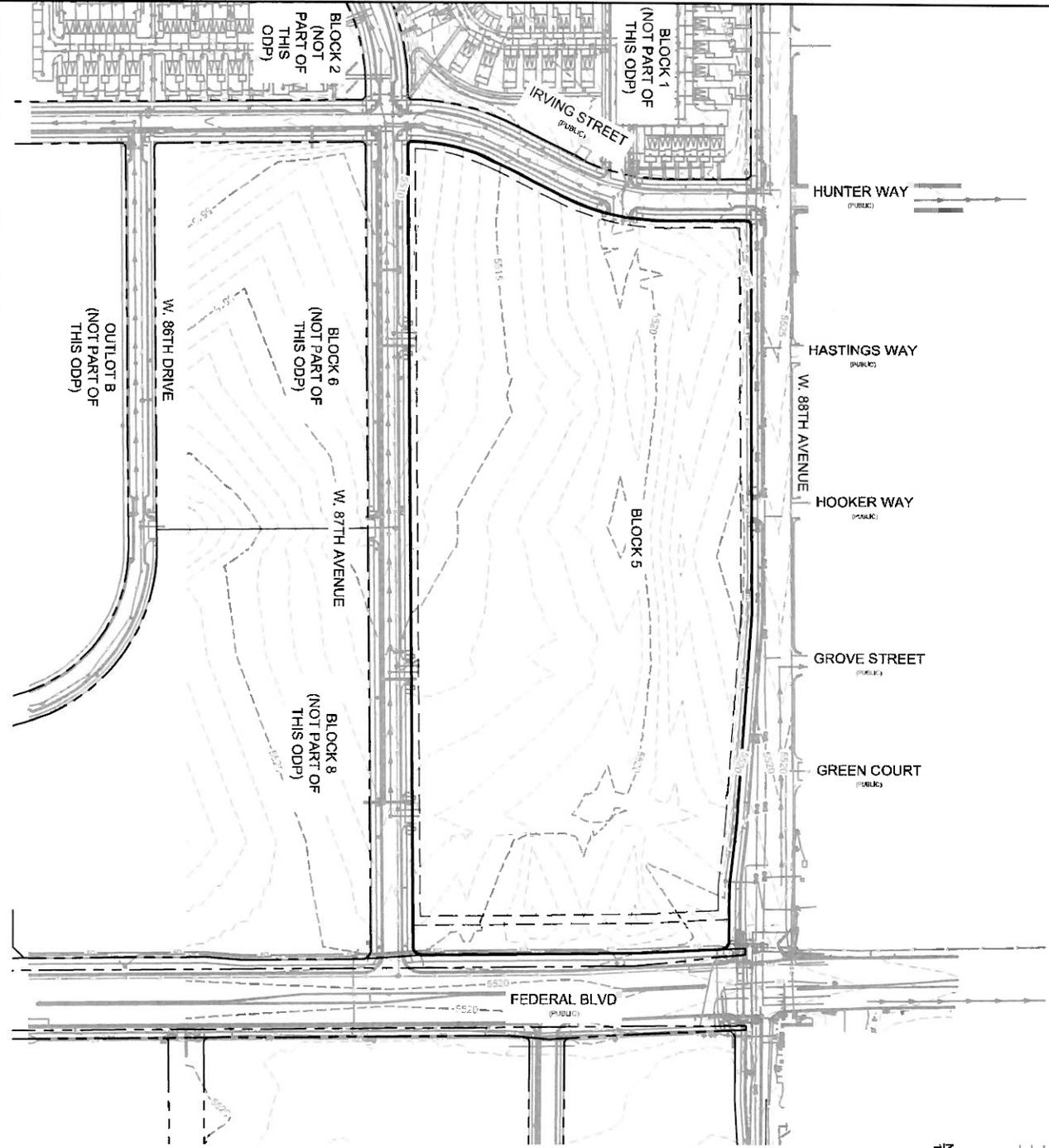
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 LOT TYPICALS

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- LEGEND**
- 0.5' — PROPERTY LINE
 - 1.0' — EXISTING MAJOR CONTOUR
 - 2.0' — EXISTING MINOR CONTOUR
 - 3.0' — EXISTING STORM SEWER
 - 4.0' — EXISTING SANITARY SEWER
 - 5.0' — EXISTING WATER MAIN
 - 6.0' — EXISTING STORM MANHOLE
 - 7.0' — EXISTING SANITARY MANHOLE
 - 8.0' — EXISTING FIBER OPTIC
 - 9.0' — EXISTING OVERHEAD ELECTRIC
 - 10.0' — EXISTING UNDERGROUND ELECTRIC
 - 11.0' — EXISTING STREET LIGHT
 - 12.0' — EXISTING SIGN
 - 13.0' — EXISTING POST
 - 14.0' — EXISTING TELECOMM MANHOLE
- NOTES:**
 1. ALL EXISTING INFRASTRUCTURE TO REMAIN UNLESS OTHERWISE NOTED



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 EXISTING CONDITIONS

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PLANNING AREA PA-45 SHARED PARKING		REQUIRED	PROVIDED
TYPE			
87TH PLACE		41 (2)	41 (2)
HASTINGS WAY		14	14
GROVE STREET		14 (1)	14 (1)
IRVING COURT		10 (2)	10 (2)
87TH AVENUE		43	43
STANDARD ACCESSIBLE	25	5	5
VAN ACCESSIBLE	1	1 (1)	1 (1)
TOTAL	25 STA + 166 STD = 211	147 (5)	147 (5)
ADDITIONAL ROW PARKING	87TH AVENUE	0	18

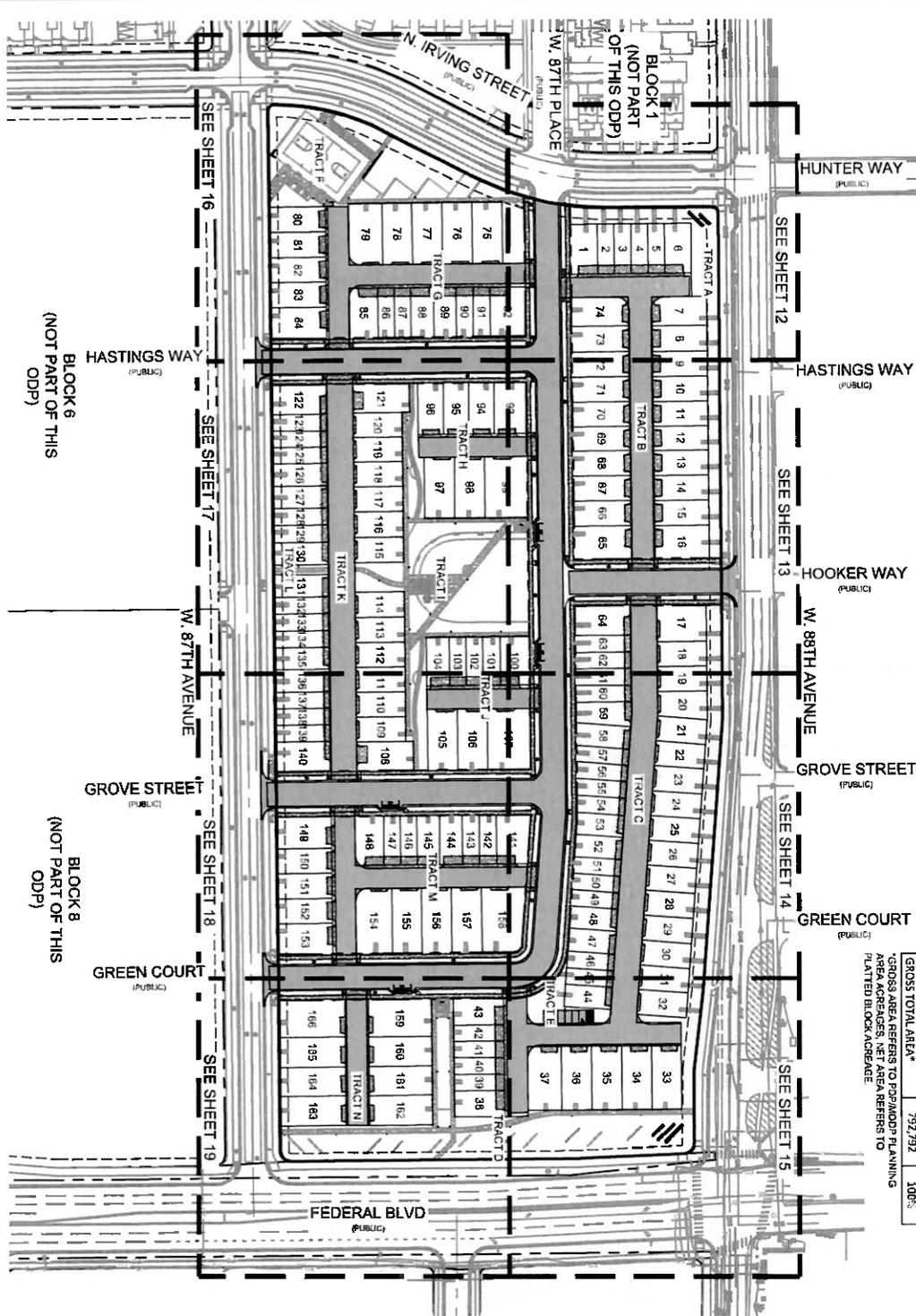
PLANNING AREA PA-45 PARKING SUMMARY			
TYPE	UNIT COUNT	REQUIRED (OFF-STREET)	PROVIDED (ON-STREET)
OFF-STREET (2/UNIT)	73	146	246
GUEST (1/3)	25	25	0
DRIVEWAY (2/UNIT)	93	185	185
ENCLOSED (2/UNIT)	0	185	0
TOTAL	166	543	432

A 437 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH ROW AND SURFACE SPACES. SEE SHARED PARKING TABLE.

LOT COVERAGE PA-45			
SURFACE TYPE	AREA (SF)	% OF SITE	PERMITTED
BUILDING COVERAGE	155,315	22%	22%
PAVING AND DRIVES (99.709 SF INTERVAL ROW)	313,097	44%	44%
LANDSCAPE OPEN AREA	235,620	34%	34%
NET TOTAL AREA*	704,972	100%	100%

*GROSS AREA REFERS TO PREPARED PLANNING AREA AREAS. NET AREA REFERS TO PLANTED BLOCK LANDSCAPE.

TRACT TABLE:		
TRACT	USE	MAINTENANCE RESPONSIBILITY
A	LANDSCAPE	HOA
B	PUBLIC ACCESS	HOA
C	PUBLIC ACCESS	HOA
D	LANDSCAPE	HOA
E	LANDSCAPE	HOA
F	LANDSCAPE/PUBLIC ACCESS	HOA
G	PUBLIC ACCESS	HOA
H	PUBLIC ACCESS	HOA
I	LANDSCAPE/PUBLIC ACCESS	HOA
J	PUBLIC ACCESS	HOA
K	PUBLIC ACCESS	HOA
L	LANDSCAPE	HOA
M	PUBLIC ACCESS	HOA
N	PUBLIC ACCESS	HOA



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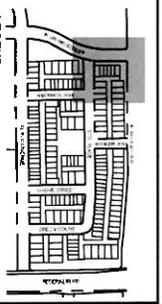
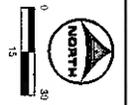
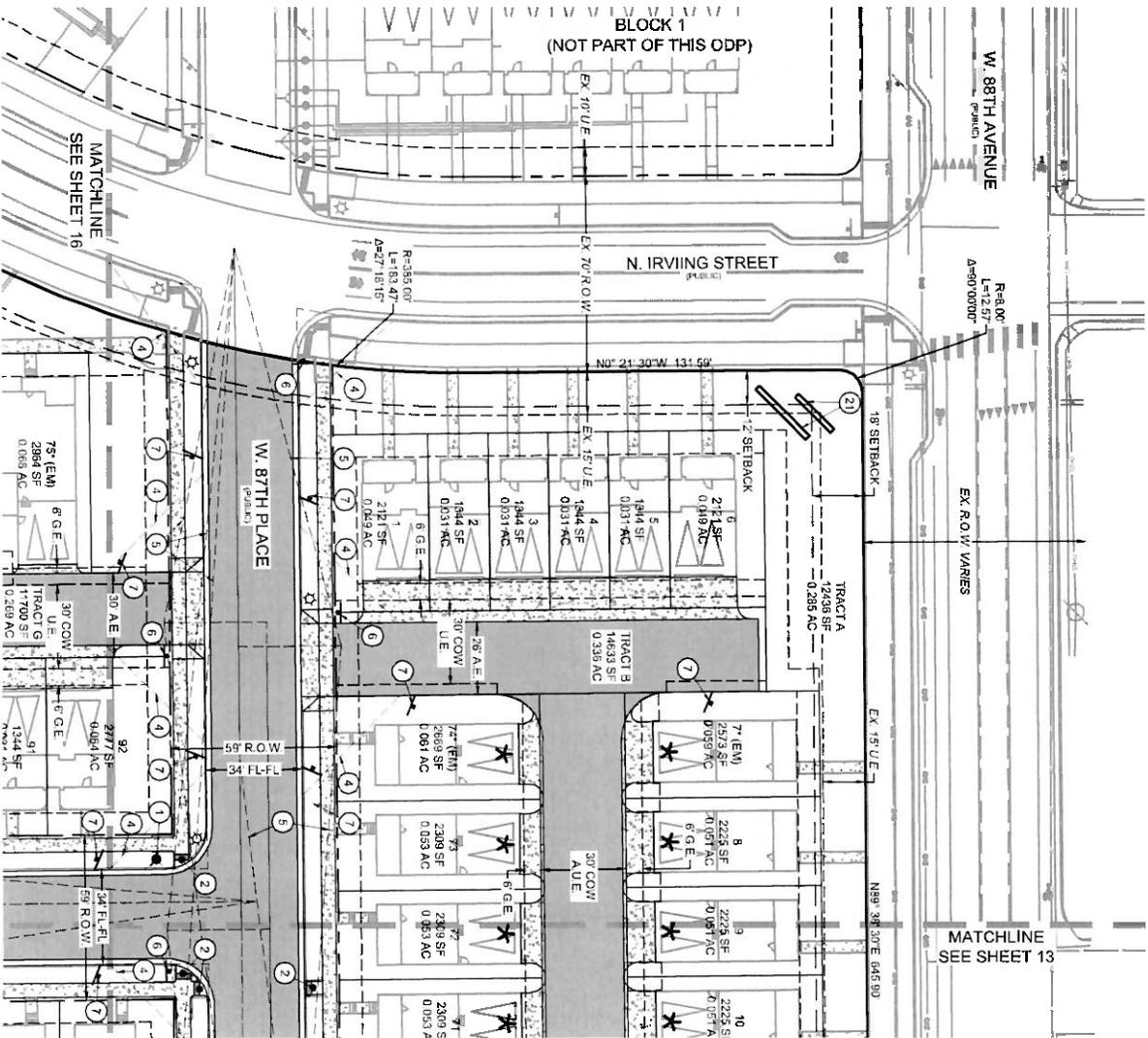
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- ABBREVIATIONS:**
- AE PUBLIC ACCESS EASEMENT
 - A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT
 - CO.W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - G.E. GAS EASEMENT
 - SW SIDEWALK
 - U.E. UTILITY EASEMENT
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE PER ENG 22-9014

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LEGEND:

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- MAIL RAILING
- ENHANCED SIDE MASONRY (LOT 1, 8, 9, 10)
- ENHANCED SIDE MASONRY AT STD

- * UNIT WITH REAR UPPER STORY STEP ACCESS
- 1 PR. FIRE HYDRANT
- 2 CURB RAMP
- 3 USE RE-RAINING WALL (SEE DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN
- 7 NO PARKING FIRE LANE SIGN
- 8 SUBDIVISION ENTRY SIGN - PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION. IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP.
- 9 BIKE RACK
- 10 MAIL BOX
- 11 BENCH
- 12 UMBRELLA TABLE
- 13 SHADE PAVILION
- 14 PICNIC TABLE
- 15 ACCESSIBLE PARKING SYMBOL PER MICHIGAN HSB 98.22
- 16 ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
- 17 ACCESSIBLE PARKING SIGN
- 18 SCREEN WALL
- 19 SEAT WALL
- 20 PANEL WALL
- 21 ACCENT WALL

- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 USE RE-RAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN
 - 7 NO PARKING FIRE LANE SIGN
 - 8 SUBDIVISION ENTRY SIGN - PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION. IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP.
 - 9 BIKE RACK
 - 10 MAIL BOX
 - 11 BENCH
 - 12 UMBRELLA TABLE
 - 13 SHADE PAVILION
 - 14 PICNIC TABLE
 - 15 ACCESSIBLE PARKING SYMBOL PER MICHIGAN HSB 98.22
 - 16 ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
 - 17 ACCESSIBLE PARKING SIGN
 - 18 SCREEN WALL
 - 19 SEAT WALL
 - 20 PANEL WALL
 - 21 ACCENT WALL

- NOTES:**
1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
 2. ALL PRIVATE WALKS TO SPD AND SFA ARE 4'
 3. ALL PROPOSED CURB & GUTTERS IS 6" VERTICAL
 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE LOT/USE HOME BUYER RESPONSIBLE FOR MAINTENANCE OF PARKS
 5. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
 6. EXACT PAULING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT
 7. CONSIDERED WALK FOR UNITS ALONG W 87TH AVE. INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO SHUT TRAFFIC AND VEGETATION
 8. CIRCULATION PLAN



UPLANDS

DATE: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

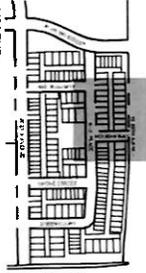
OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
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SITE PLAN

ABBREVIATIONS:
 A.U.E. PUBLIC ACCESS EASEMENT
 C.O.U.E. PUBLIC ACCESS & C.O.U. UTILITY EASEMENT
 G.E. CITY OF WESTMINSTER UTILITY EASEMENT
 S.W. GAS EASEMENT
 U.E. SIDEWALK
 U.E. UTILITY EASEMENT

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

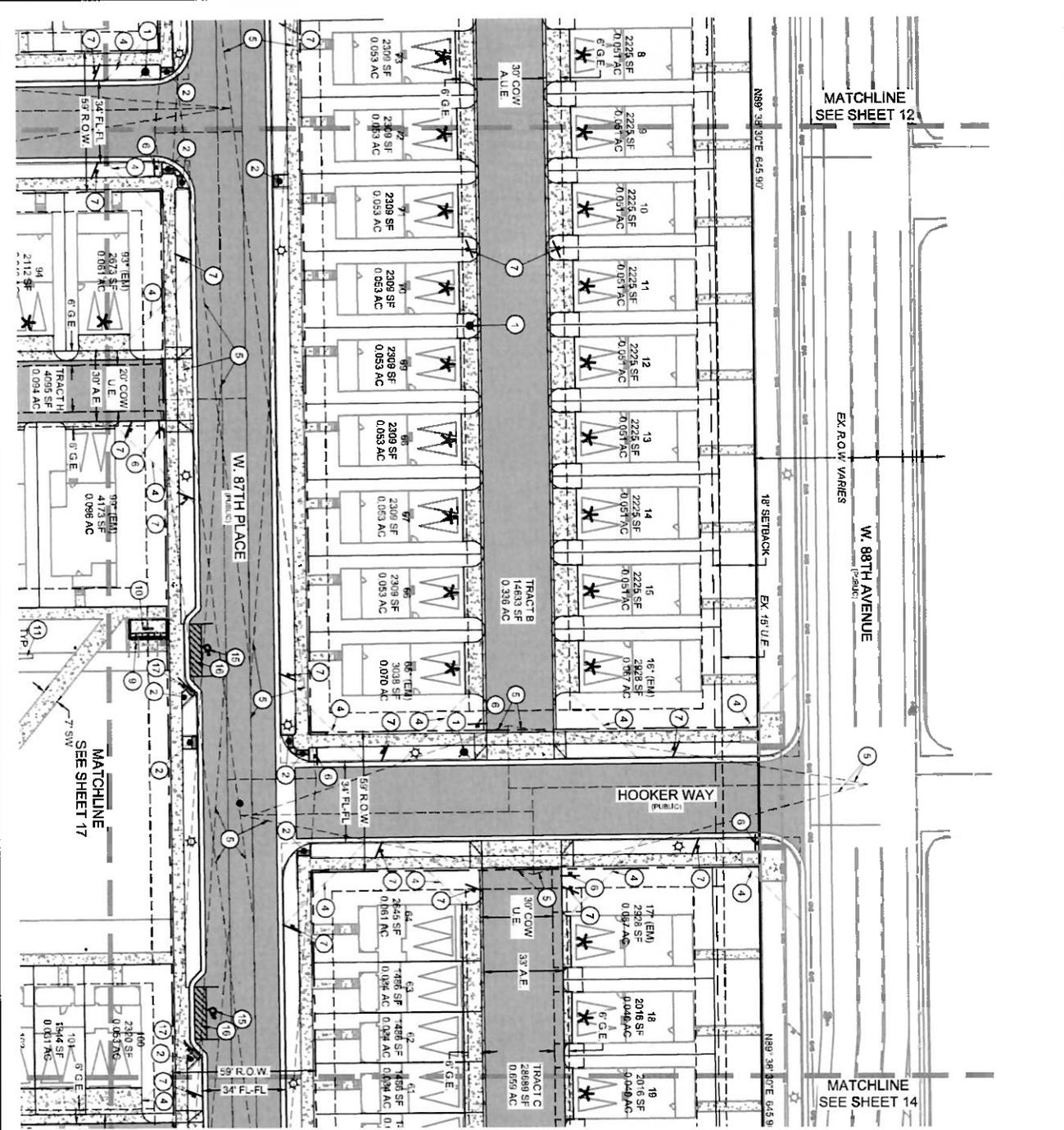
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 13 OF 138



LEGEND:
 PROPERTY LINE
 REDUCED SETBACK
 EDGE OF CONCRETE
 RIGHT OF WAY
 EASEMENT LINE
 LOT LINE
 ACCESSIBLE ROUTE
 WALL RAILING
 LOT 17 - ENHANCED ELEVATION
 LOT 18 (EM) - ENHANCED SIDE MASONRY AT STD

KEYNOTE LEGEND:
 1 PR FIRE HYDRANT
 2 CURB RAMP
 3 USE RETAINING WALL (SEE DETAIL ON SHEET 20)
 4 LANDSCAPE TRIANGLE
 5 SIGHT TRIANGLE
 6 STOP SIGN
 7 NO PARKING/FIRE LANE SIGN
 8 SUPERVISION ENTRY SIGN
 9 VARIANCE APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP
 10 BIKE RACK
 11 MAIL KIOSK
 12 BENCH
 13 UMBRELLA TABLE
 14 SHADE PAVILION
 15 PICNIC TABLE
 16 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 17 ACCESSIBLE E PARKING STRIPPING (45' & YELLOW STRIPING AT 7' O.C.)
 18 ACCESSIBLE PARKING SIGN
 19 SCREEN WALL
 20 SEAT WALL
 21 PANEL WALL
 22 ACCENT WALL

NOTES:
 1 ALL PROPOSED PUBLIC SIDEWALKS ARE 6' UNLESS OTHERWISE NOTED
 2 ALL PRIVATE WALKS TO STD AND SFA ARE 4'
 3 ALL PROPOSED CURBS & GUTTERS IS 6"
 4 PERMANENT SEE BUILDING AND LOT TYPICALS FOR CRITICAL PRIVATE TYPICALS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 5 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
 6 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS
 7 ALL PROPOSED WALK FOR UNITS ALONG W. 87TH AVE. INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPOLINE OF VEGETATION.
 8 SEE PAGE 58 FOR PEDESTRIAN CIRCULATION PLAN



MATCHLINE SEE SHEET 12
W. 88TH AVENUE
 EX. R.O.W. VARIES
 18' SETBACK
 EX. 45' U.E.
HOOKER WAY
 30' C.O.W. U.E.
 38' A.E.
W. 87TH PLACE
 59' R.O.W.
 34' F.L.
MATCHLINE SEE SHEET 14
 18' SETBACK
 EX. 38' U.E.
 38' A.E.
 59' R.O.W.
 34' F.L.

