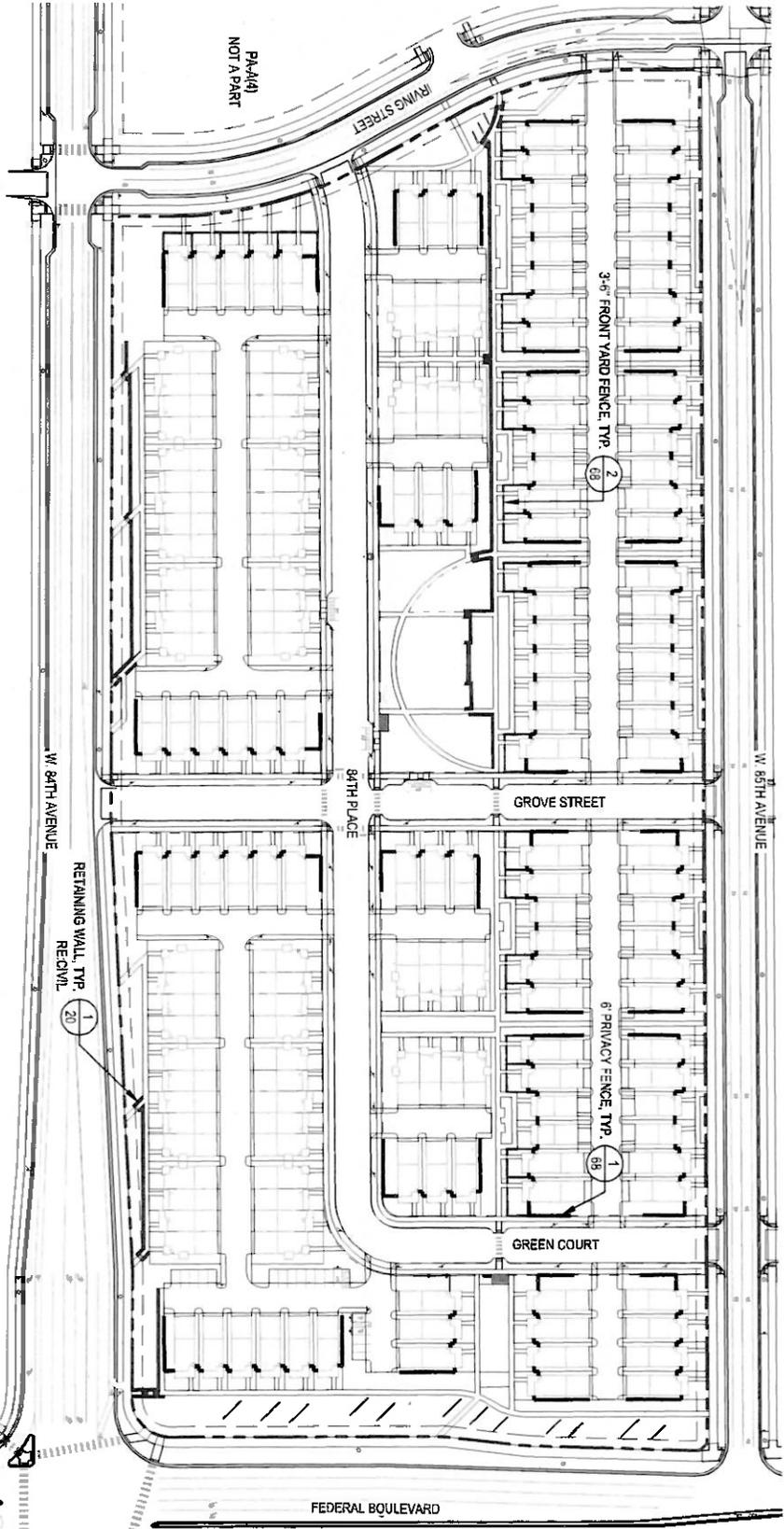


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
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 SHEET 65 OF 106



LEGEND

- SITE BOUNDARY
- ==== 6' PRIVACY FENCE (SEE DETAIL 1, SHEET 68)
- 3'-6" FRONT YARD FENCE (SEE DETAIL 2, SHEET 68)
- RETAINING WALLS, RE. CIVIL GRADING SHEETS FOR HEIGHTS & CIVIL SHEET 20 FOR DETAIL.