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
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SUB 04: 06.14.2024

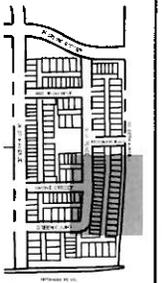
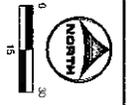
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS
HRGreen
 DATE: 06.14.2024

- ABBREVIATIONS:**
- AE PUBLIC ACCESS EASEMENT
 - AUE PUBLIC ACCESS & COW UTILITY EASEMENT
 - COU UE CITY OF WESTMINSTER UTILITY EASEMENT
 - CE GAS EASEMENT
 - SW SIDEWALK
 - UE UTILITY EASEMENT

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 14 OF 138

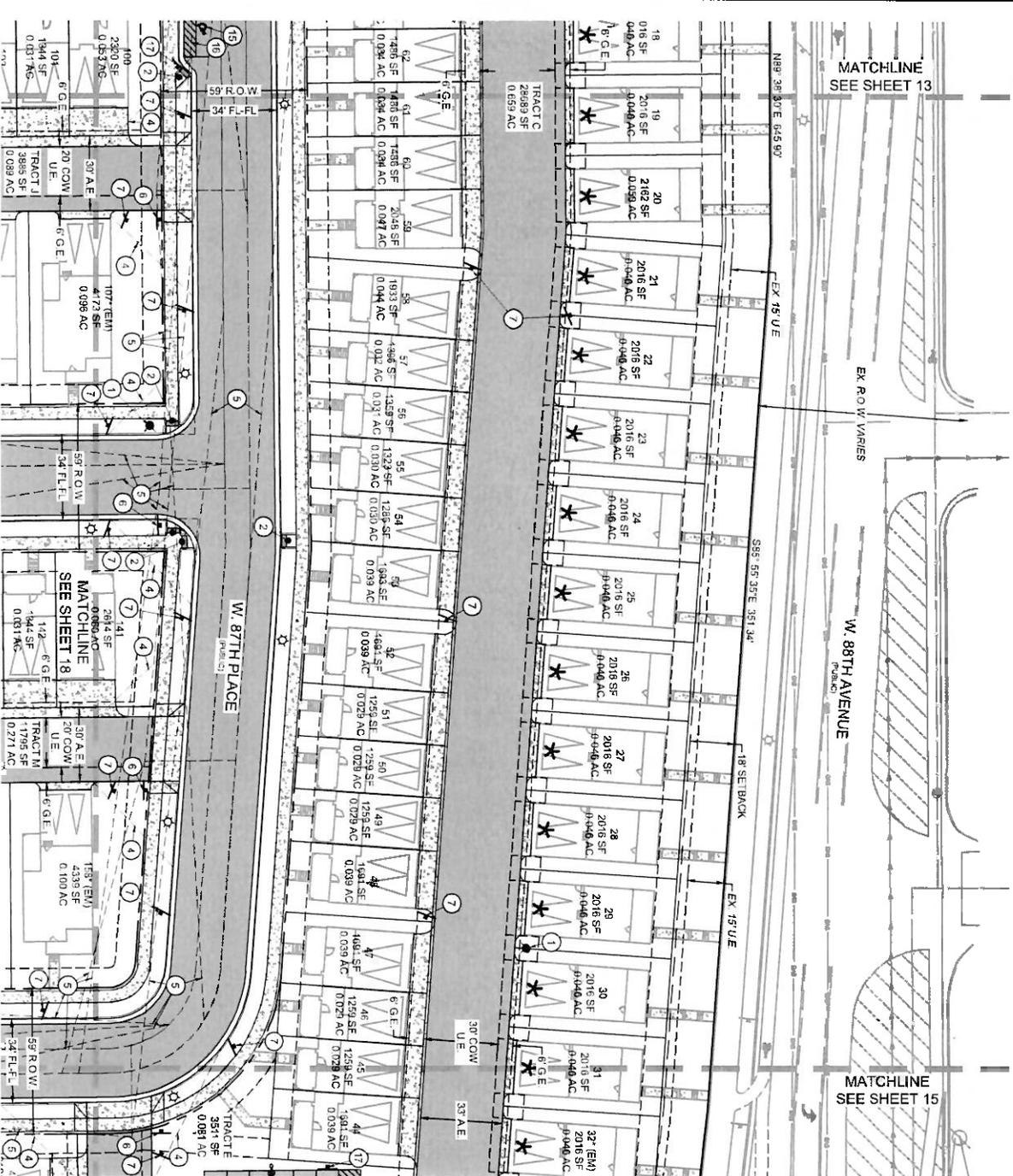


LEGEND:

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING
- (LOT) - ENHANCED ELEVATION
- (LOT) (EM) - ENHANCED SIDE MASONRY AT SFD

- KEYNOTE LEGEND:**
- 1 PR FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MSE RETAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN
 - 7 NO PARKING/FIRE LANE SIGN
 - 8 SUBVISION ENTRY SIGN
 - 9 PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE ODP
 - 10 BIKE BACK
 - 11 WALL NOSK
 - 12 BENCH
 - 13 UMBRELLA TABLE
 - 14 SHADE PAVILION
 - 15 PONG TABLE
 - 16 ACCESSIBLE PARKING SIGN/POLE PER MUTCD FIGURE 318.22
 - 17 ACCESSIBLE PARKING STRIPING (45' 4" YELLOW STRIPING AT 2' O.C.)
 - 18 ACCESSIBLE PARKING SIGN
 - 19 SCREEN WALL
 - 20 SEAT WALL
 - 21 PANEL WALL
 - 22 ACCENT WALL

UNIT WITH NEAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS



- NOTES:**
- 1 ALL PROPOSED PUBLIC UTILITIES ARE FINISHED UNLESS OTHERWISE NOTED
 - 2 ALL PRIVATE WALKS TO SFD AND SFA ARE FINISHED
 - 3 ALL PROPOSED CURB & GUTTERS IS VERTICAL
 - 4 PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE UPLANDS HOA WILL BE RESPONSIBLE FOR THE MAINTENANCE OF PARKS AT THE DISCRETION OF THE UPLANDS HOA EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 - 5 CONSULATED WALK FOR UNITS ALONG W. 88TH AVE. INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPING OF VEGETATION SEE PAGE 58 FOR PEDESTRIAN CIRCULATION PLAN

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
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SUB 01:	11.03.2023
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SUB 03:	05.03.2024
SUB 04:	06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

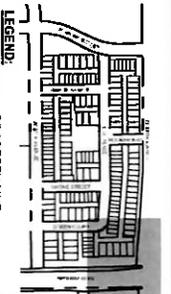
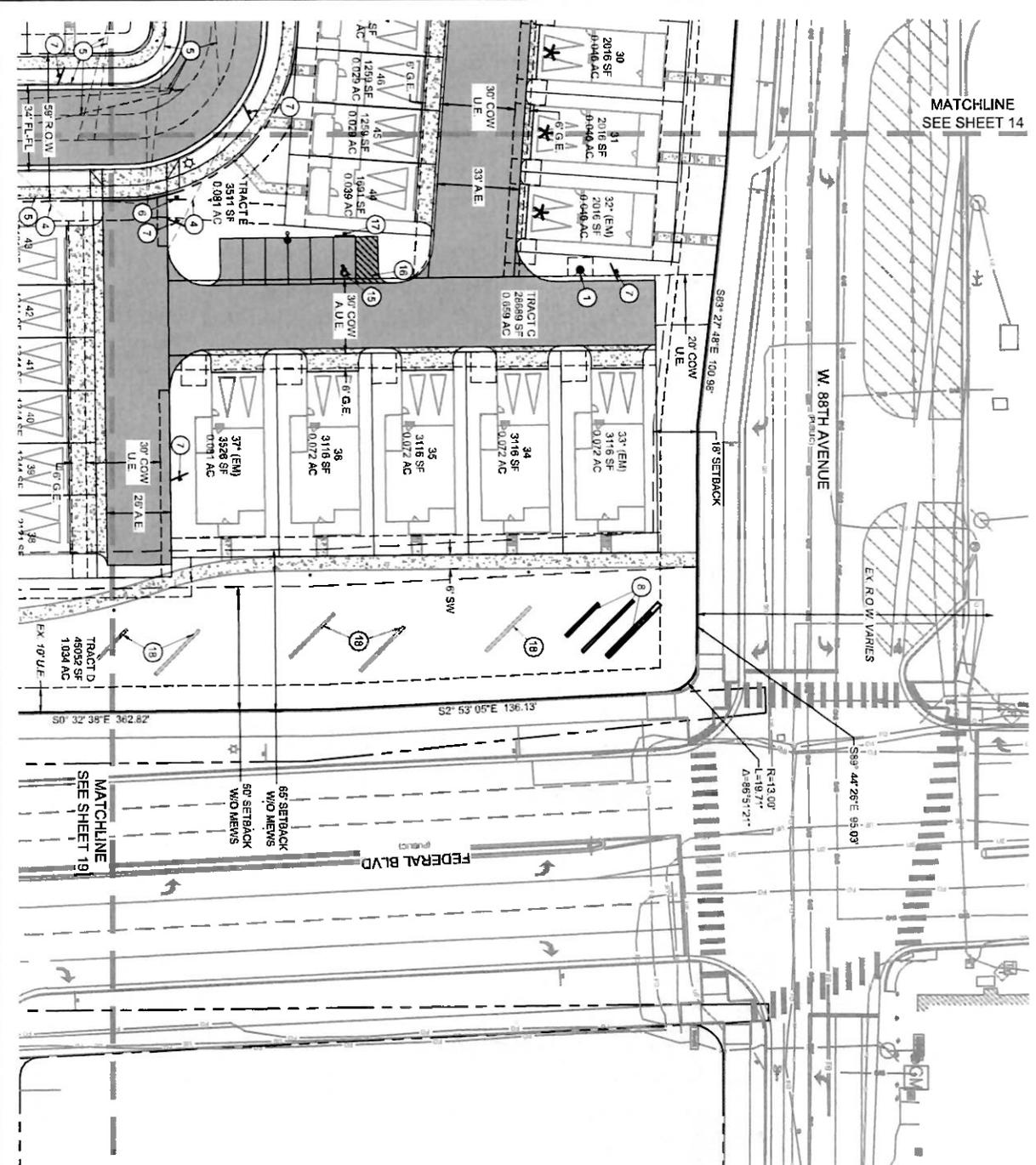
UPLANDS

DATE: 06.14.2024

HRGreen

- ABBREVIATIONS:**
- AE PUBLIC ACCESS EASEMENT
 - AUE PUBLIC ACCESS & COW UTILITY EASEMENT
 - COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - GE GAS EASEMENT
 - SW SIDEWALK
 - U.E. UTILITY EASEMENT
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 15 OF 138



- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - EDGE OF CONCRETE
 - RIGHT OF WAY
 - EASEMENT LINE
 - LOT LINE
 - WHEELCHAIR ROUTE
 - WAYFINDING
 - ENHANCED ELEVATION
 - (LOT#) (EM) - ENHANCED SIDE MASONRY AT SPD
- * UNIT WITH REAR UPPER STORY STEP ACCESS.**

- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MSE RETAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN
 - 7 NO PARKING/FIRE LANE SIGN
 - 8 SUPERVISION ENTRY SIGN - PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION. IF A VARIANCE IS NOT APPROVED, THE SIGN WILL BE REMOVED FROM THE OSP.
 - 9 BIKE RACK
 - 10 MAIL ROOM
 - 11 BENCH
 - 12 UMBRELLA TABLE
 - 13 SHADE PAVILION
 - 14 PICNIC TABLE
 - 15 ACCESSIBLE PARKING SYMBOL PER IUTODC REQUIRE 3B.22
 - 16 ACCESSIBLE PARKING STRIPING (45' x YELLOW STRIPING AT 2' O.C.)
 - 17 ACCESSIBLE PARKING SIGN
 - 18 SCREEN WALL
 - 19 SEAT WALL
 - 20 PANEL WALL
 - 21 ACCENT WALL

- NOTES:**
- 1 ALL PROPOSED PUBLIC SIDEWALKS ARE FINISHED AND SHALL BE USED.
 - 2 ALL PRIVATE WALKS TO SPD AND SFA ARE FINISHED.
 - 3 ALL PROPOSED CURB & GUTTERS IS 6" VERTICAL.
 - 4 PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 - 5 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
 - 6 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC ACCESSIBLE AND SHALL BE EXTENSIVE AND PROVIDE UNIFORM ILLUMINATION.
 - 7 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC ACCESSIBLE AND SHALL BE EXTENSIVE AND PROVIDE UNIFORM ILLUMINATION.
 - 8 OVER 30' IN HEIGHT, ALTHOUGH NOT SHOWN, ALL LIGHTS SHALL BE PROVIDED ON ALL WALLS.
 - 9 CONSOLIDATED WALK FOR UNITS ALONG W 88TH AVE. INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPING OF VEGETATION. SEE PAGE 88 FOR PEDESTRIAN CIRCULATION PLAN.

OFFICIAL DEVELOPMENT PLAN	
PREPARED: 11.03.2023	
REVISIONS	
SUB 01:	11.03.2023
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SUB 04:	06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

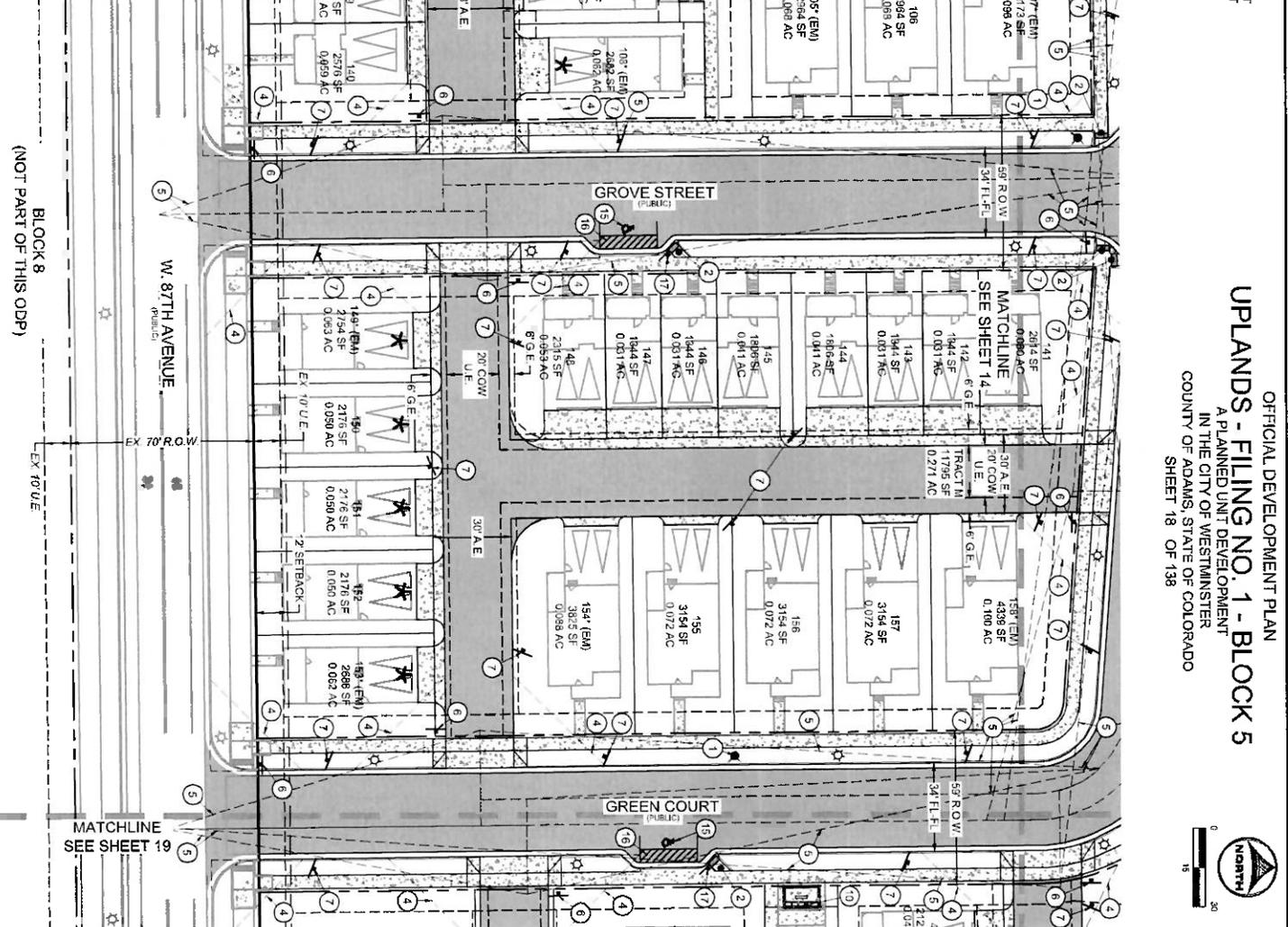
UPLANDS

HRGreen

DATE: 06.14.2024

ABBREVIATIONS:
 A.E. PUBLIC ACCESS EASEMENT
 A.U.E. PUBLIC ACCESS & COW UTILITY EASEMENT
 C.O.W. CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014



- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - EDGE OF CONCRETE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - LOT UTILITY ROUTE
 - LOT UTILITY ROUTE
 - (LOT)(E.M.) - ENHANCED ELEVATION
 - (LOT)(E.M.) - ENHANCED SIDE MASONRY AT SPD
 - UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS
- KEYNOTE LEGEND:**
- 1 PR FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MSE RETAINING WALL (SEE DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN
 - 7 NO PARKING/FIRE LANE SIGN
 - 8 SUBDIVISION ENTRY SIGN
 - 9 VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT REMOVED FROM THE ODP
 - 10 BIKE RACK
 - 11 MAIL BOX
 - 12 BENCH
 - 13 UMBRELLA TABLE
 - 14 SHADE PAVILION
 - 15 PICNIC TABLE
 - 16 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 - 17 ACCESSIBLE PARKING STRIP (48" & YELLOW STRIPING AT 7' O.C.)
 - 18 ACCESSIBLE PARKING SIGN
 - 19 SCREEN WALL
 - 20 SEAT WALL
 - 21 PANEL WALL
 - 22 ACCENT WALL
- NOTES:**
- 1 ALL PROPOSED, PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
 - 2 ALL PRIVATE WALKS TO SPD AND SPA ARE 4'
 - 3 ALL PROPOSED CURB & GUTTER IS 5"
 - 4 VERTICAL SEE BUILDING AND LOT VARIANCE REQUEST FOR CHANGES TO BUILDING FOOTPRINTS, CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 - 5 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
 - 6 EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT
 - 7 ALL CURB RAMP AND PPP SHOW A MINIMUM 1:12 SLOPE FOR ADA COMPLIANCE
 - 8 W/ 87TH AVENUE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPING OF VEGETATION. SEE PAGE 58 FOR VEGETATION CIRCULATION PLAN

**UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

UPLANDS

DATE: 06.14.2024

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	REVISIONS SUB 01: 11.03.2023 SUB 02: 03.07.2024 SUB 03: 05.03.2024 SUB 04: 06.14.2024
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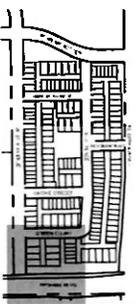
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SITE PLAN

HRGreen

ABBREVIATIONS:
 A/E PUBLIC ACCESS EASEMENT
 A.U.E. PUBLIC ACCESS & C&W UTILITY EASEMENT
 C.O.W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 19 OF 139

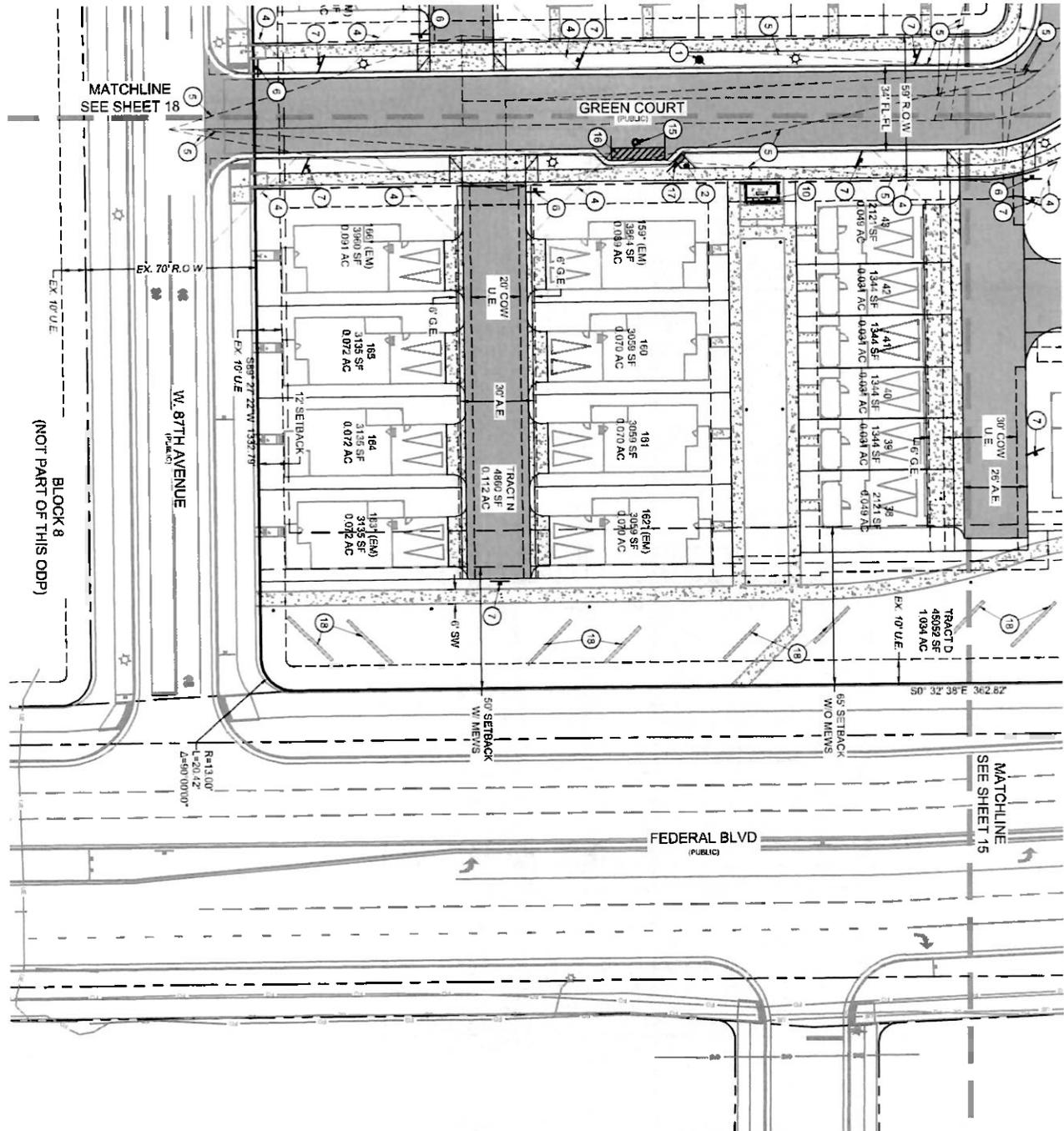


LEGEND:
 PROPERTY LINE
 REQUIRED SETBACK
 EDGE OF CONCRETE
 RIGHT OF WAY
 EASEMENT LINE
 LOT LINE
 ACCESSIBLE ROUTE
 (LOT) - ENHANCED ELEVATION
 (LOT) (EM) - ENHANCED SIDE MASONRY AT SF

* UNIT WITH REAR UPPER STORY STEP BACK TO ACCOMMODATE FIRE ACCESS

KEYNOTE LEGEND:
 1 PR FIRE HYDRANT
 2 CURB RAMP
 3 WSE RETAINING WALL (SEE DETAIL ON SHEET 20)
 4 LANDSCAPE TRIANGLE
 5 SIGHT TRIANGLE
 6 STOP SIGN
 7 NO PARKING/FIRE LANE SIGN
 8 SUBDIVISION ENTRY SIGN
 9 VARIANCE BY THE PLANNING COMMISSION, IF A VARIANCE IS NOT APPROVED, IF THE SIGN WILL BE REMOVED FROM THE ODP

- 9 BIKE RACK
- 10 MAIL NOSK
- 11 BENCH
- 12 UMBRELLA TABLE
- 13 SHADE PAVILION
- 14 PICNIC TABLE
- 15 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 9B.22
- 16 ACCESSIBLE PARKING STRIP (45' 4" YELLOW STRIPING AT 2' O.C.)
- 17 ACCESSIBLE PARKING SIGN
- 18 SCREEN WALL
- 19 SEAT WALL
- 20 PANEL WALL
- 21 ACCHT WALL



- NOTES:**
- 1 ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED.
 - 2 ALL PRIVATE WALKS TO SPD AND SEA ARE VERTICAL.
 - 3 ALL PROPOSED CURBS & GUTTERS IS 6" VERTICAL.
 - 4 PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
 - 5 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
 - 6 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC EXACT PAVING LOCATIONS AND EVENTS SHALL BE RECORDED ON ALL WALKS OVER 36" IN HEIGHT.
 - 7 ALTHOUGH NODP AND POP SHOW A CONSOLIDATED WALK FOR UNITS ALONG W 87TH AVE, INDIVIDUAL WALKS HAVE BEEN COORDINATED WITH THE CITY TO LIMIT TRAMPLING OF VEGETATION. SEE PAGE 58 FOR PEDESTRIAN CIRCULATION PLAN.

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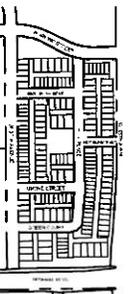
UPLANDS FILING NO. 1
BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

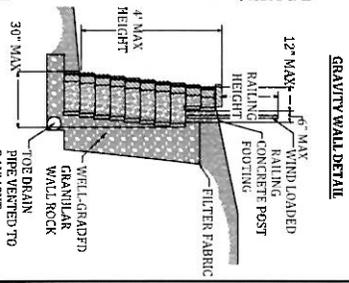
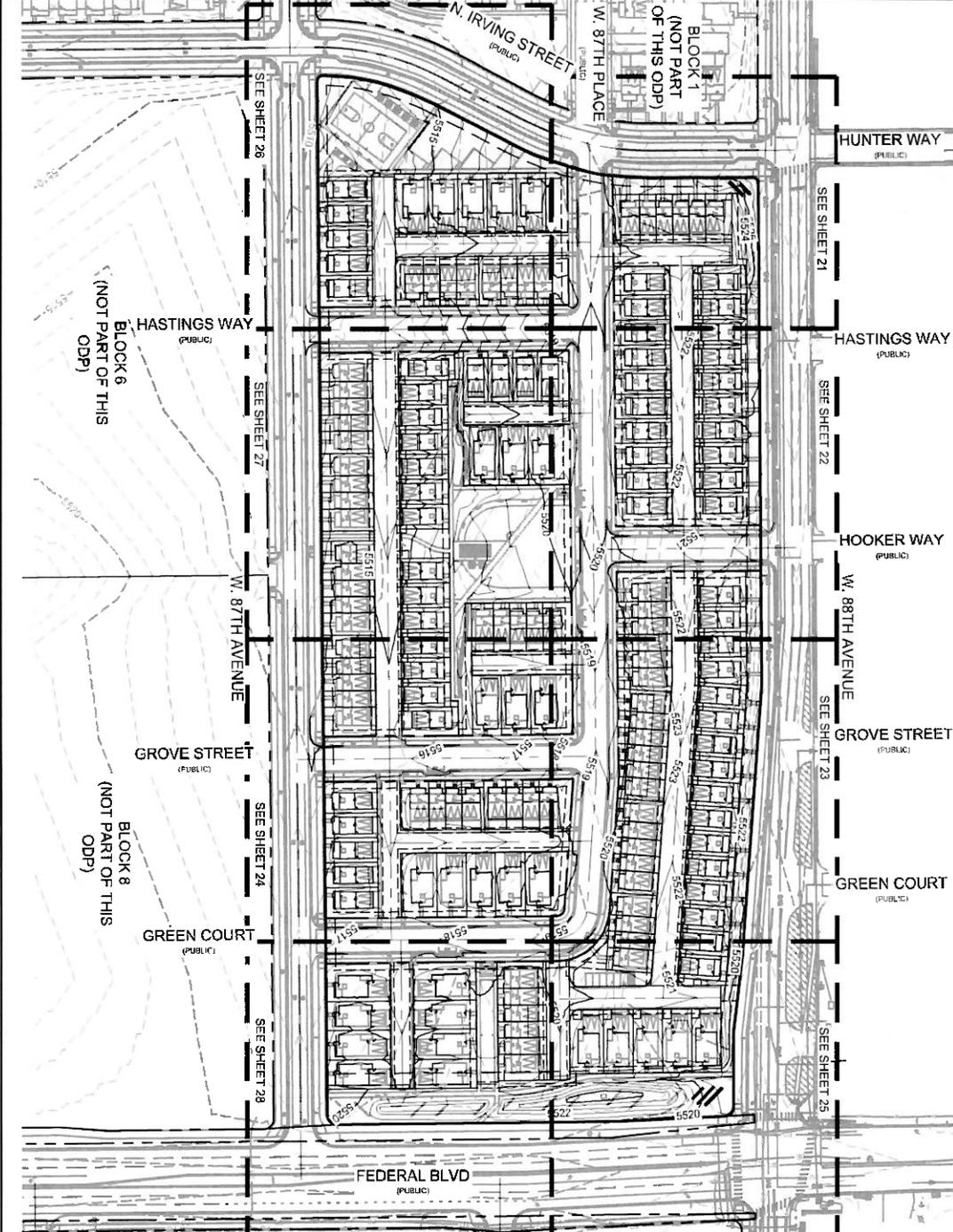
DATE: 06.14.2024

HRGreen

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 20 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT-OF-WAY
 - 5500 — PROPOSED MAJOR CONTOUR
 - 5500 — PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING ELEVATION
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING



- NOTES:**
1. THIS IS A DESIGN/BUILD ELEMENT BASED UPON EVENTUAL CONTRACTOR SELECTION. THE EXACT DIMENSIONS AND DETAILS MAY VARY WITH SPECIFIC WALL MANUFACTURER, BUT WILL GENERALLY REMAIN WITHIN THE PARAMETERS SHOWN HERE.
 2. RETAINING WALL FACE TO BE ALLAN BLOCK OR AN EQUIVALENT WITH COLOR ENHANCEMENTS.

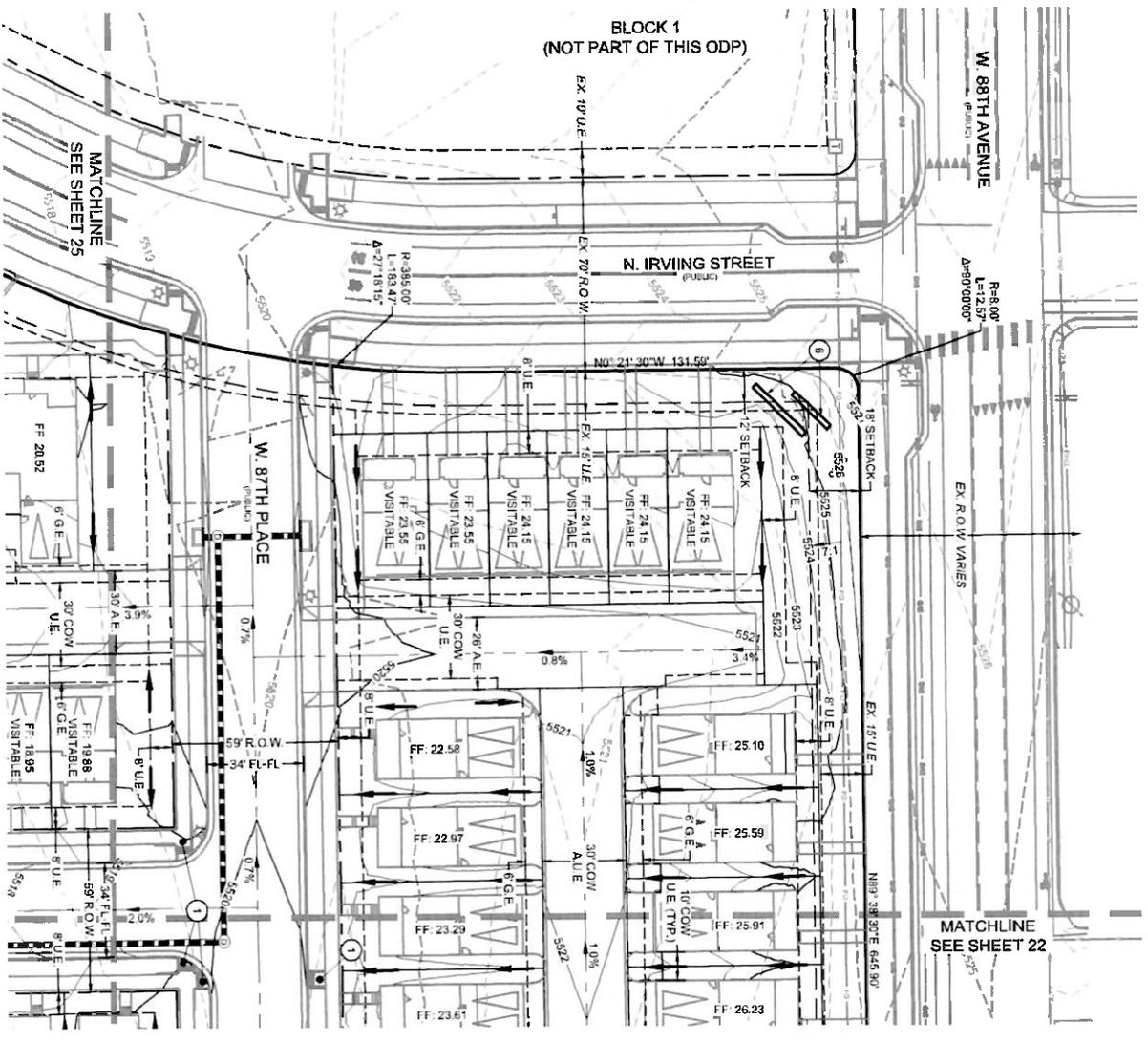
20 OF 138 OVERALL GRADING PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
	REVISIONS
	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024
SUB 04: 06.14.2024	

UPLANDS FILING NO. 1
BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS
 DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 21 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- 5500— PROPOSED MAJOR CONTOUR
- 5520— PROPOSED MINOR CONTOUR
- 5520— EXISTING MAJOR CONTOUR
- 5520— EXISTING MINOR CONTOUR
- DRAINAGE ROUTE
- SWALE
- WALL RAILING

ABBREVIATIONS:

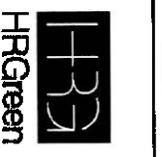
- TW - FINISHED GRADE AT TOP OF WALL
- BW - FINISHED GRADE AT BOTTOM OF WALL
- A.E. - PUBLIC ACCESS & AVUE - PUBLIC ACCESS & AVUE
- COM UE - CITY OF WESTMINSTER UTILITY
- G.E. - GAS EASEMENT
- UE - UTILITY EASEMENT

KEYNOTE LEGEND:

- ① CURB RAMP
- ② VARIABLE HEIGHT WISE WALL (SEE DETAIL ON SHEET 20)
- ③ SEAT WALL
- ④ SCREEN WALL
- ⑤ PANEL WALL
- ⑥ ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE WALLING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT WALLS OVER 30" IN HEIGHT.



UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

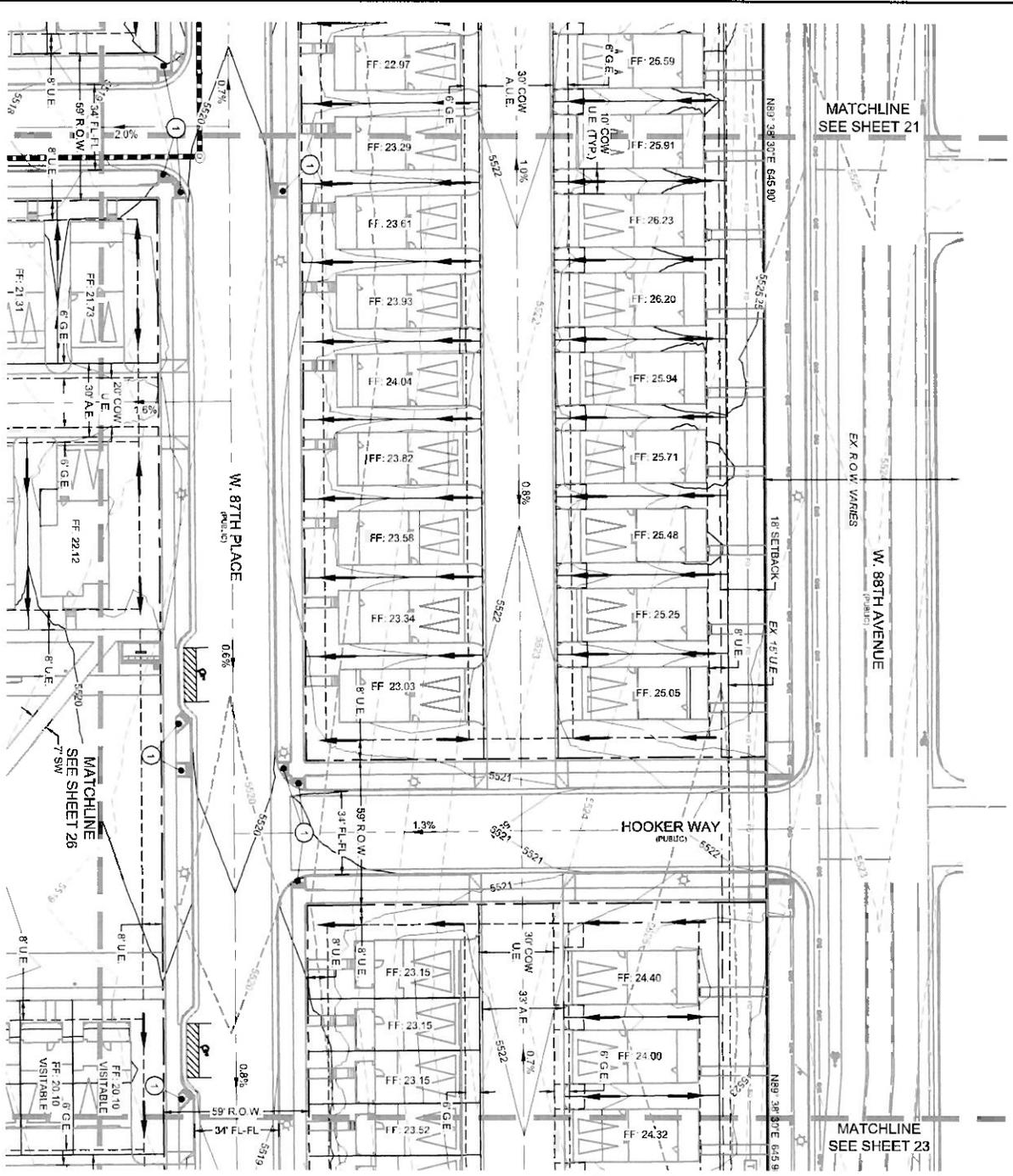
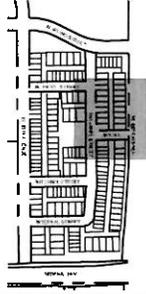
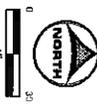
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS

SUB 01	11.03.2023
SUB 02	03.07.2024
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 GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 22 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DEQUAGE ARROW
 - SMALL WALL
 - WALL RAILING
- ABBREVIATIONS:**
- TF - FINISHED GRADE
 - AT TOP OF WALL
 - BW - FINISHED GRADE
 - AT BOTTOM OF WALL
 - A.E. - PUBLIC ACCESS EASEMENT
 - A.U.E. - PUBLIC ACCESS & CITY OF WESTMINSTER UTILITY EASEMENT
 - CO.U.E. - CITY OF WESTMINSTER UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- 1 CURB RAMP
 - 2 VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
 - 3 SCREEN WALL
 - 4 SEAT WALL
 - 5 PANEL WALL
 - 6 ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE EXACTING LOCATIONS. EXACT RAILING LOCATIONS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