NOTE: THE COMMON LOT FENCE WILL BE CONSTRUCTED BY THE HOME BUILDER AND WILL BE MAINTAINED / REPLACED BY THE HOA.



65 OF 106 FENCING PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
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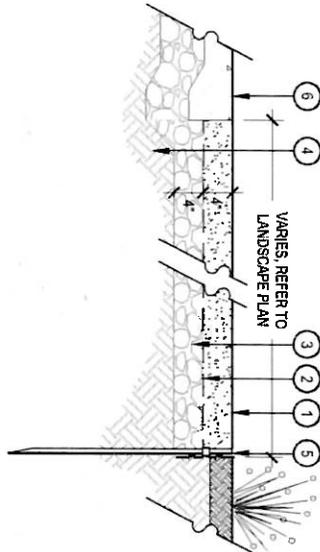
UPLANDS FILING NO. 1
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 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



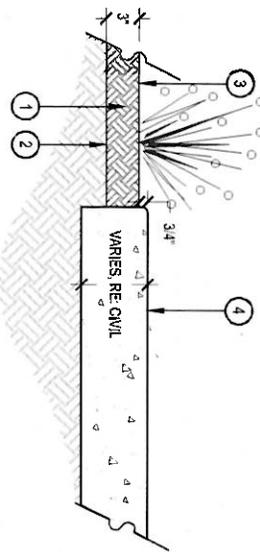
DATE: 05.02.2024



[UNRECORDED]



- ① 4" COMPACTED CRUSHER FINES WITH STABILIZER SOLUTIONS NATURALIZED DECOMPOSED GRANITE PATH STABILIZER OR ADA APPROVED EQUAL
- ② GEOTEXTILE FABRIC - MIRAF 140 NS OR APPROVED EQUAL
- ③ COMPACTED CRUSHED STONE
- ④ COMPACTED SUBGRADE
- ⑤ EDGER AT ABUTTING LANDSCAPE, REFER TO LANDSCAPE PLAN
- ⑥ ABUTTING CONCRETE FLATWORK, REFER TO CIVIL PLAN

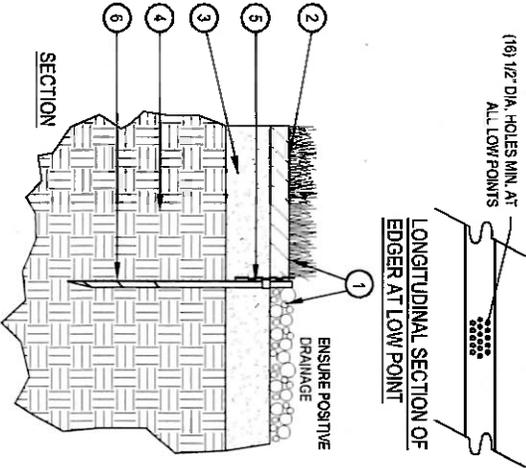


- ① SPECIFIED LANDSCAPE MULCH
- ② FINISHED SOIL GRADE
- ③ FINISHED GRADE
- ④ CONCRETE FLATWORK, RE: CIVIL

1 CRUSHER FINES

SCALE: 1" = 1'-0"

- NOTES:
1. ROLLER COMPACT DECOMPOSED GRANITE WET WITH STABILIZER PER MANUFACTURER SPECIFICATIONS. COMPACT IN 2" LIFTS
 2. PITCH TO DRAIN SURFACE AT 1.2% PER CIVIL GRADING PLAN.
 3. TOLERANCES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
 4. REFER TO LANDSCAPE PLAN FOR ABUTTING CONDITIONS.
 5. HOA WILL MAINTAIN ALL LANDSCAPE AND CRUSHER FINES SURFACES ON A ROUTINE BASIS TO MAINTAIN COMPACTION AND CONTROL ANY POTENTIAL MATERIAL TRAVELING.