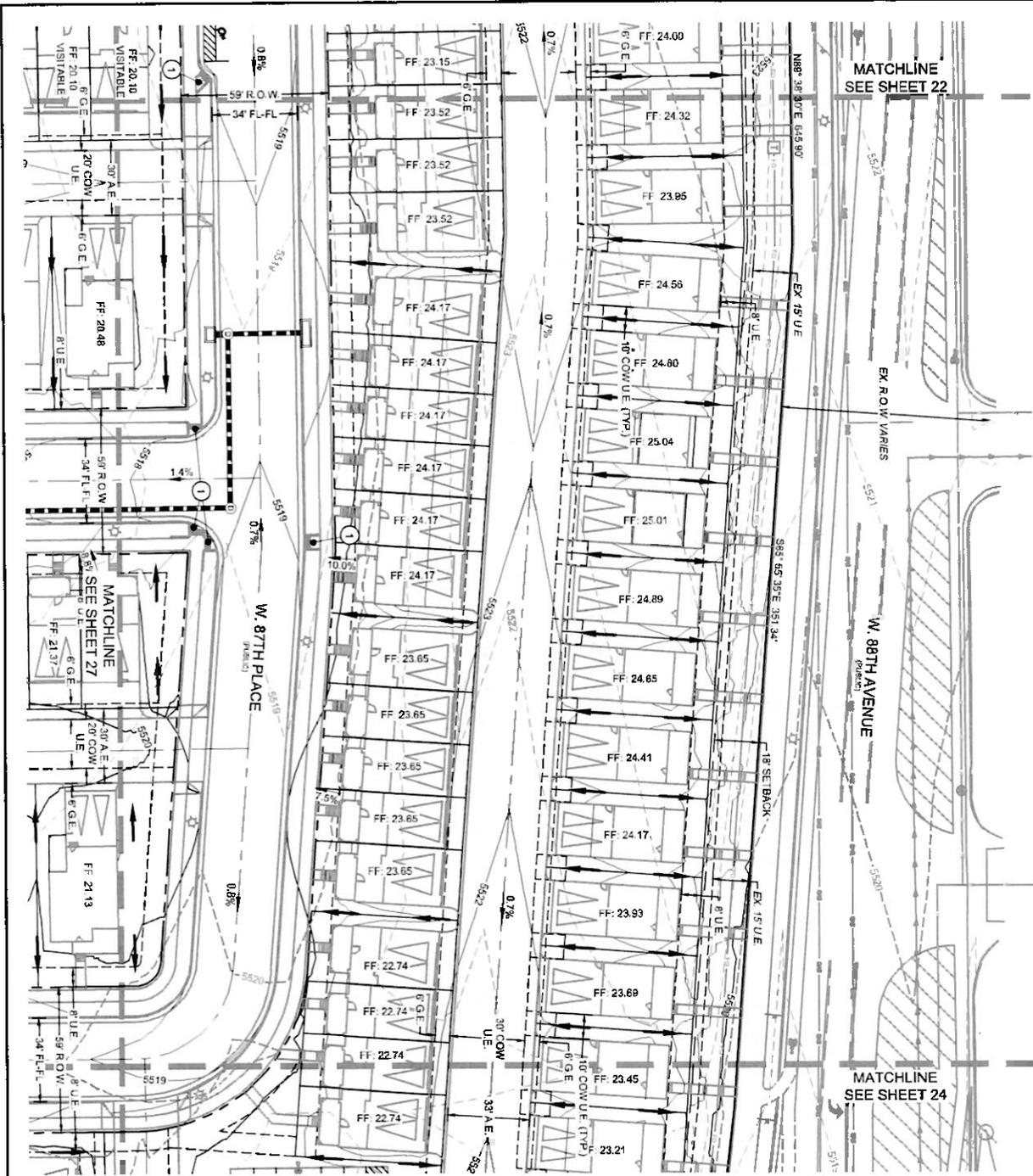
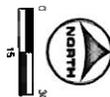
**UPLANDS FILING NO. 1
 BLOCK 5
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 WESTMINSTER, COLORADO**

UPLANDS

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DATE: 06.14.2024

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 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 23 OF 138



MATCHLINE
SEE SHEET 22

MATCHLINE
SEE SHEET 24

LEGEND:

- PROPERTY LINE
- LOTLINE
- RIGHT OF WAY
- 5500 - PROPOSED MAJOR CONTOUR
- 5500 - PROPOSED MINOR CONTOUR
- 5500 - EXISTING MAJOR CONTOUR
- 5500 - EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ROUTE
- SWALE
- WALL RAILING

ABBREVIATIONS:

- TW - FINISHED GRADE
- BM - FINISHED GRADE
- A.E. - PUBLIC ACCESS EASEMENT
- A.U.E. - PUBLIC ACCESS & CITY OF WESTMINSTER UTILITY EASEMENT
- U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

- 1 CURB RAMP
- 2 VARIABLE HEIGHT RISE WALL (SEE DETAIL ON SHEET 20)
- 3 SCREEN WALL
- 4 SEAT WALL
- 5 PANEL WALL
- 6 ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

UPLANDS

DATE: 06.14.2024

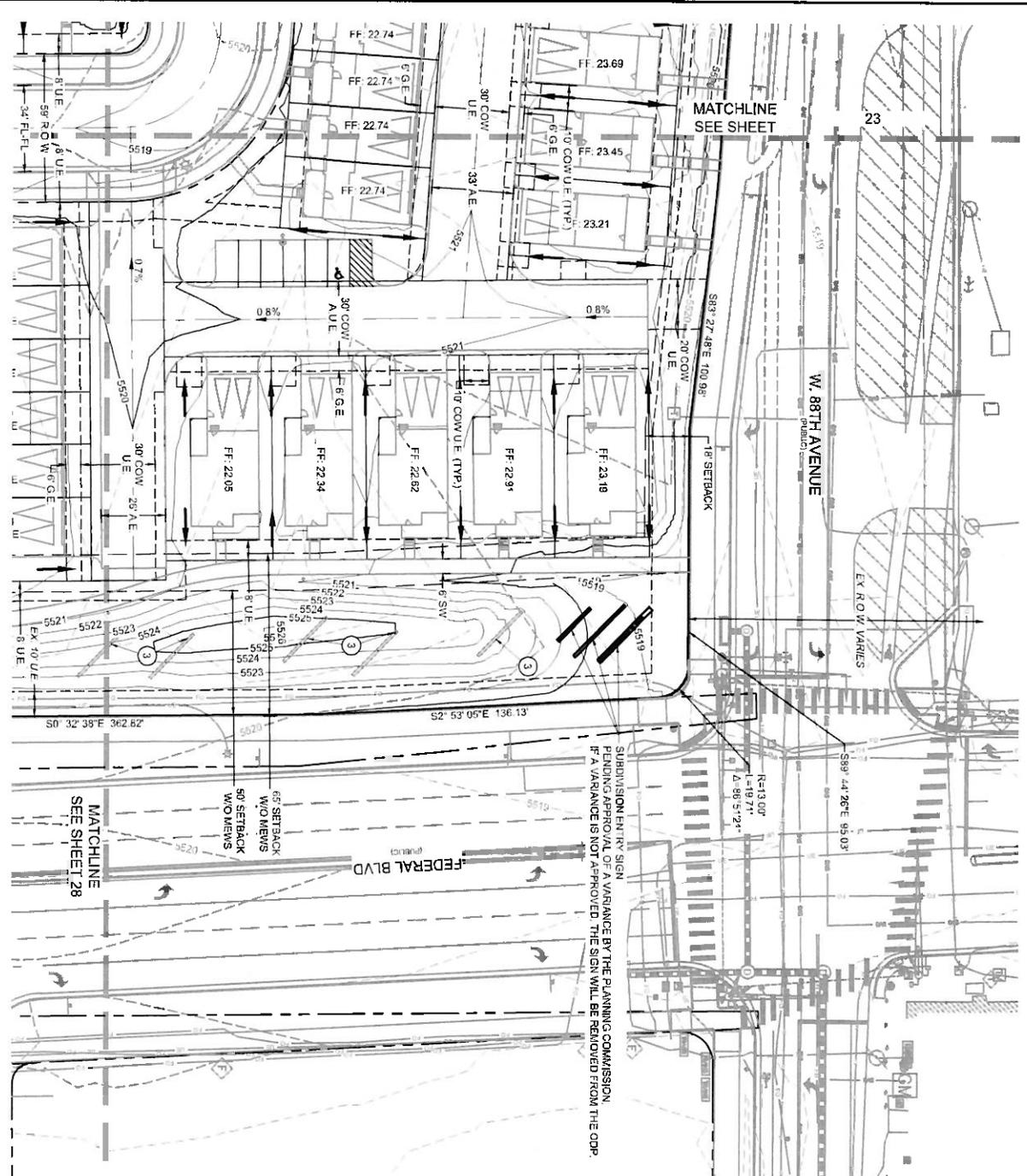
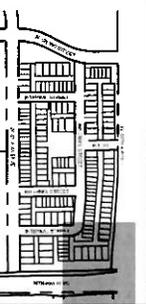


**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
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GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 24 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING
- ABBREVIATIONS:**
- TW - FINISHED GRADE AT TOP OF WALL
 - BW - FINISHED GRADE AT BOTTOM OF WALL
 - AE - PUBLIC ACCESS EASEMENT
 - COU UE - CITY OF WESTMINSTER UTILITY EASEMENT
 - GE - GAS EASEMENT
 - UE - UTILITY EASEMENT

- KEYNOTE LEGEND:**
- ① CURB RAMP
 - ② VARIABLE HEIGHT TIRE WALL (SEE DETAIL ON SHEET 20)
 - ③ SCREEN WALL
 - ④ SEAT WALL
 - ⑤ PANEL WALL
 - ⑥ ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

SUBMISSION FOR SIGN PENDING APPROVAL OF A VARIANCE BY THE PLANNING COMMISSION. IF A VARIANCE IS NOT APPROVED THE SIGN WILL BE REMOVED FROM THE CDP.

UPLANDS

DATE: 06.14.2024

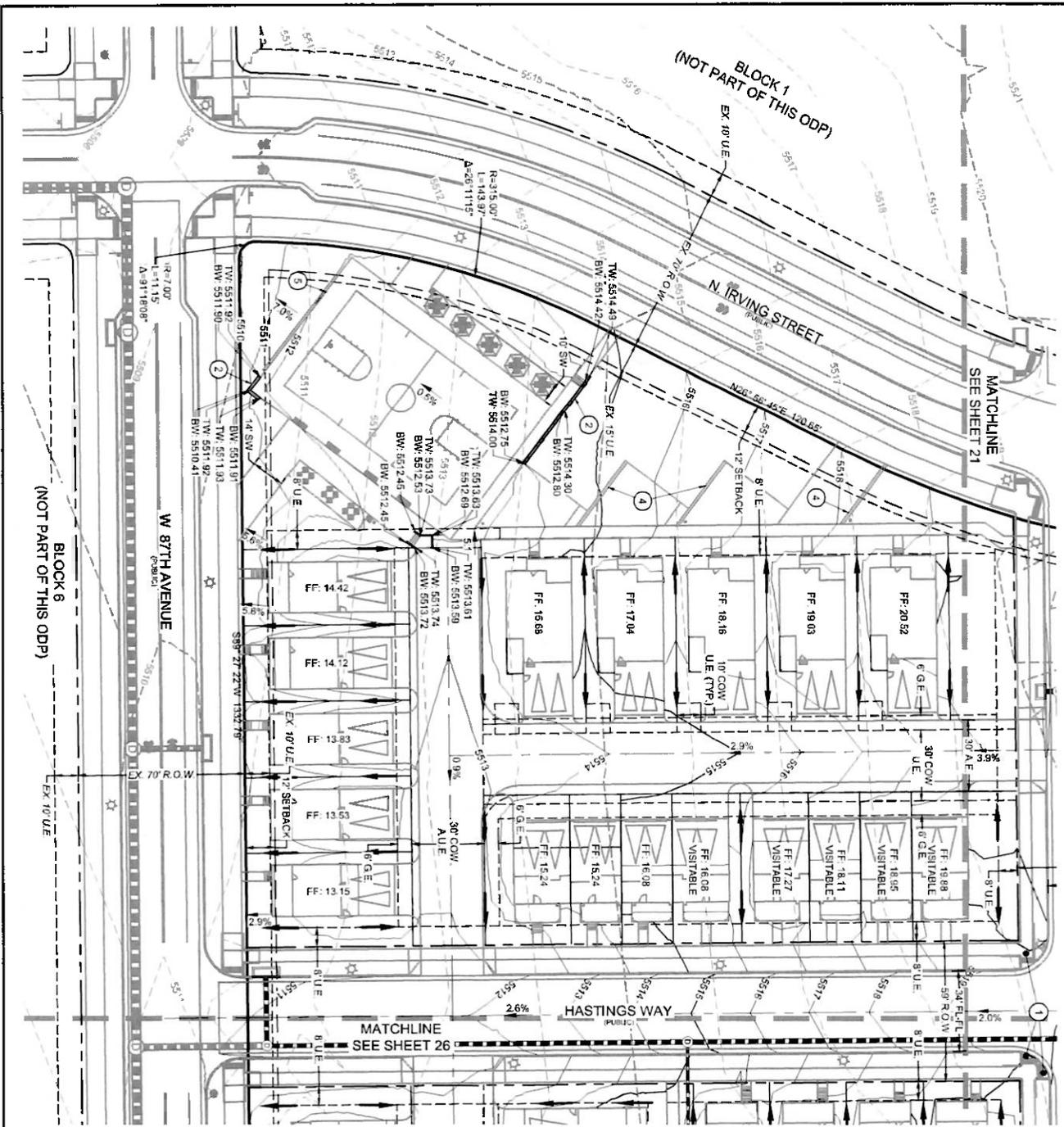
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 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
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GRADING PLAN

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 SHEET 25 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- 5660 RIGHT OF WAY
- 5570 PROPOSED MAJOR CONTOUR
- 5570 PROPOSED MINOR CONTOUR
- 5570 EXISTING MAJOR CONTOUR
- 5570 EXISTING MINOR CONTOUR
- 5570 ACCESSIBLE ROUTE
- 5570 DRAINAGE ARROW
- 5570 SWALE
- 5570 WALL PAILING

ABBREVIATIONS:

- TW - FINISHED GRADE
- BW - AT TOP OF WALL
- AW - FINISHED GRADE
- AE - AT BOTTOM OF WALL
- A.E. - PUBLIC ACCESS EASEMENT
- A.U.E. - PUBLIC ACCESS & CITY OF WESTMINSTER UTILITY EASEMENT
- COW U.E. - CITY OF WESTMINSTER UTILITY EASEMENT
- UE - UTILITY EASEMENT
- GE - GAS EASEMENT

KEYNOTE LEGEND:

- 1 CURB RAMP
- 2 VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
- 3 SCREEN WALL
- 4 SEAT WALL
- 5 PANEL WALL
- 6 ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

**UPLANDS FILING NO. 1
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 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



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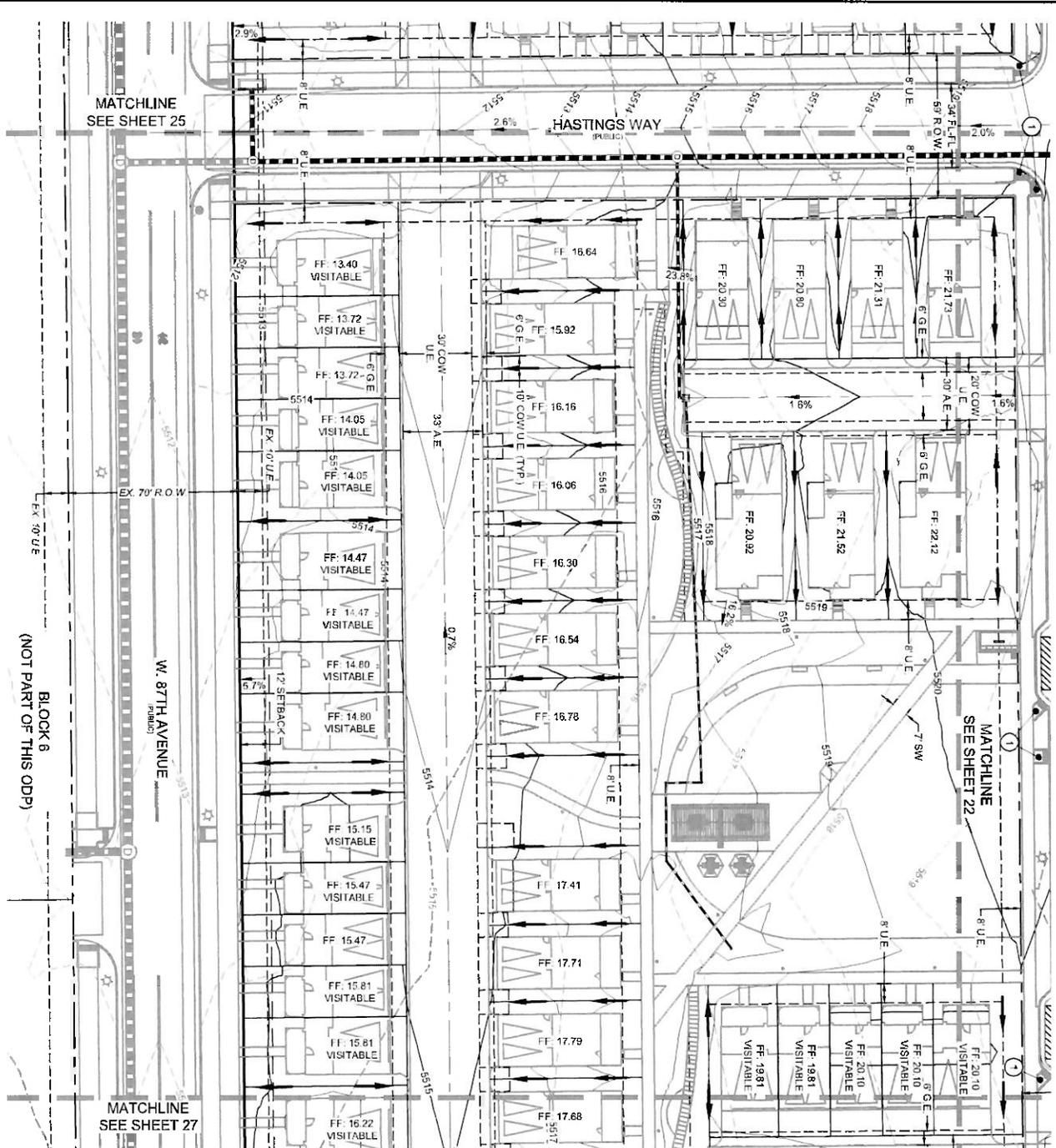


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 GRADING PLAN

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LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- 5500'— PROPOSED MINOR CONTOUR
- 5200'— EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRIVE
- WALL RAILING

ABBREVIATIONS:

- TW - FINISHED GRADE AT TOP OF WALL
- BW - FINISHED GRADE AT BOTTOM OF WALL
- A.E. - PUBLIC ACCESS EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

- ① CURB RAMP
- ② VARIABLE HEIGHT INSE WALL (SEE DETAIL ON SHEET 20)
- ③ SCREEN WALL
- ④ SEAT WALL
- ⑤ PANEL WALL
- ⑥ ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT

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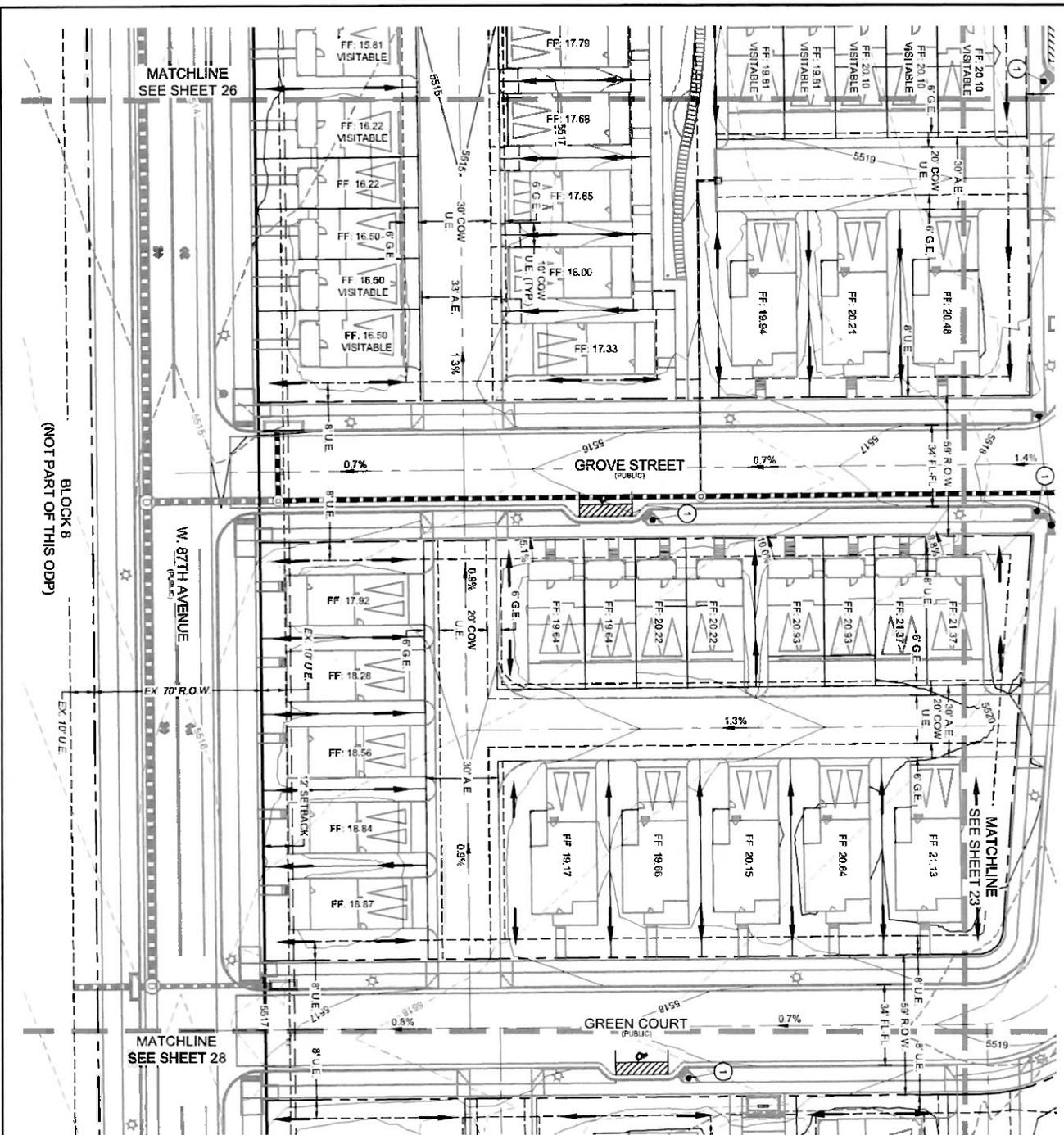
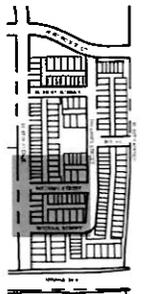
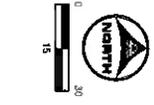
UPLANDS FILING NO. 1
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 A PLANNED UNIT DEVELOPMENT
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LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- SWALE
- DRAINAGE ARROW
- WALL PAWLING

ABBREVIATIONS:
 TW - FINISHED GRADE
 BW - FINISHED GRADE
 AT TOP OF WALL
 AT BOTTOM OF WALL
 A.E. - PUBLIC ACCESS EASEMENT
 A.U.E. - PUBLIC ACCESS & CITY UTILITY EASEMENT
 COW U.E. - CITY OF WESTMINSTER UTILITY EASEMENT
 G.E. - GAS EASEMENT
 U.E. - UTILITY EASEMENT

- KEYNOTE LEGEND:**
- ① CURB RAMP
 - ② VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 20)
 - ③ SCREEN WALL
 - ④ SEAT WALL
 - ⑤ PANEL WALL
 - ⑥ ACCENT WALL

NOTES:
 1. SEE SITE PLAN FOR APPROXIMATE FENCING LOCATIONS. EXACT FENCING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

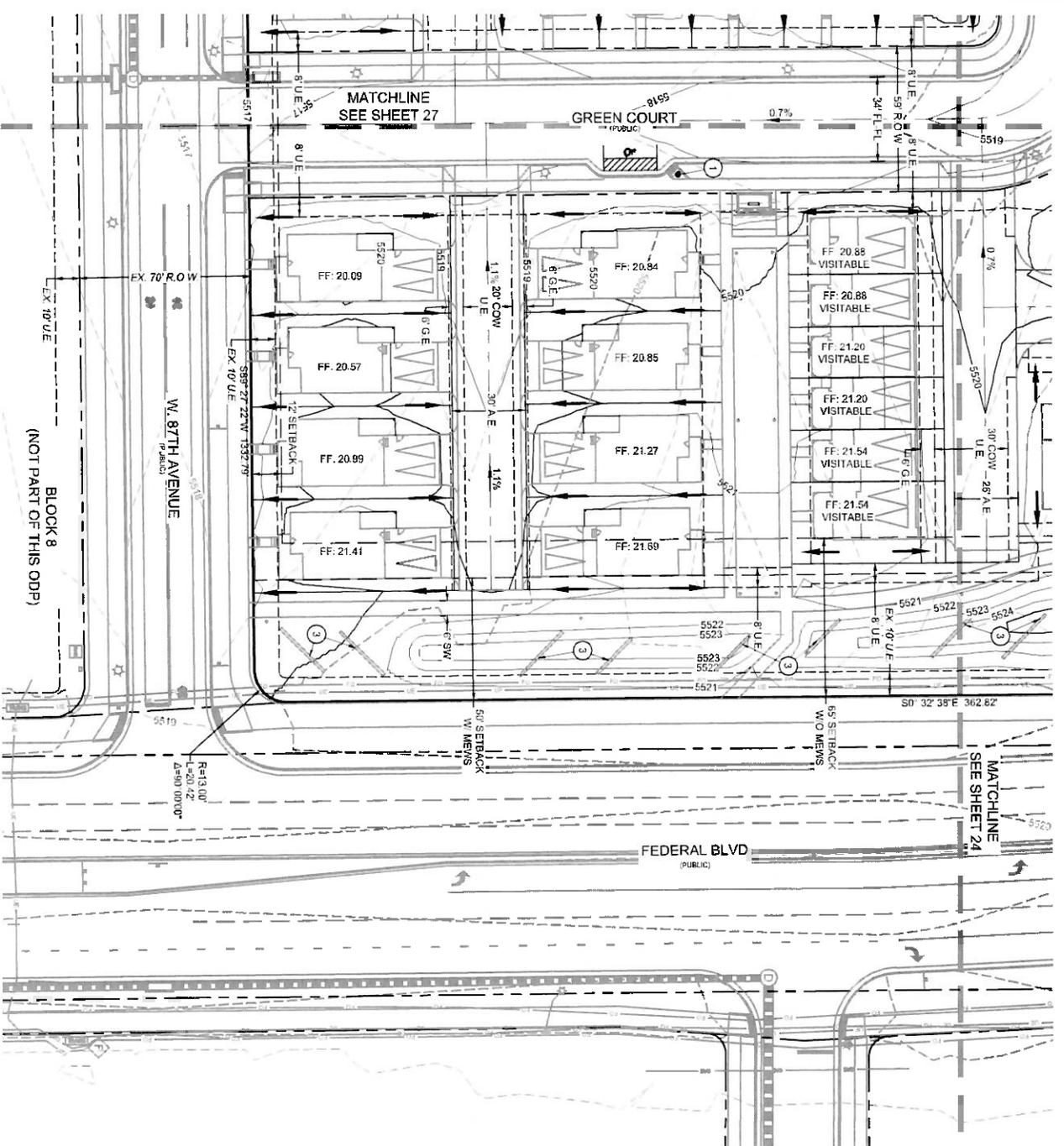
OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
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 OFFICIAL DEVELOPMENT PLAN
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BLOCK 8
 (NOT PART OF THIS ODP)

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
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- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - GRADE ARROW
 - SWALE
 - WALL RAILING
- ABBREVIATIONS:**
- TW - FINISHED GRADE AT TOP OF WALL
 - BW - FINISHED GRADE AT BOTTOM OF WALL
 - A.E. - PUBLIC ACCESS & EASEMENT
 - A.U.E. - CONVEYANCE EASEMENT
 - COV U.E. - CONVEYANCE UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

- KEYNOTE LEGEND:**
- 1 CURB RAMP
 - 2 VARIABLE HEIGHT MBE WALL (SEE DETAIL ON SHEET 20)
 - 3 SCREEN WALL
 - 4 SEAT WALL
 - 5 PANEL WALL
 - 6 ACCENT WALL

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS AND EXACT RAILING BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

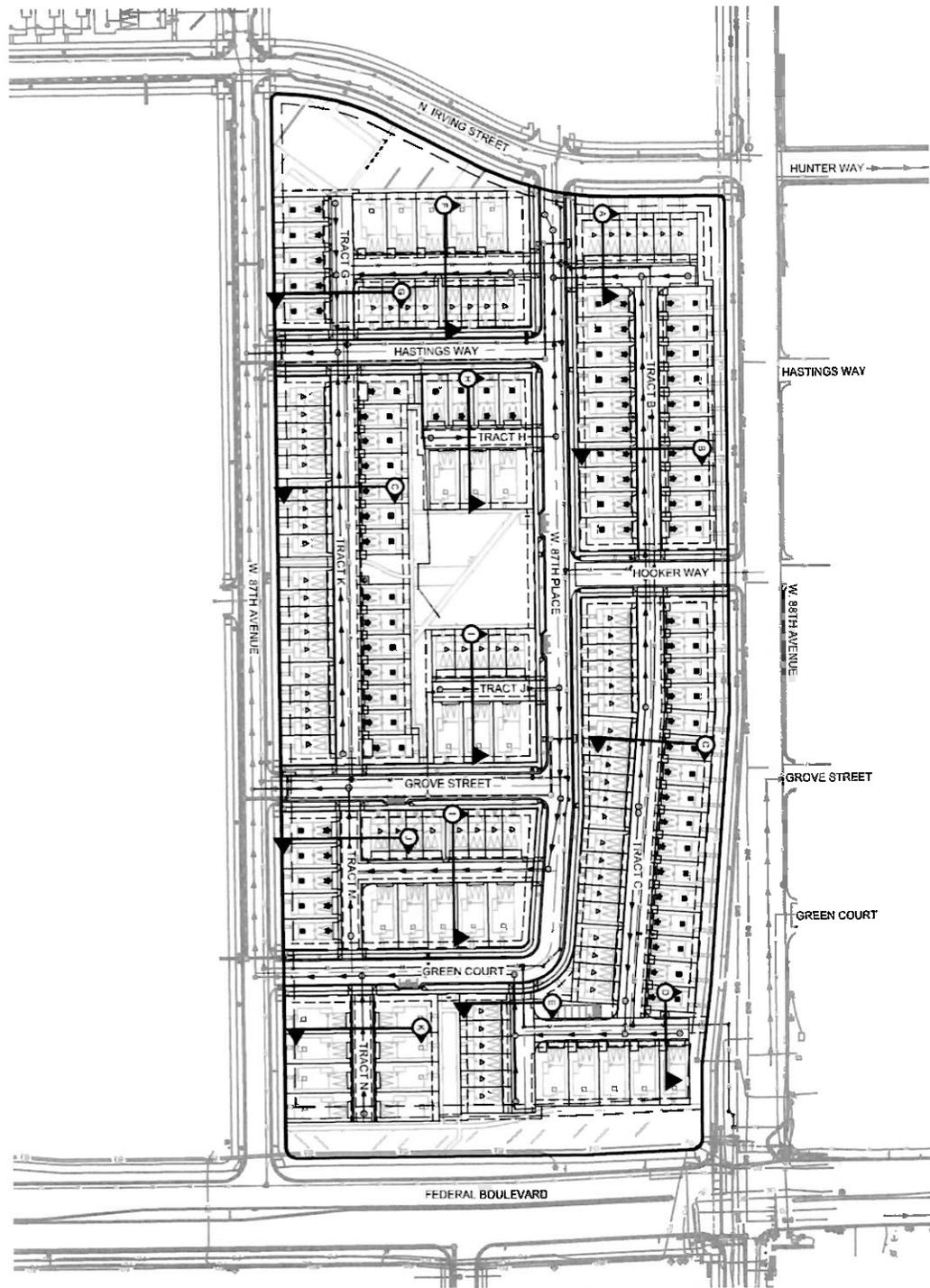
OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
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 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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LEGEND

- SINGLE FAMILY DETACHED (3-STORY)
- SINGLE FAMILY DETACHED (2-STORY)
- ▲ TOWNHOME (3-STORY)
- ◆ UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS
- WATER MAIN
- SANITARY SEWER MAIN
- STORM SEWER

NOTE:
 PROPOSED ALL EY SECTION SYMBOLS SHOWN ON THIS KEYMAP REFLECT THE ALL EY SECTIONS SHOWN ON SHEETS 30 - 33

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 TYPICAL SECTIONS KEYMAP

**UPLANDS FILING NO. 1
 BLOCK 5**
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

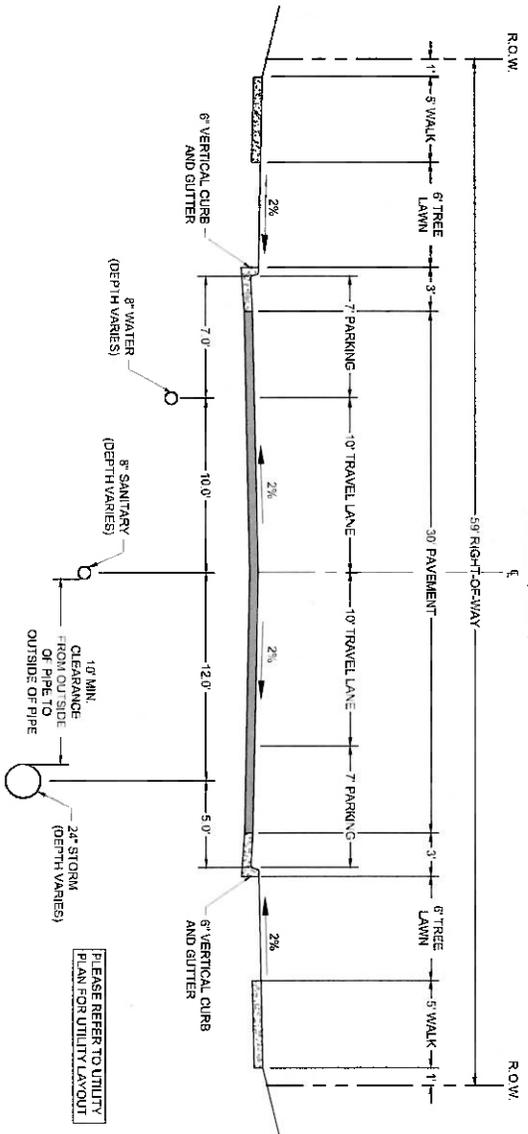
UPLANDS

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LOCAL W/ DETACHED WALK
W. 87TH PLACE, HASTINGS WAY,
HOOVER WAY, GROVE STREET, GREEN COURT
 W/ PARKING (68' ROW)



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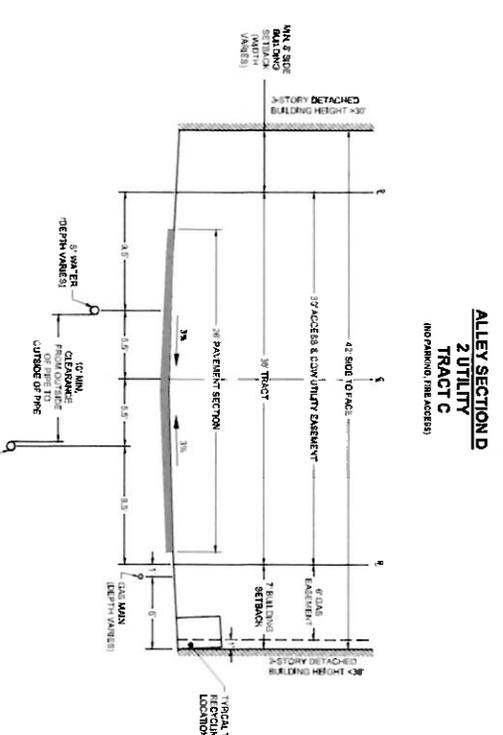
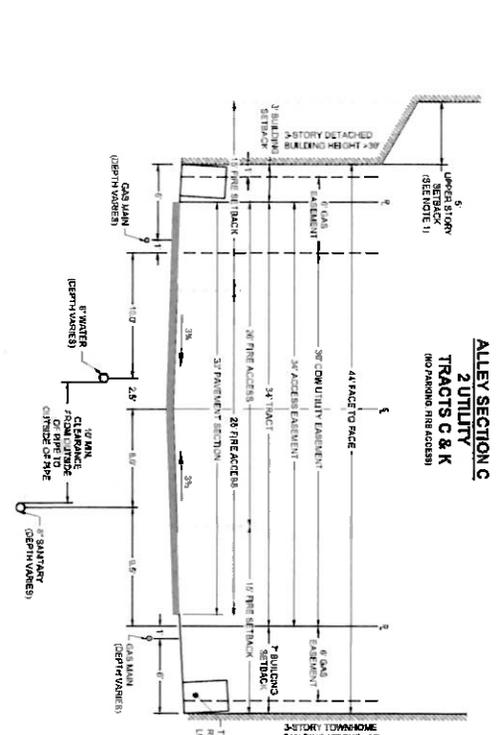
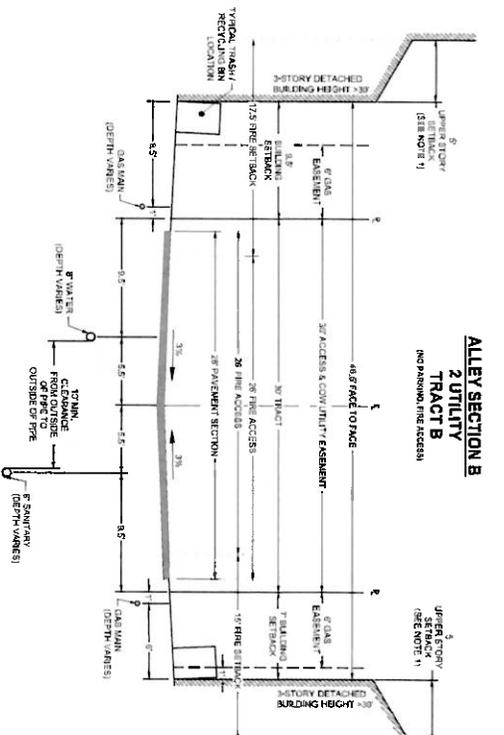
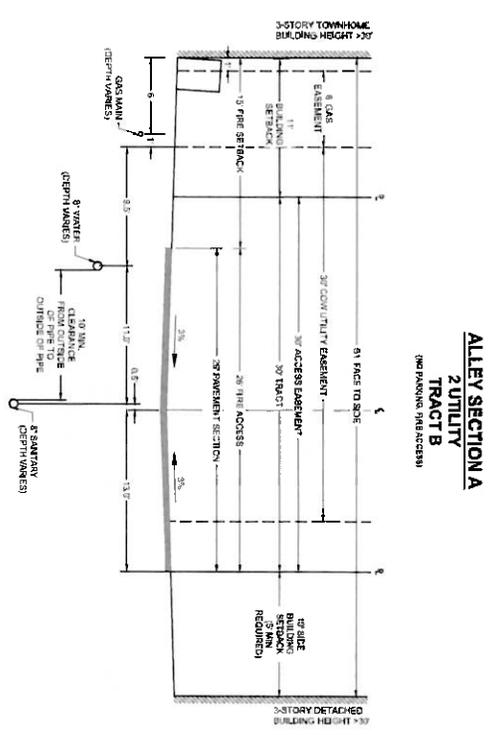
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
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NOTES:
 1. SEE ADJACENT SHEETS FOR UTILITY REQUIREMENTS.
 2. SEE AND/OR OTHER SHEETS FOR UTILITY REQUIREMENTS TO ACCOMMODATE FIRE DEPARTMENT OPERATIONS. SEE SHEETS 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200.

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TYPICAL SECTIONS		
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BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

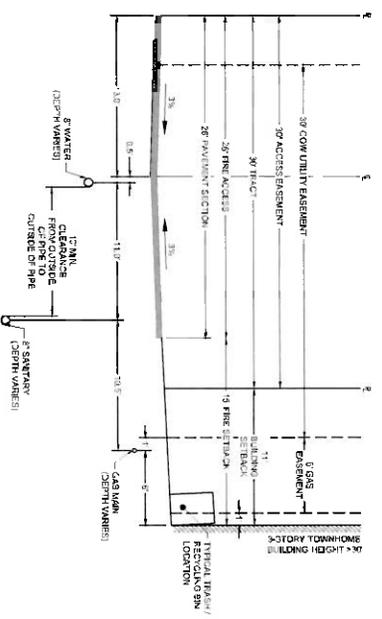
OFFICIAL DEVELOPMENT PLAN
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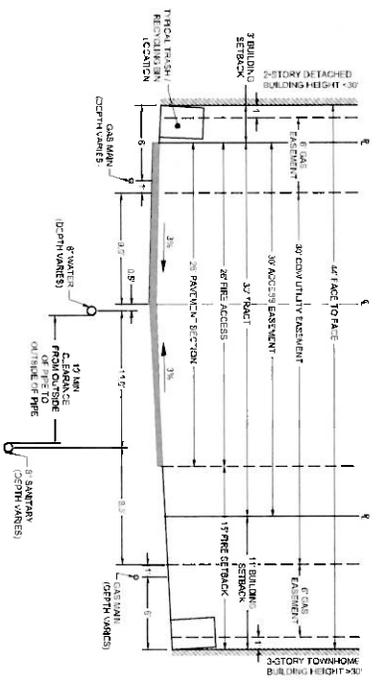
UPLANDS

DATE: 06.14.2024

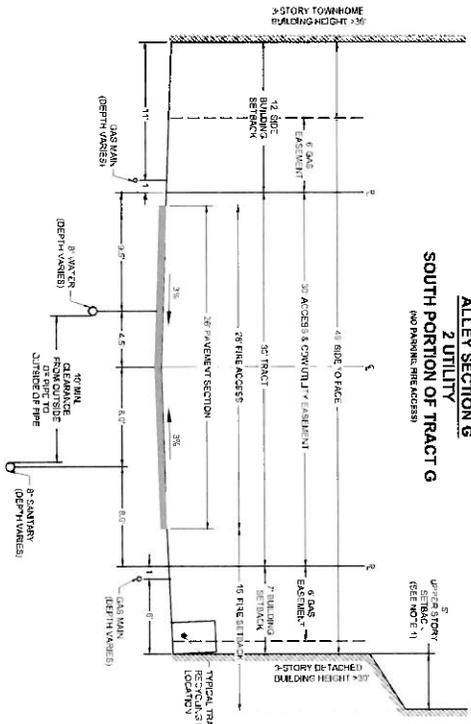
ALLEY SECTION E
 2 UTILITY
 SOUTHEAST PORTION OF TRACT C
 (NO PARKING, FIRE ACCESS)