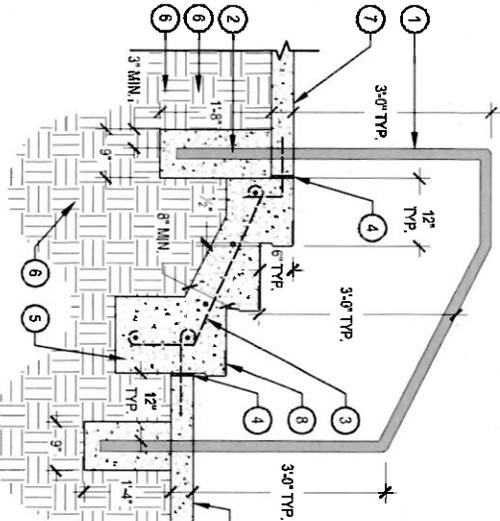


- ① FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ SUBGRADE
- ⑤ ROLLED TOP STEEL EDGER - DRILL (1/8) 1/2" DIA. HOLES 1' O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ EDGER STAKE

NOTES:
 1. THERE SHALL BE NO EXPOSED SHARP JAGGED EDGES.
 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

2 TYPICAL CONCRETE TO PLANTING BED TRANSITION

SCALE: 1/2" = 1'-0"



- ① 2" STEEL TUBE RAILING. RAILING SHALL BE CONSTRUCTED USING WELDED JOINTS GROUND SMOOTH AND PAINTED BLACK. RAILING SHALL BE INSTALLED ON BOTH SIDES OF STAIRS. HANDRAIL TO COMPLY WITH LOCAL BUILDING CODES AND ADA REGULATIONS
- ② EMAILED RAILING - MINIMUM 8" INTO CONCRETE
- ③ REINFORCING PER STRUCTURAL TYP.
- ④ EXPANSION JOINTS @ TOP AND BOTTOM
- ⑤ CAST IN PLACE CONCRETE FOOTING
- ⑥ COMPACTED SUBGRADE
- ⑦ CAST-IN-PLACE CONCRETE STEPS AND PAVING - SEE PAVING SCHEDULE
- ⑧ SAND BLASTED TREAD MARKERS - DARKER THAN THE STAIR CONCRETE
- ⑨ 1/2" DEPTH CHAMFERED TOE KICK, CHAMFER TO BE AT 30° ANGLE FROM HORIZONTAL

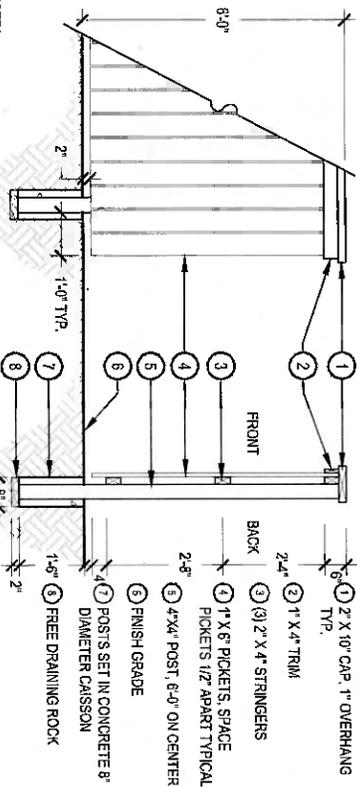
3 STEEL EDGER

SCALE: 1" = 1'-0"

4 STAIR WITH HANDRAIL

SCALE: 3/4" = 1'-0"

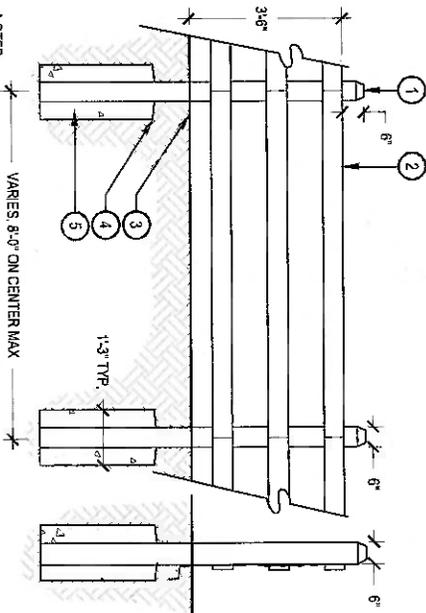




- NOTES:
- UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE. FRONT AND REAR LOT WING FENCING SHALL BE SET BACK TO THE FRONT AND BACK FACE OF BUILDING RESPECTIVELY AT A MINIMUM.
 - ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION.
 - ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
 - ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6" ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

1 6' PRIVACY FENCE

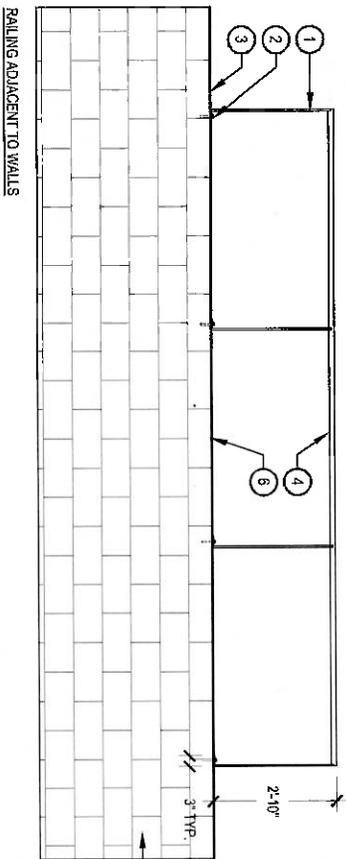
SCALE: 1/2" = 1'-0"



- NOTES:
- RAILS SHALL FACE EXTERIOR OF FENCE ENCLOSURE.
 - FASTEN RAILS WITH GALVANIZED SCREWS, SET FLUSH.
 - ALL WOOD SHALL BE ARCHITECT KNOTTY OR BETTER WESTERN RED CEDAR, STANDARD ROUGH-SAWN, AND KILN-DRIED.

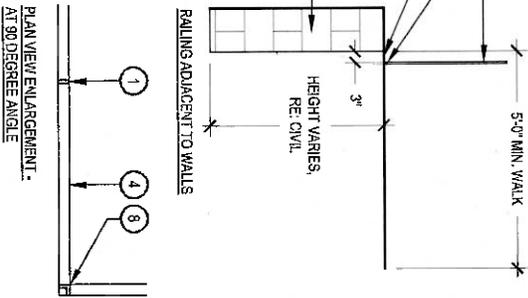
2 3'-6" FRONT YARD FENCE

SCALE: 1/2" = 1'-0"



- NOTES:
- HANDRAIL MAY BE A COMBINATION OF FREESTANDING AND ATTACHED WHERE APPROPRIATE.
 - CONTRACTOR SHALL ENSURE THAT HANDRAIL MEETS ALL APPLICABLE CURRENT ADI AND CITY CODES.
 - CONTRACTOR SHALL VERIFY ALL MEASUREMENTS ON THE HANDRAIL FOLLOWING CONSTRUCTION OF STAIRS/RAMP AND PRIOR TO FABRICATION.
 - WELD HANDRAIL AND POST. WELD JOINTS SHALL BE SEAMLESS. BAR SHALL BE FLUSH WITH HANDRAIL. GRIND SMOOTH.
 - CONTRACTOR SHALL ENSURE THAT RAILS ARE SECURELY FASTENED.

3 FREESTANDING HANDRAIL / GUARDRAIL



- SCALE: 1/2" = 1'-0"
- POST, 1 1/2" THICK X 4 1/2" WIDE FLAT BRUSHED STAINLESS STEEL BAR.
 - 1/2" ZINC PLATED EXPANSION BOLT.
 - CONCRETE FLATWORK, REFER TO PLANS.
 - HANDRAIL, 1 1/2" OUTSIDE DIMENSION BRUSHED STAINLESS STEEL, ARC TO CONFORM TO ADJACENT CURVED WALLS.
 - CONCRETE STAIRS TYPICAL. REFER TO PLAN FOR LOCATION.
 - CONCRETE RAMP TYPICAL. REFER TO CIVIL.
 - ADJACENT RETAINING WALL, REFER TO CIVIL SHEET 17 FOR INFORMATION.
 - WELD 2 BARS TOGETHER AT 90 DEGREE ANGLES.

PLAN VIEW ENLARGEMENT, AT 90 DEGREE ANGLE.