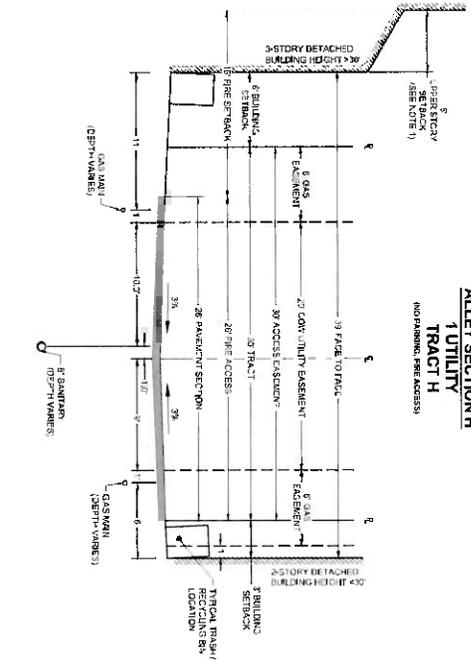
ALLEY SECTION F
 2 UTILITY
 TRACT G
 (NO PARKING, FIRE ACCESS)



ALLEY SECTION G
 2 UTILITY
 SOUTH PORTION OF TRACT G
 (NO PARKING, FIRE ACCESS)



ALLEY SECTION H
 1 UTILITY
 TRACT H
 (NO PARKING, FIRE ACCESS)

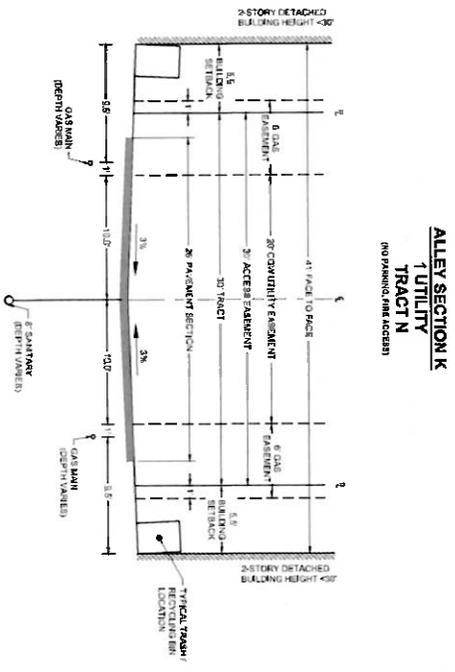
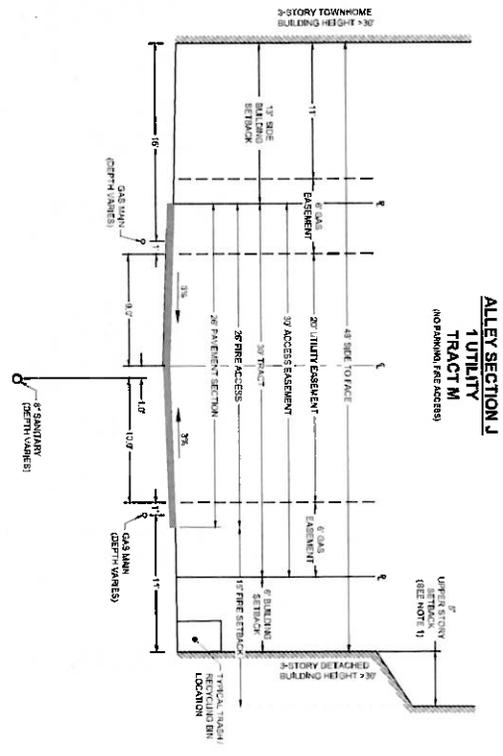
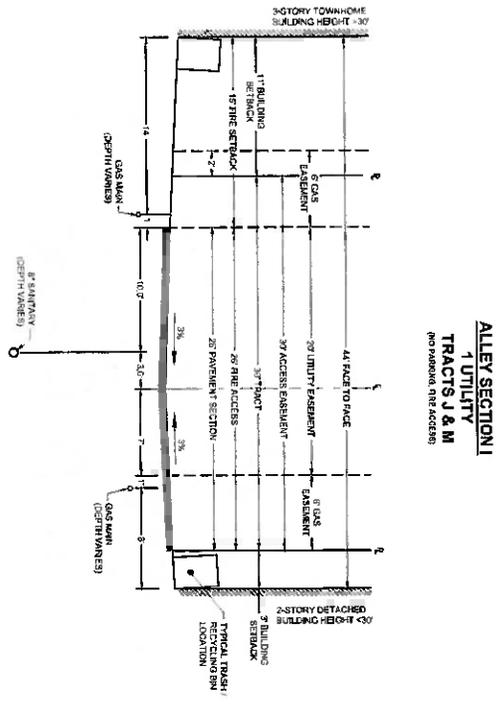


NOTES:
 1. ALL UTILITIES SHALL BE PROTECTED BY THE STANDARD 180 STORIES OF THE SECTION.
 2. ALL UTILITIES SHALL BE PROTECTED BY THE STANDARD 47' CONCRETE SECTIONS.

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NOTES:
 1. AN ADJUTICAL & 27' SETBACK IS REQUIRED ON THE 2ND AND 3RD STORIES OF ALL BUILDINGS TO MEET APPLICABLE REQUIREMENTS. SEE SHEETS 41-47 FOR FIRE ELECTIONS.

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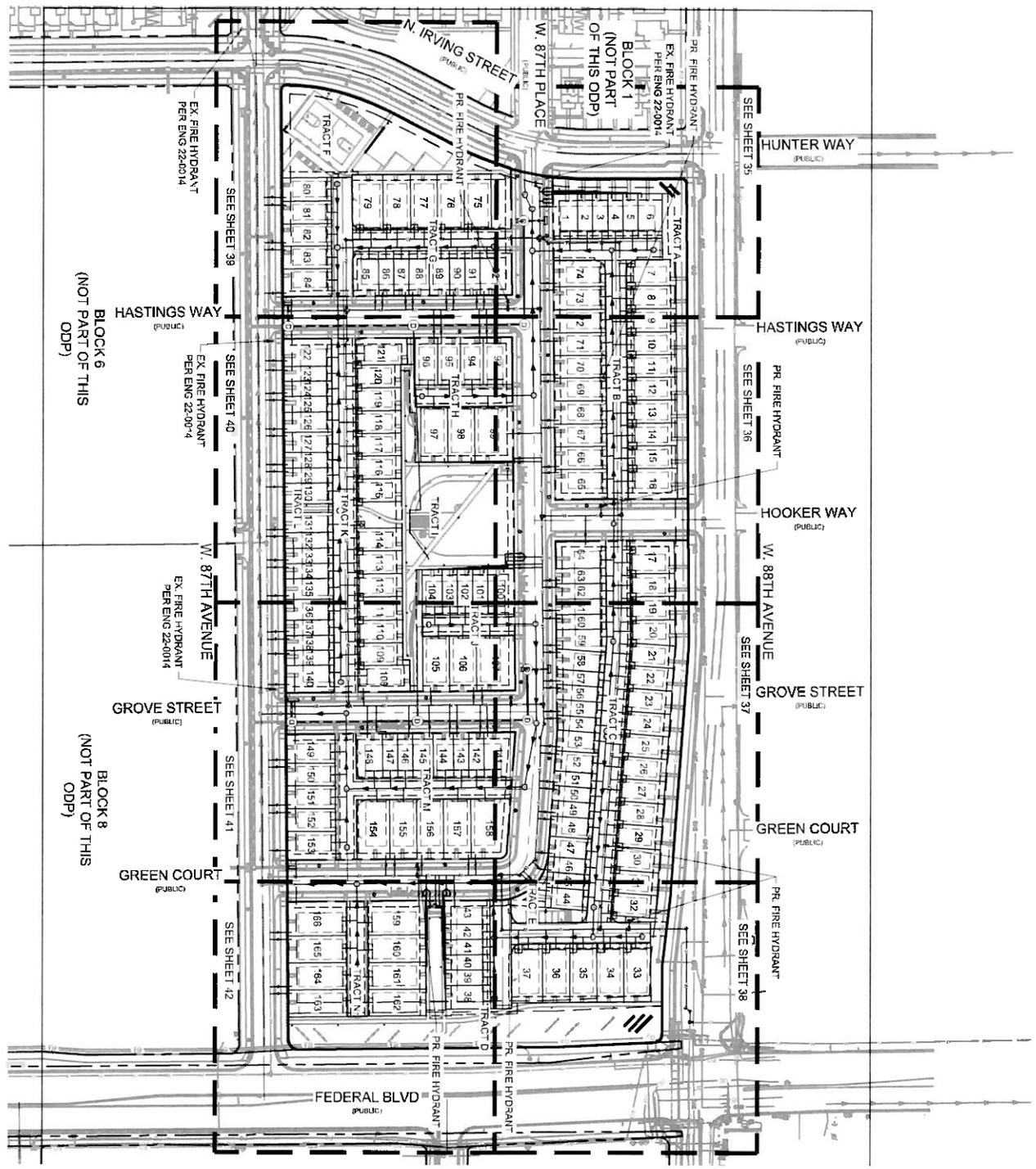
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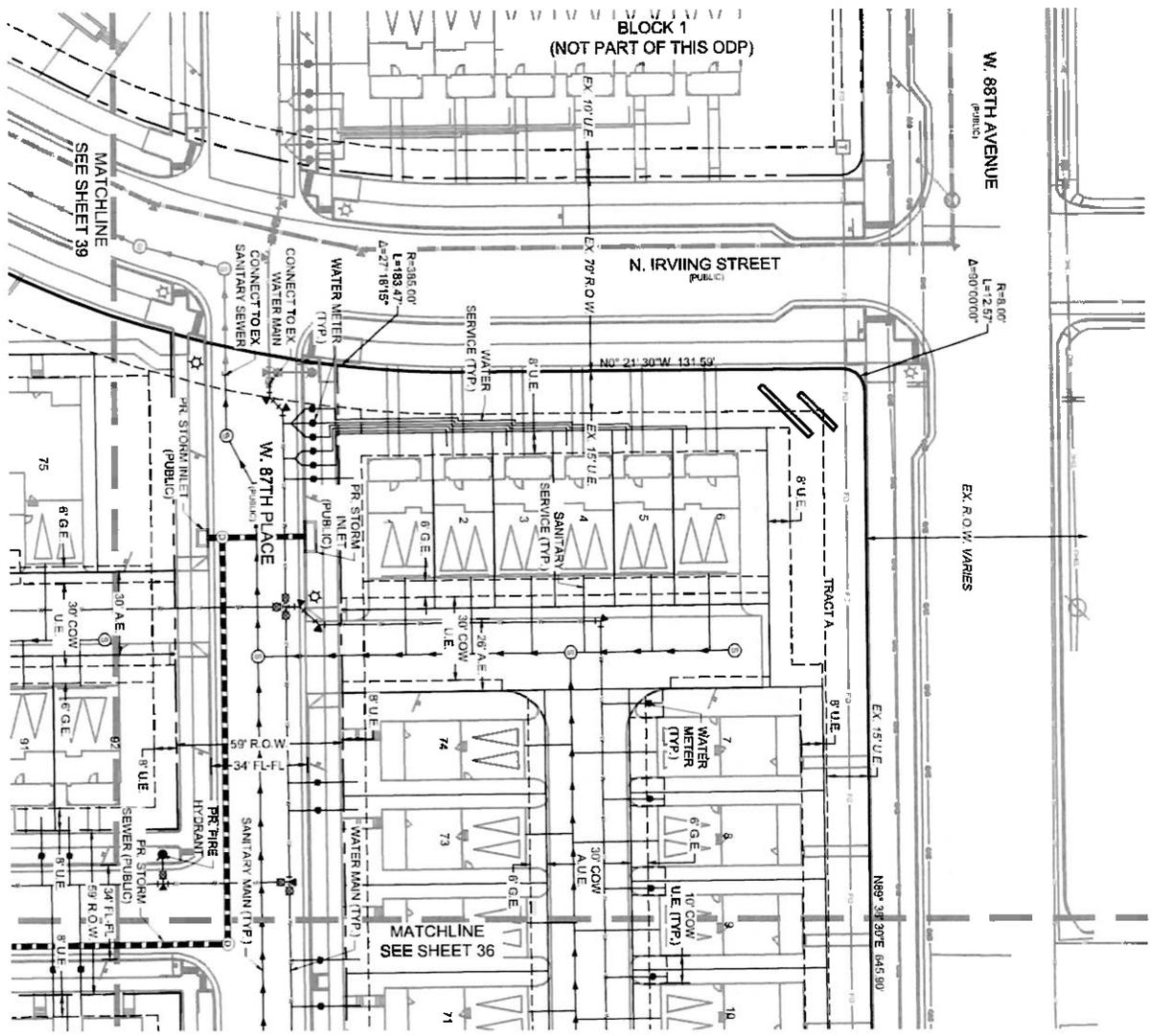
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 OVERALL UTILITY PLAN

- ABBREVIATIONS:**
- AE PUBLIC ACCESS EASEMENT
 - COV U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - COV A.U.E. COV PUBLIC ACCESS & UTILITY EASEMENT
 - G.E. GAS EASEMENT
 - SW SIDEWALK
 - U.E. UTILITY EASEMENT
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE
 - PER ENG 22-0074

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 35 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - EX SANITARY SEWER
 - EX SANITARY MANHOLE
 - PR WATER SERV & METER
 - PR FIRE HYDRANT
 - EX WATER LINE
 - EX FIRE HYDRANT
 - PR STORMSEWER
 - PR STORM MANHOLE
 - EX STORM SEWER
 - EX STORM MANHOLE
 - EX STORM INLET

NOTES:
 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024

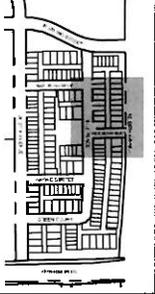
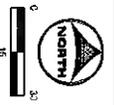
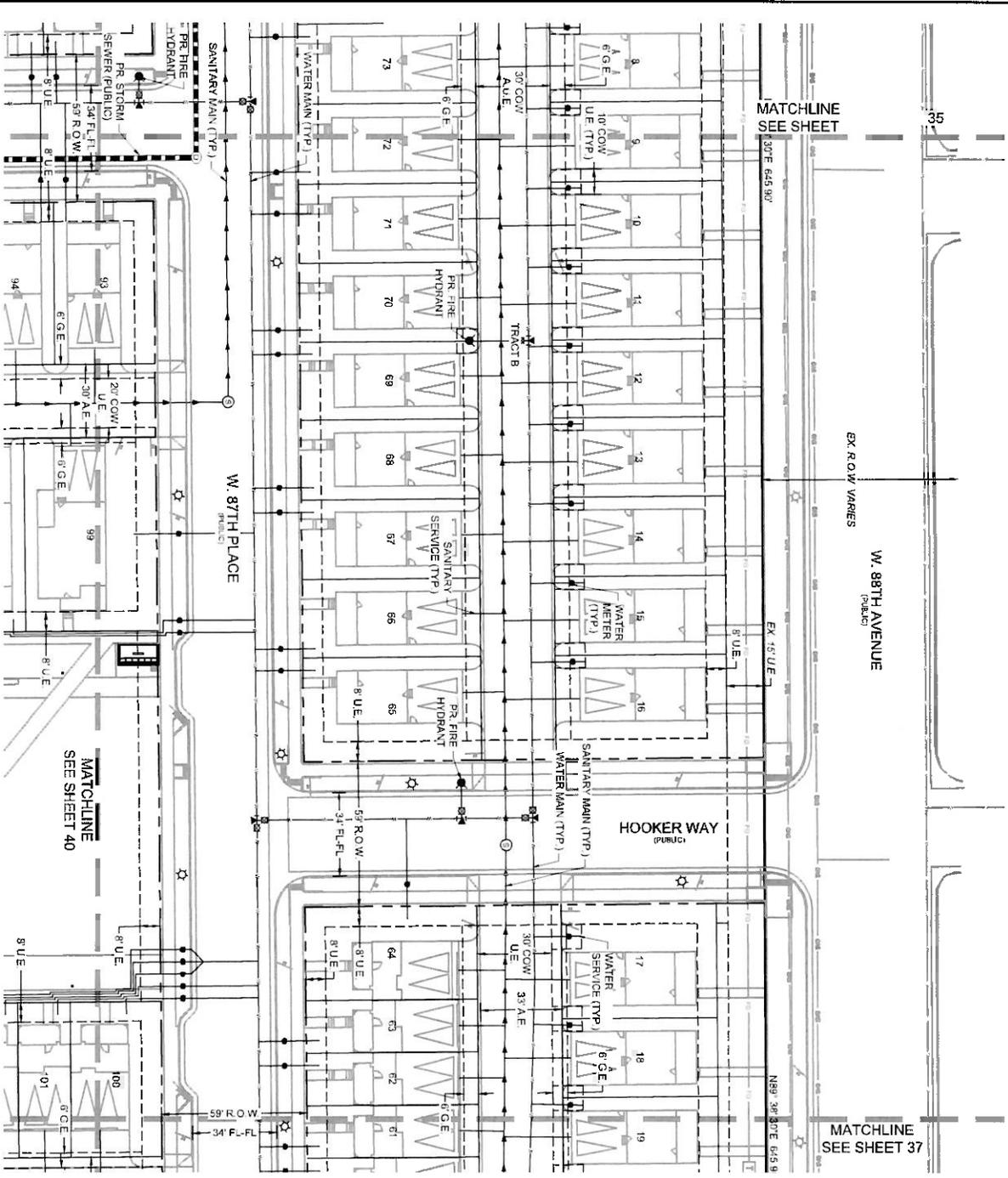
HRGreen

ABBREVIATIONS:
 AE PUBLIC ACCESS EASEMENT
 COW U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 COW A.U.E. COW PUBLIC ACCESS & UTILITY EASEMENT
 COS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 36 OF 138

W. 87TH PLACE
 W. 88TH AVENUE
 HOOKER WAY



LEGEND:
 PROPERTY LINE
 LOT LINE
 RIGHT OF WAY
 PR SANITARY SEWER
 PR SANITARY MANHOLE
 PR SANITARY SEWER
 EX SANITARY MANHOLE
 PR WATER LINE
 PR WATER SERV. & METER
 PR FIRE HYDRANT
 EX WATER LINE
 EX FIRE HYDRANT
 PR STORM SEWER
 PR STORM INLET
 EX STORM SEWER
 EX STORM MANHOLE
 EX STORM INLET

NOTES:
 1 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC

UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

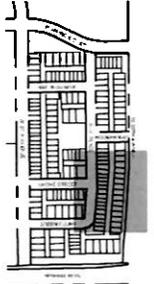
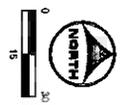
REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

36 OF 138
 UTILITY PLAN



- ABBREVIATIONS:**
- A.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - CO.W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - CO.V.A.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - CO.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - SW. SIDEWALK
 - U.E. UTILITY EASEMENT
 - PR. PRIVATE LIGHT POLE
 - PR. PUBLIC LIGHT POLE
 - PR. PUBLIC LIGHT POLE PER PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 37 OF 138



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR. SANITARY SEWER
- PR. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- PR. WATER LINE
- PR. WATER SERV. & METER
- PR. FIRE HYDRANT
- EX. WATER LINE
- EX. FIRE HYDRANT
- PR. STORM SEWER
- PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.



OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

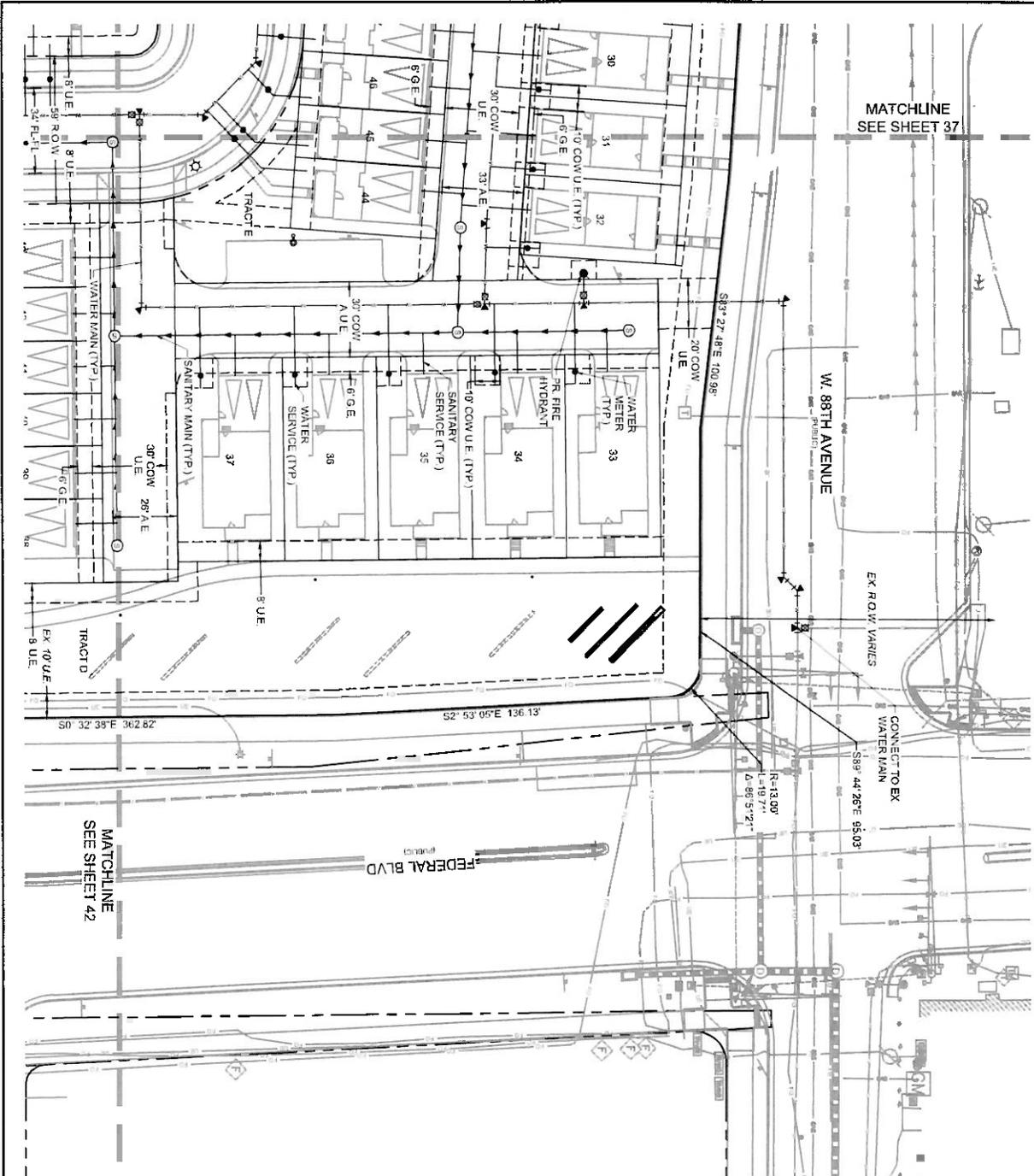
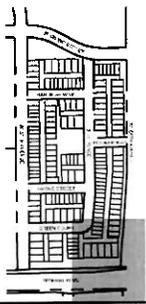
UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO


UPLANDS
 DATE: 06.14.2024


37 OF 138
 UTILITY PLAN

- ABBREVIATIONS:**
- AE PUBLIC ACCESS EASEMENT
 - COV U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - COV A U.E. COV PUBLIC ACCESS & UTILITY EASEMENT
 - G.E. GAS EASEMENT
 - SW SIDEWALK
 - U.E. UTILITY EASEMENT
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE
 - PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 38 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - EX SANITARY SEWER
 - EX SANITARY MANHOLE
 - PR WATER LINE
 - PR WATER SERV & METER
 - PR FIRE HYDRANT
 - EX WATER LINE
 - EX FIRE HYDRANT
 - PR STORM SEWER
 - PR STORM MANHOLE
 - PR STORM INLET
 - EX STORM SEWER
 - EX STORM MANHOLE
 - EX STORM INLET

NOTES:

- 1 ALL LIGHT'S LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC

OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023	
REVISIONS	
SUB 01:	11.03.2023
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SUB 03:	05.03.2024
SUB 04:	06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

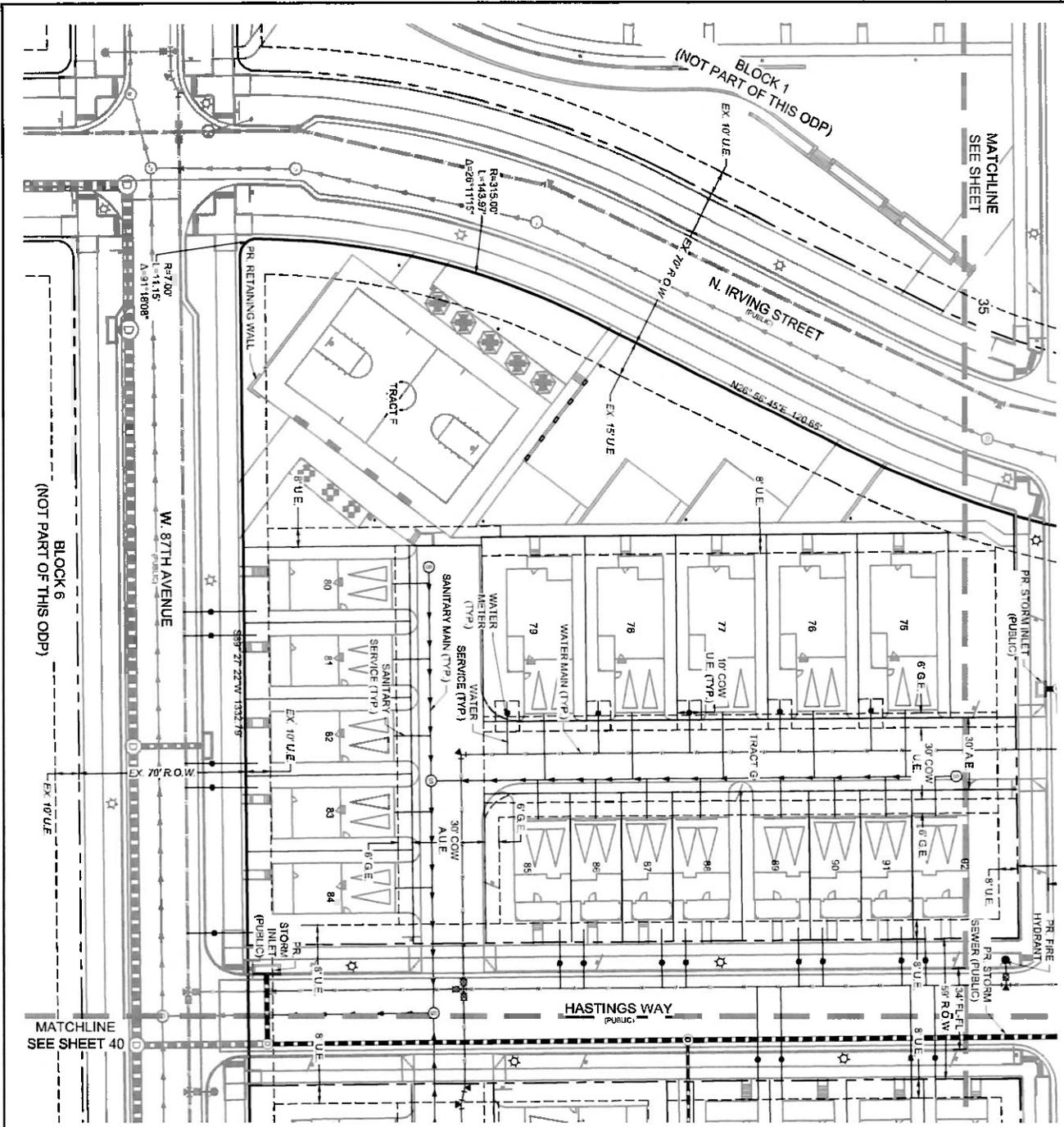
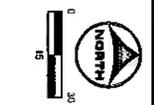
UPLANDS

DATE: 06.14.2024

HRGreen

- ABBREVIATIONS:**
- A.E. PUBLIC ACCESS EASEMENT
 - CO W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 - CO W.P.A.U.E. CITY OF WESTMINSTER PUBLIC ACCESS & UTILITY EASEMENT
 - G.E. GAS EASEMENT
 - SW SIDEWALK
 - UE UTILITY EASEMENT
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE
 - PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 39 OF 138



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - EX SANITARY SEWER
 - EX SANITARY MANHOLE
 - PR WATER SERV & METER
 - PR WATER LINE
 - EX WATER SERV & METER
 - EX WATER LINE
 - PR FIRE HYDRANT
 - EX FIRE HYDRANT
 - PR STORM MANHOLE
 - PR STORM INLET
 - EX STORM MANHOLE
 - EX STORM INLET

NOTES:
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.

39 OF 138 UTILITY PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
	REVISIONS
	SUB 01: 11.03.2023
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	SUB 03: 05.03.2024
SUB 04: 06.14.2024	

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

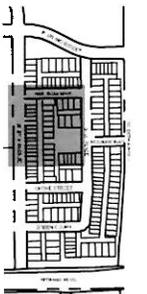
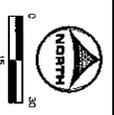
UPLANDS

DATE: 06.14.2024

HRGreen

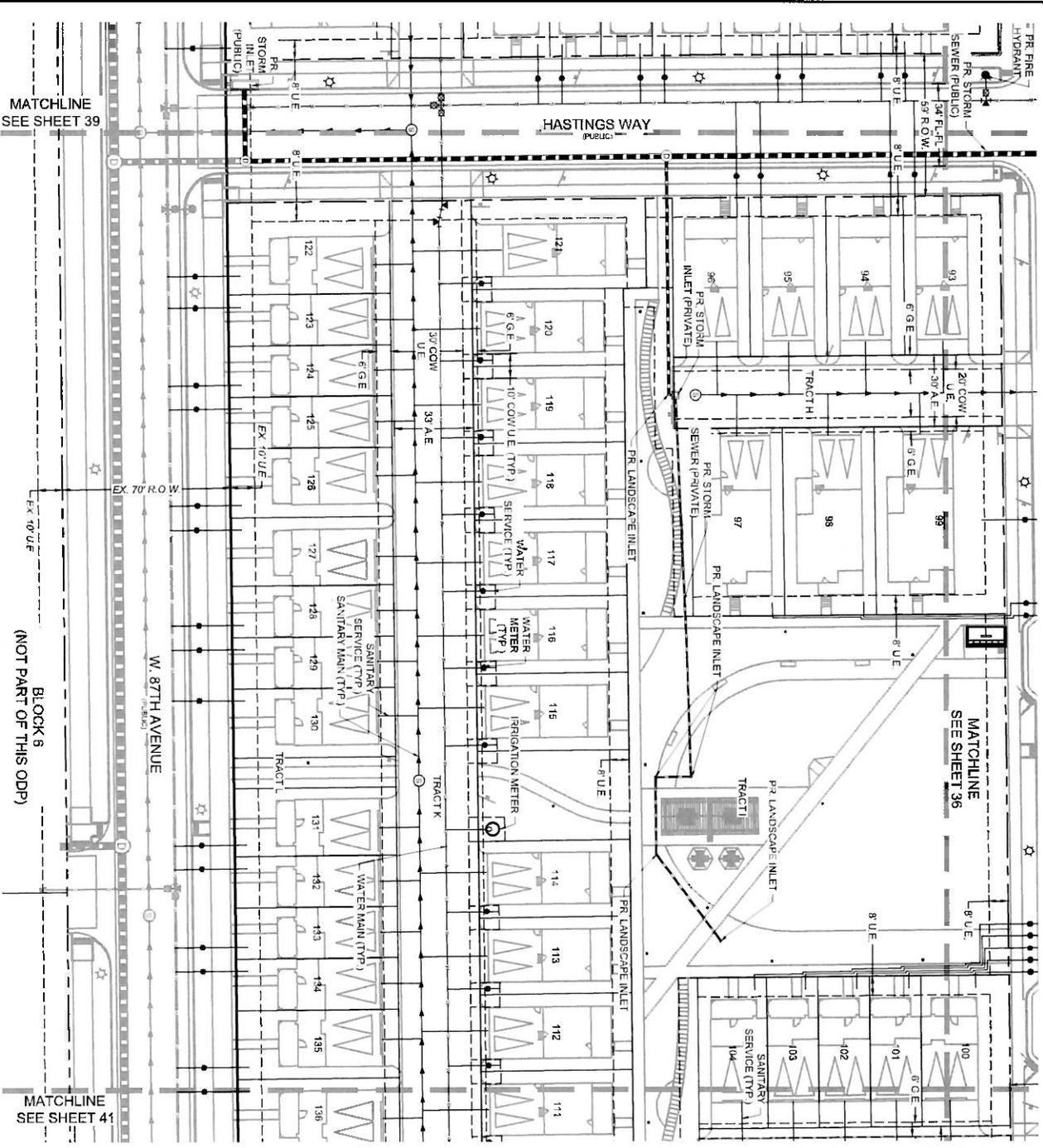
ABBREVIATIONS:
 A.E. PUBLIC ACCESS EASEMENT
 C.O.W.U.E. CITY OF WESTMINSTER UTILITY EASEMENT
 C.O.W.A.E. C.O.W. PUBLIC ACCESS & UTILITY EASEMENT
 G.E. GAS EASEMENT
 S.W. SIDEWALK
 U.E. UTILITY EASEMENT
 P.R. PRIVATE LIGHT POLE
 P.R. PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 40 OF 138



UPLANDS

DATE: 06.14.2024



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - P.R. SANITARY SEWER
 - P.R. SANITARY MANHOLE
 - P.R. SANITARY SEWER
 - EX. SANITARY MANHOLE
 - P.R. WATER LINE
 - P.R. WATER SERV. & METER
 - P.R. FIRE HYDRANT
 - EX. WATER LINE
 - EX. FIRE HYDRANT
 - P.R. STORM SEWER
 - P.R. STORM MANHOLE
 - P.R. STORM INLET
 - EX. STORM SEWER
 - EX. STORM MANHOLE
 - EX. STORM INLET

NOTES:
 1 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC

MATCHLINE
SEE SHEET 39

MATCHLINE
SEE SHEET 41

BLOCK 5
(NOT PART OF THIS ODP)

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

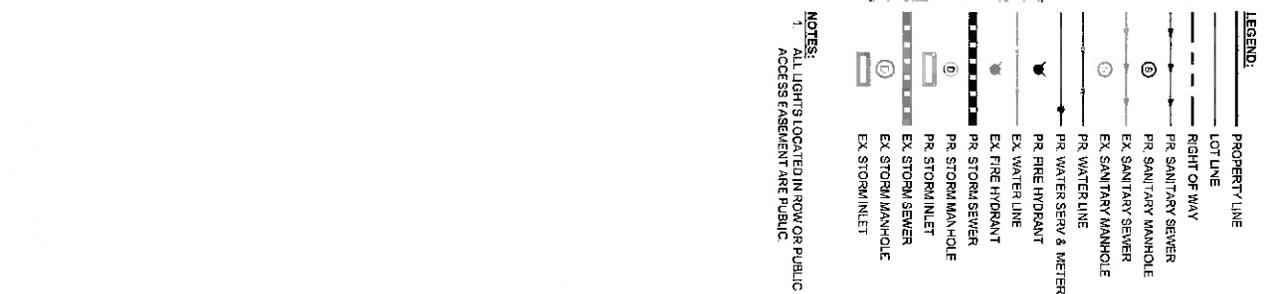
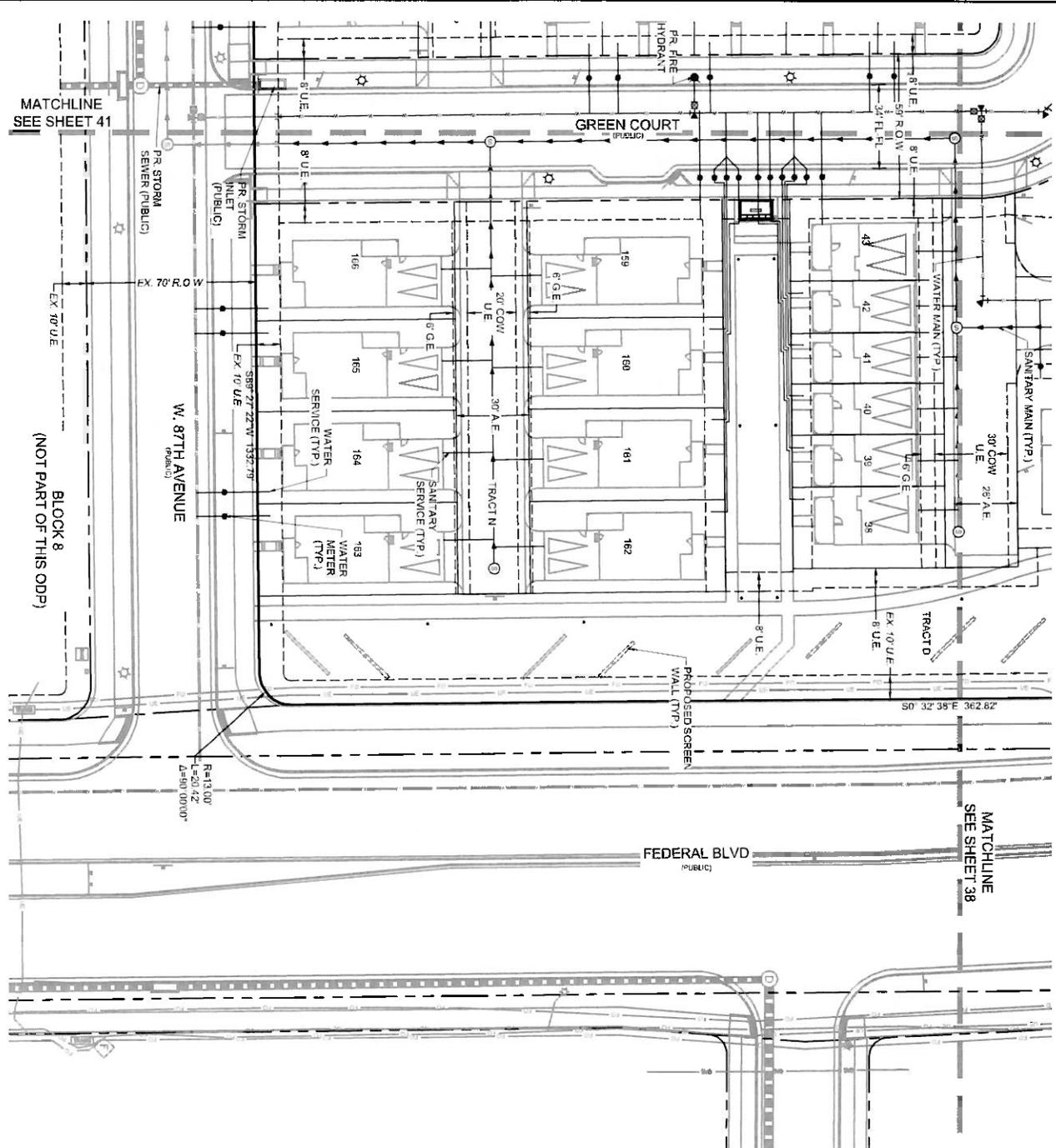
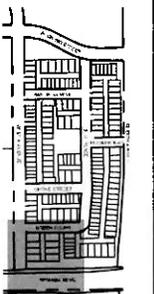
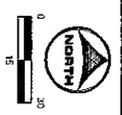
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

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 UTILITY PLAN

ABBREVIATIONS:
 A/E PUBLIC ACCESS EASEMENT
 COW U/E CITY OF WESTMINSTER UTILITY EASEMENT
 COW A/E COW PUBLIC ACCESS & UTILITY EASEMENT
 S/E SANITARY EASEMENT
 S/W SEWER EASEMENT
 U/E UTILITY EASEMENT
 PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 42 OF 138



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

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SUB 04:	08.14.2024

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 UTILITY PLAN

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

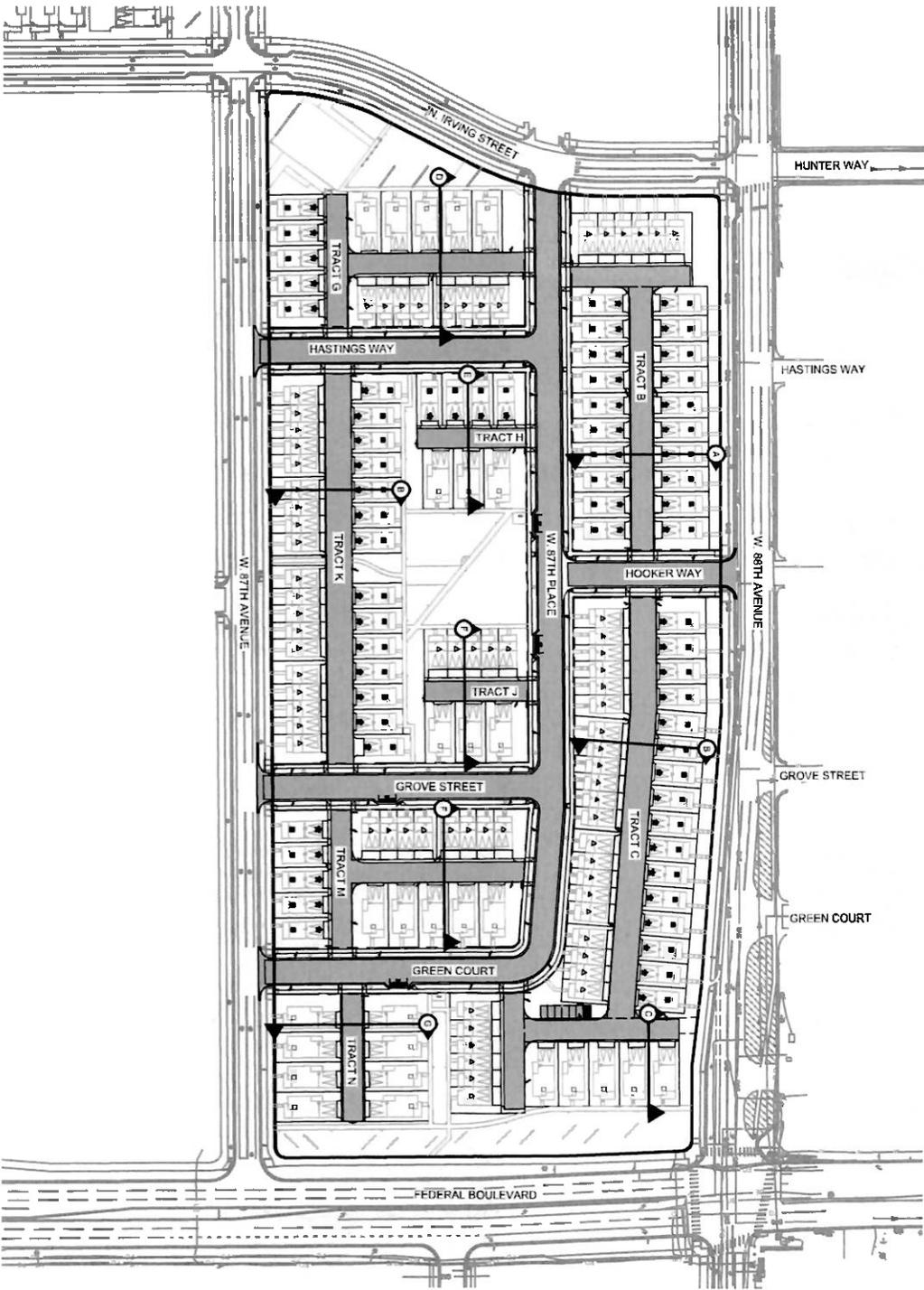
DATE: 06.14.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 43 OF 138



- LEGEND**
- SINGLE FAMILY DETACHED (3-STORY)
 - SINGLE FAMILY DETACHED (2-STORY)
 - ▲ TOWNHOME (3-STORY)
 - ◆ UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS
 - ▨ ASPHALT PAVEMENT



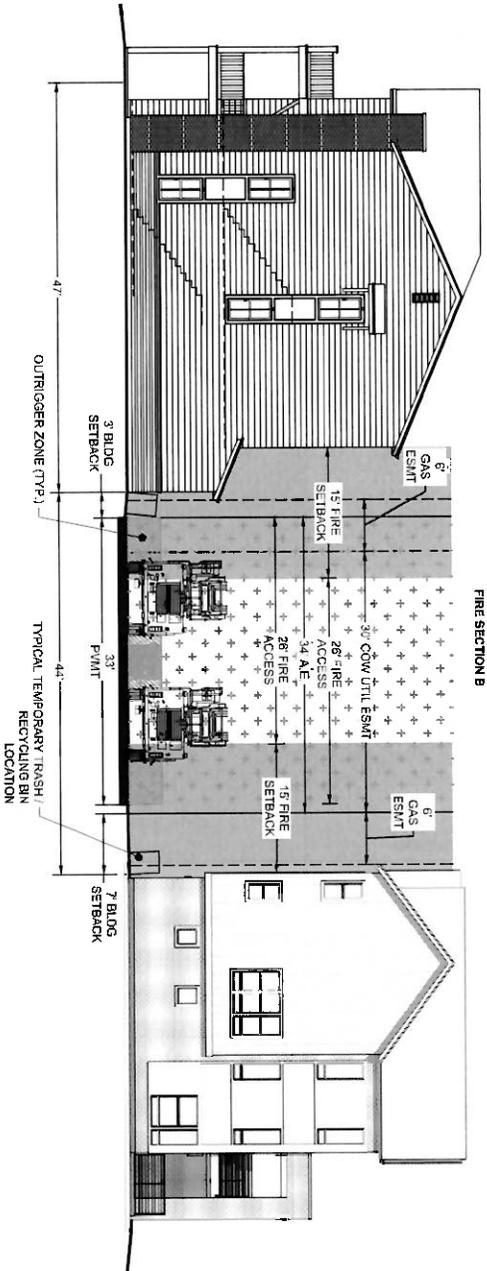
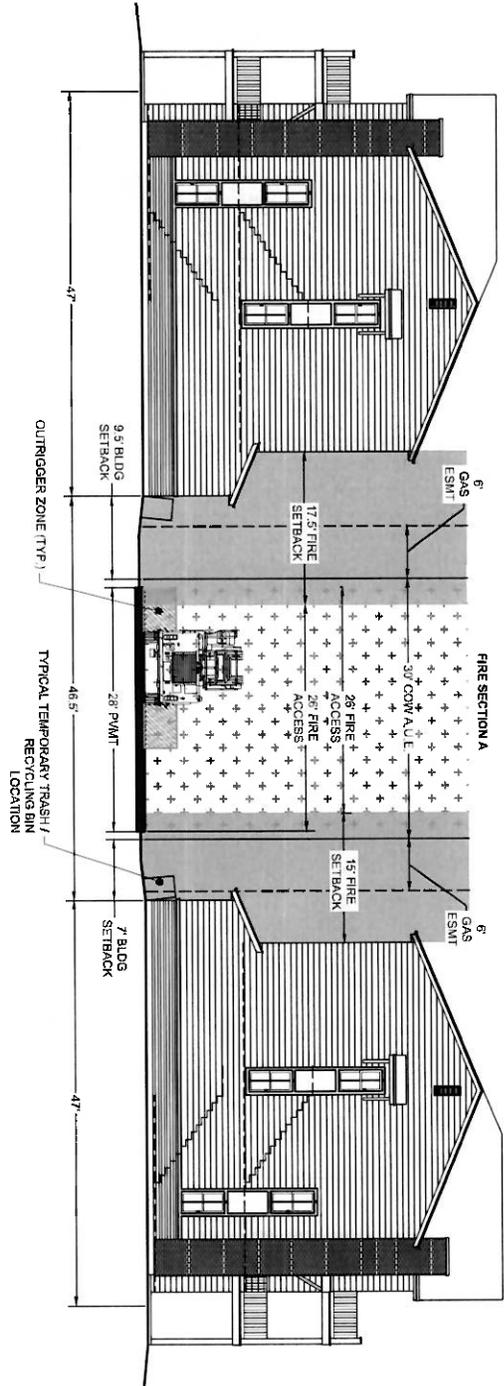
43 OF 138 OVERALL FIRE CROSS SECTION	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
	REVISIONS
	SUB 01: 11.03.2023
	SUB 02: 03.07.2024
	SUB 03: 05.03.2024 SUB 04: 06.14.2024

UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO


UPLANDS
 DATE: 06.14.2024


HRGreen

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 44 OF 138



UPLANDS
 DATE: 06.14.2024

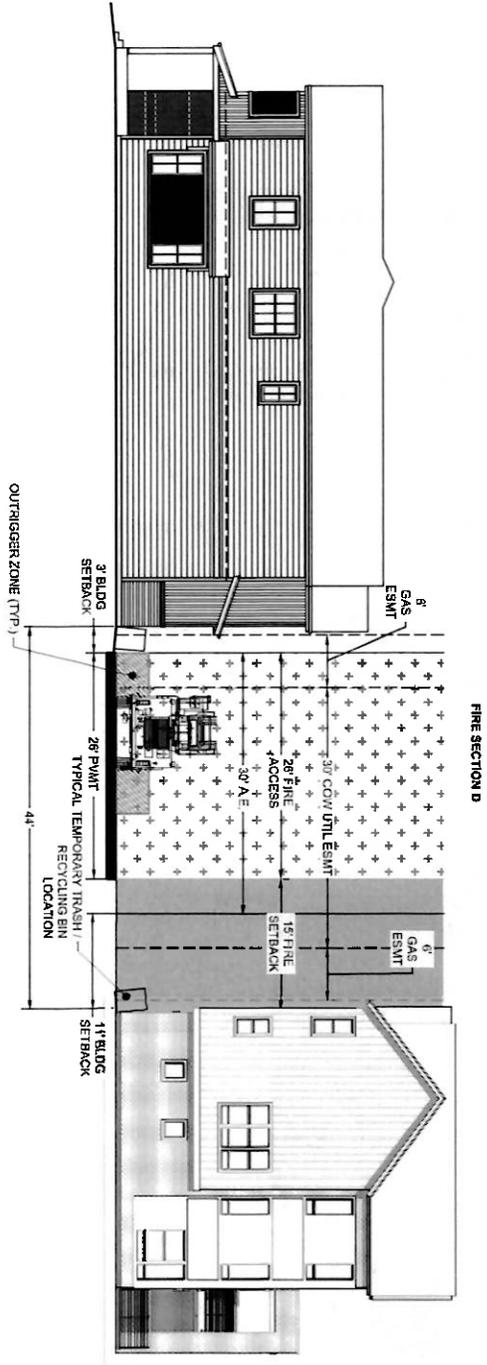
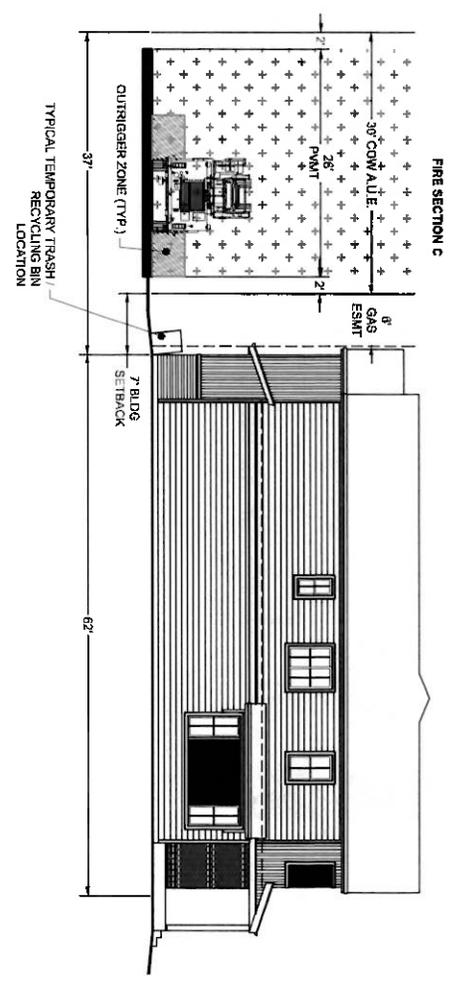


**UPLANDS FILING NO. 1
 BLOCK 5**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

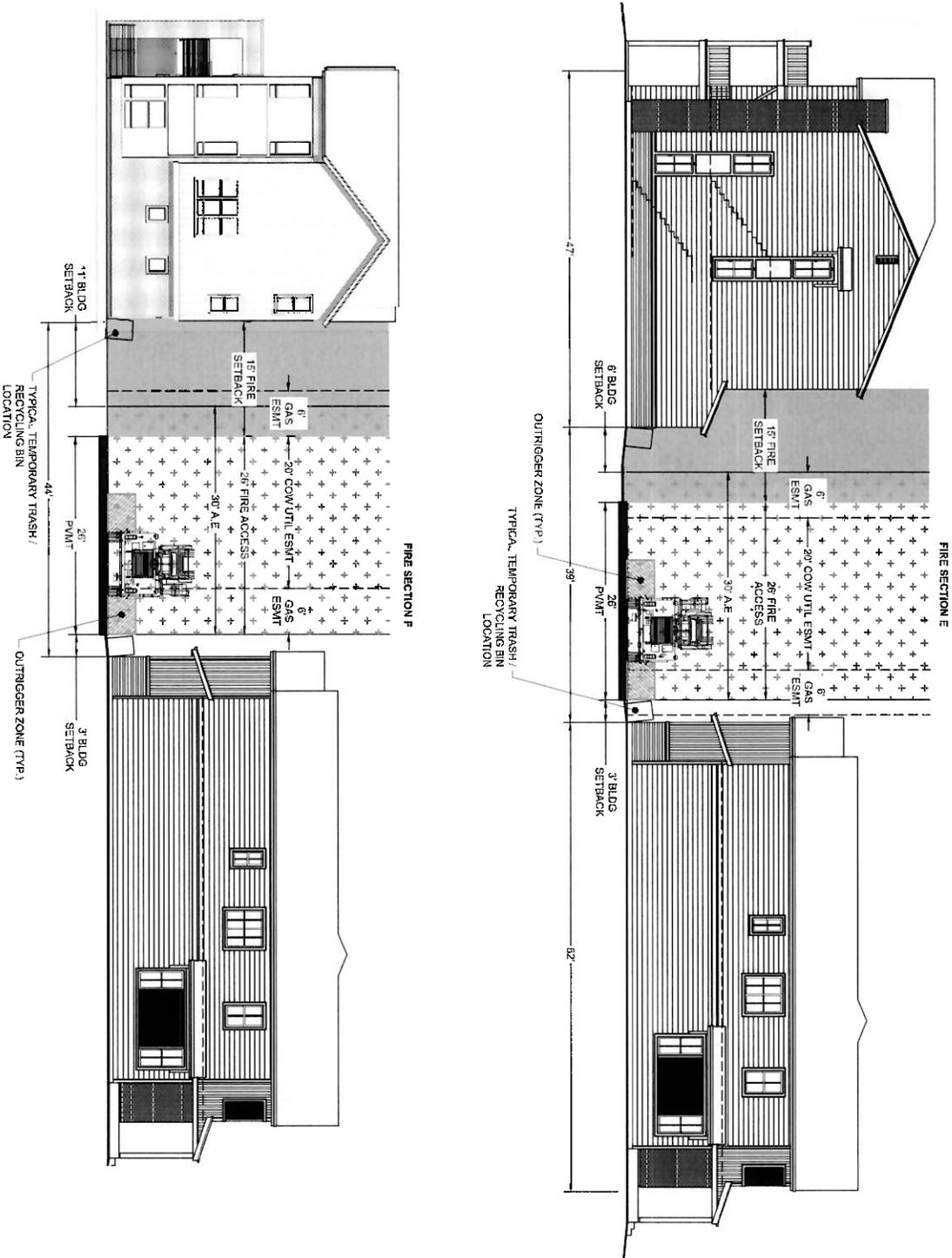
REVISIONS
SUB 01: 11.03.2023
SUB 02: 03.07.2024
SUB 03: 05.03.2024
SUB 04: 06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 45 OF 138



<p>45 OF 138 FIRE CROSS SECTION</p>	<p>UPLANDS FILING NO. 1 BLOCK 5 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p>	<p>UPLANDS</p> <p>DATE: 06.14.2024</p>									
<p>OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023</p> <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">SUB 01:</td> <td>11.03.2023</td> </tr> <tr> <td>SUB 02:</td> <td>03.07.2024</td> </tr> <tr> <td>SUB 03:</td> <td>05.03.2024</td> </tr> <tr> <td>SUB 04:</td> <td>06.14.2024</td> </tr> </table>				SUB 01:	11.03.2023	SUB 02:	03.07.2024	SUB 03:	05.03.2024	SUB 04:	06.14.2024
SUB 01:	11.03.2023										
SUB 02:	03.07.2024										
SUB 03:	05.03.2024										
SUB 04:	06.14.2024										

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 46 OF 138



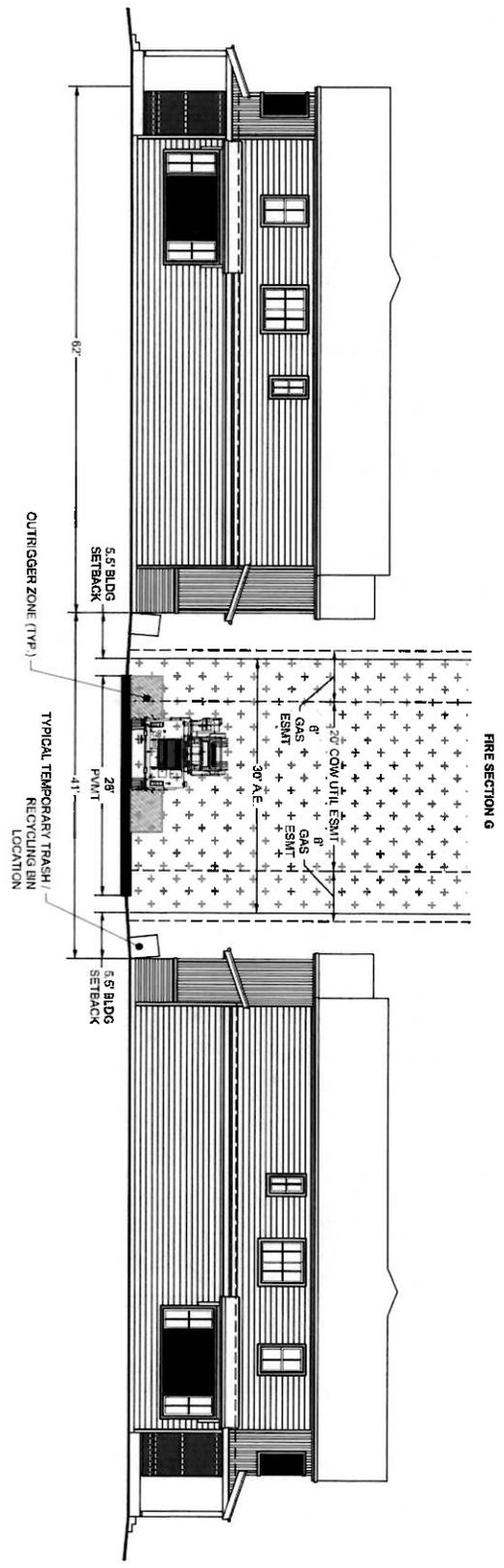
UPLANDS
 DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 47 OF 138



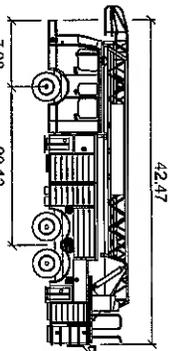
47 OF 138 FIRE CROSS SECTION	OFFICIAL DEVELOPMENT PLAN PREPARED: 11.03.2023
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	SUB 03: 05.03.2024
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UPLANDS FILING NO. 1
BLOCK 5
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 06.14.2024

HRGreen

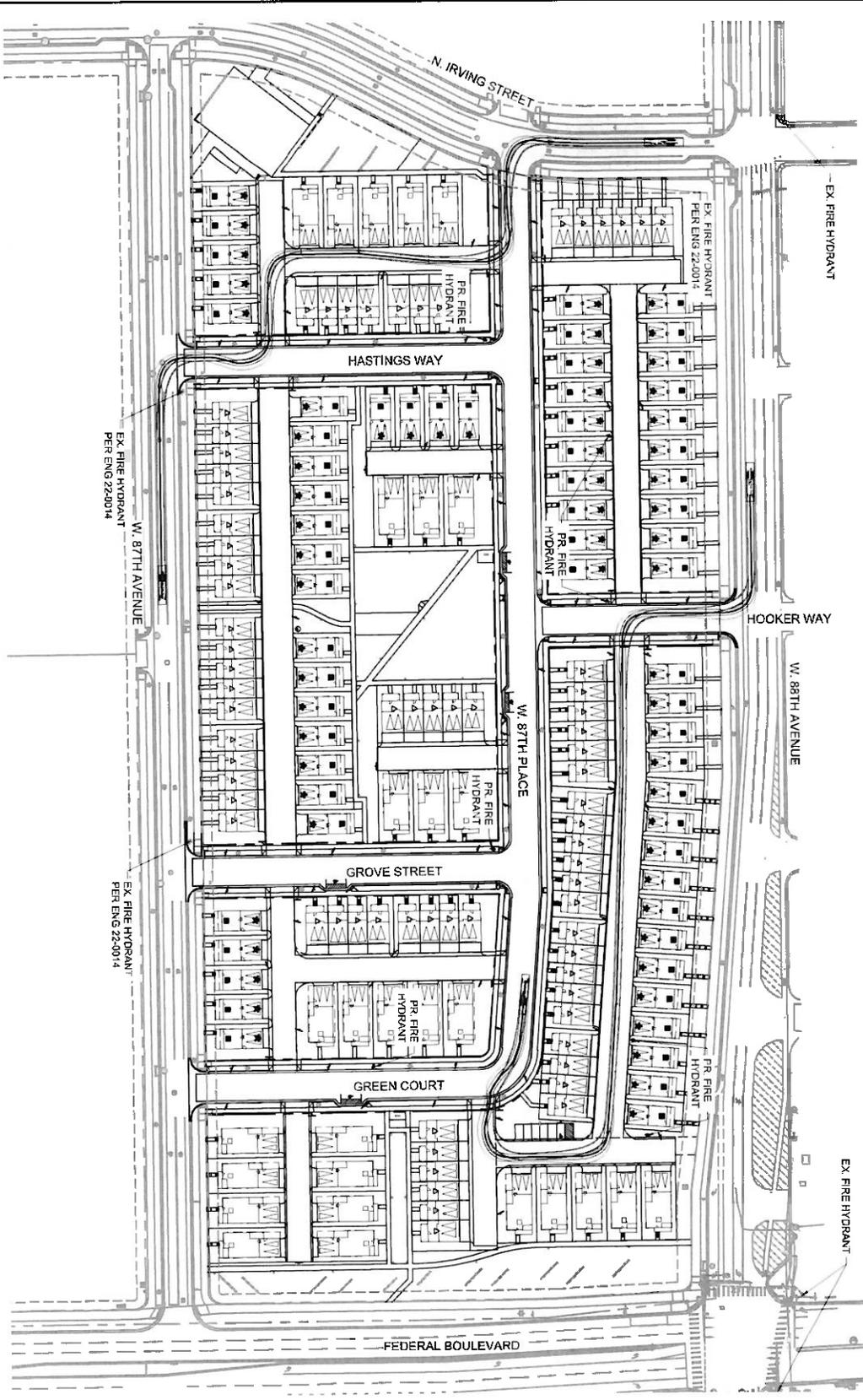


Westminster Fire Truck

feet

Width : 8.33
 Track : 6.91
 Lock to Lock Time : 6.0
 Steering Angle : 37.1
 Inside Cramp Angle : 40.0

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 5
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 48 OF 138



NOTE: ONCE STREETS ARE CONSTRUCTED, IF WESTMINSTER FIRE DEPARTMENT APPARATUS CANNOT MANEUVER THROUGHOUT REQUIRED FIRE DEPARTMENT APPARATUS ACCESS ROADS WITHOUT HITTING OBSTRUCTIONS OR BUMPER OVERHANG OF CURBS, IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECT THE ROADS TO MEET FIRE DEPARTMENT ACCESS ROAD REQUIREMENTS SET FORTH IN THE INTERNATIONAL FIRE CODE.



- LEGEND**
- FRONT TIRES
 - WHEEL TIRES
 - VEHICLE BODY
 - SINGLE FAMILY DETACHED (2-STORY)
 - SINGLE FAMILY DETACHED (2-STORY)
 - ▲ TOWNHOME (2-STORY)
 - * UNIT WITH REAR UPPER STORY SETBACK TO ACCOMMODATE FIRE ACCESS

UPLANDS

DATE: 06.14.2024

**UPLANDS FILING NO. 1
 BLOCK 5
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 11.03.2023

REVISIONS	
SUB 01:	11.03.2023
SUB 02:	03.07.2024
SUB 03:	05.03.2024
SUB 04:	06.14.2024