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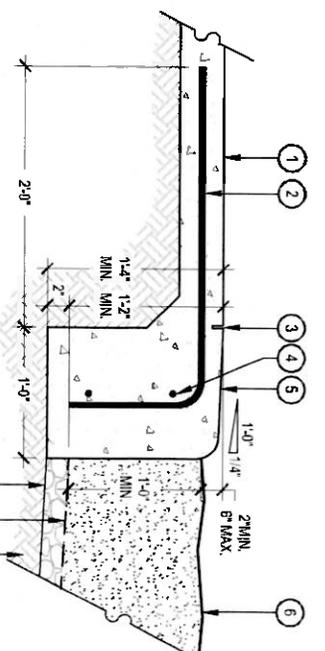
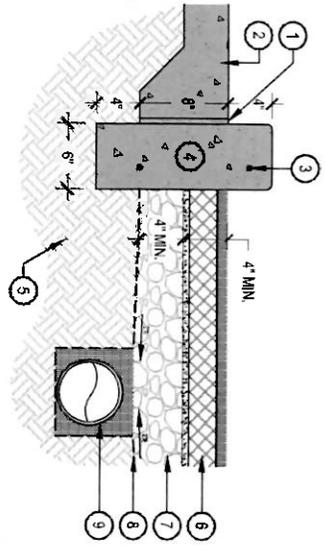
68 OF 106
 LANDSCAPE DETAILS

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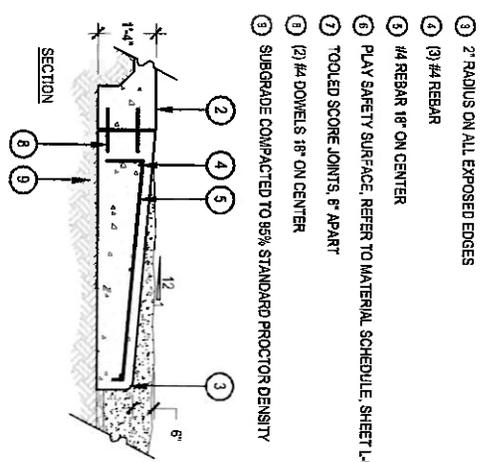
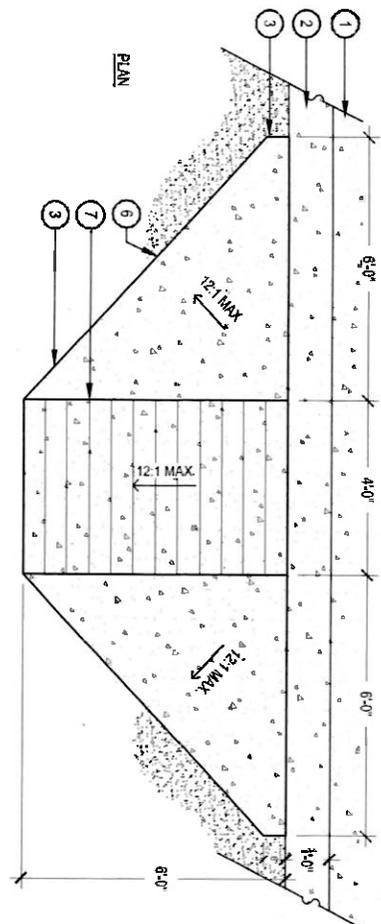


- 1 1/2" FIBER EXPANSION JOINT WITH TRAFFIC SEALANT AND #4 EPOXY COATED DOWELS, 8' LENGTH PLACED 24" O.C. ALONG EXPANSION JOINT PLASTIC SLEEVE ON THE ONE END
- 2 ADJACENT CONCRETE SLABS WITH THICKENED EDGE
- 3 #4 REBAR CONTINUOUS, SHALL BE MIN. 2' FROM EDGE OF CONCRETE
- 4 CAST-IN-PLACE CONCRETE CURB, SMOOTH FINISH, 1/2" RADIUS ON EDGES
- 5 PERFORATED PVC PIPE WITH FABRIC WRAP, EMBEDDED IN PEA GRAVE, MIN. 1% SLOPE, TIE INTO STORM LINE, NE CIVIL
- 6 COMPACTED SUBGRADE
- 7 ARTIFICIAL TURF, REFER TO MATERIAL SCHEDULE ON SHEET 47.
- 8 WEED CONTROL FABRIC
- 9 4" MIN. COMPACTED CRUSHED AGGREGATE

- 1 CONCRETE WALK
- 2 MONOLITHIC CONCRETE CURB, REFER TO DETAIL 7, SHEET L-20
- 3 2" RADIUS ON ALL EXPOSED EDGES
- 4 (3) #4 REBAR
- 5 #4 REBAR 18" ON CENTER
- 6 PLAY SAFETY SURFACE, REFER TO MATERIAL SCHEDULE, SHEET L-02
- 7 TOOLED SCORE JOINTS, 6" APART
- 8 (2) #4 DOWELS 18" ON CENTER
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

1 BOCCIE BALL COURT SECTION
 SCALE: 1/12" = 1'-0"

2 MONOLITHIC CONCRETE PLAYGROUND CURB
 SCALE: 1/12" = 1'-0"



- 3 PLAYGROUND RAMP**
- NOTES:
 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

- NOTES:
 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.



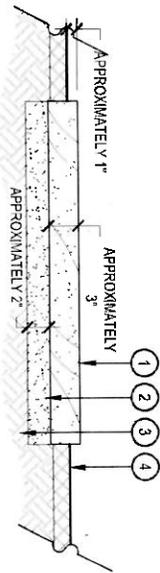
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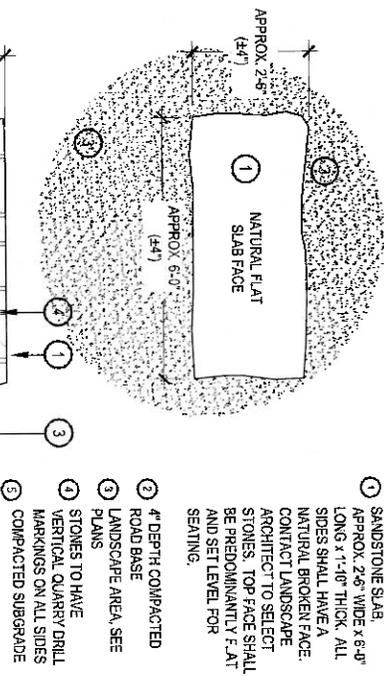
- ① SANDSTONE STEPPER WITH NATURAL CLEFT FACE, APPROXIMATELY 36" x 18" x 3"
- ② 2" SAND SETTING LAYER
- ③ SUBGRADE COMPACTED TO 95% PROCTOR DENSITY
- ④ SURROUNDING LANDSCAPE, TOP OF STEPPER SHALL BE SET 1" ABOVE ADJACENT LANDSCAPE, REFER TO PLANS



- NOTES
1. TAMP STONES WITH VIBRATORY PLATE COMPRESSOR TO LOCK STONES IN PLACE.
 2. SEE PLAN FOR LOCATION.

1 **STONE STEPPER**

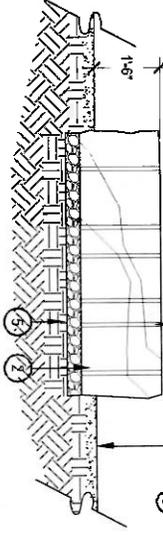
SCALE: 1/12" = 1'-0"



- ① SANDSTONE SLAB, APPROX. 2'-6" WIDE x 6'-0" LONG x 1"-10" THICK, ALL SIDES SHALL HAVE A NATURAL BROKEN FACE, CONTACT LANDSCAPE ARCHITECT TO SELECT STONES, TOP FACE SHALL BE PREDOMINANTLY FLAT AND SET LEVEL FOR SEATING.
- ② 4" DEPTH COMPACTED ROAD BASE
- ③ LANDSCAPE AREA, SEE PLANS
- ④ STONES TO HAVE VERTICAL QUARRY DRILL MARKINGS ON ALL SIDES
- ⑤ COMPACTED SUBGRADE

2 **BOULDER SLAB BENCH**

SCALE: 1/2" = 1'-0"



DATE: 05.02.2024

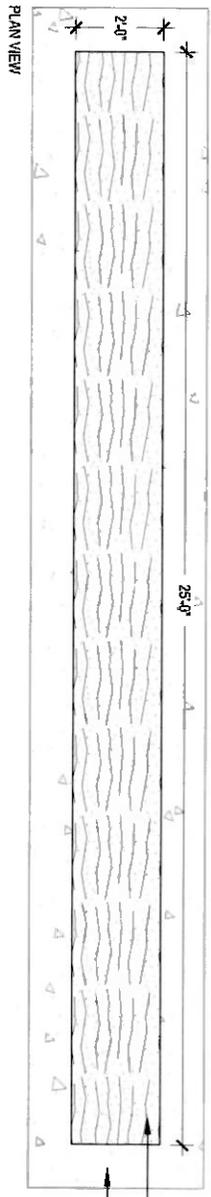
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 LANDSCAPE DETAILS

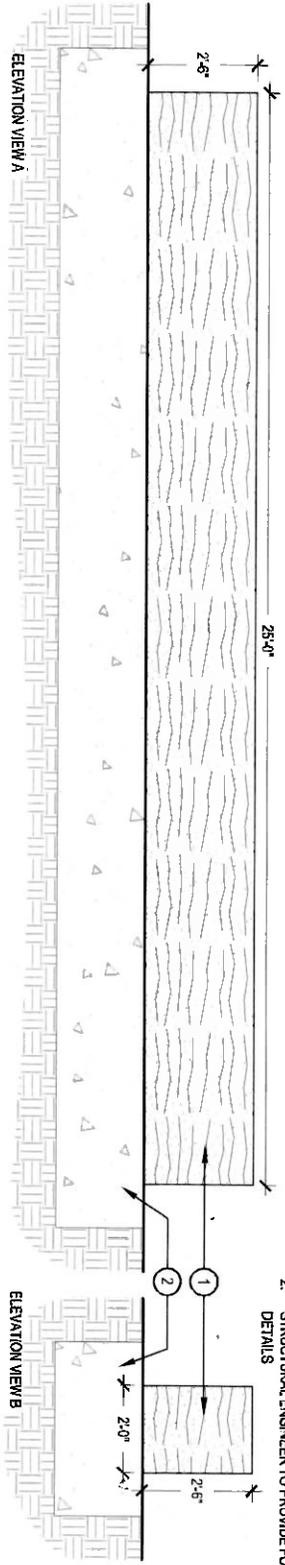
HARRIS DESIGN
 1111 14TH STREET
 BOULDER, CO 80502
 303.440.8888

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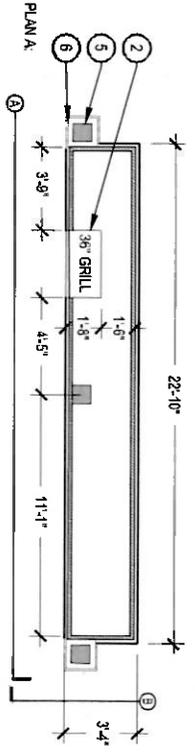
- ① CONCRETE MONUMENT WALL WITH BOARD FORM FINISH. COLOR: DAVIS COLORS PEWTER 880 OR APPROVED EQUAL.
- ② FOUNDATION WALL BASE (FINAL MATERIAL AND DEPTH TBD BY STRUCTURAL ENGINEER)

NOTES:
 1. DETAIL PROVIDED FOR GENERAL APPEARANCE BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS

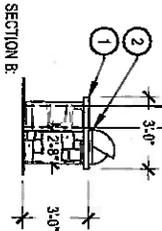


1 ACCENT WALLS

SCALE: 1/2" = 1'-0"



- ① 3CM GRANITE COUNTERTOP, 2" OVERHANG ON ALL SIDES.
- ② BUILT IN GAS GRILL W/ ACCESS BELOW, STAINLESS, AMERICAN OUTDOOR GRILL, MODEL # AOG 36NBL AVAIL ABLE FROM BBQ GUYS (877) 743-2289, WWW.BBQGUYS.COM OR APPROVED EQUAL. GRILL HOOD TO BE FIELD MODIFIED WITH ACCESSIBLE HANDLE, AUTOMATIC SHUTOFF AND TIMER TO BE INCLUDED.
- ③ MASONRY VENEER TO MATCH ARCHITECTURE
- ④ DOUBLE ACCESS DOORS, STAINLESS STEEL.
- ⑤ SHADE STRUCTURE POST
- ⑥ 3" THICK PRECAST GREY CONCRETE CAP, 1" OVERHANG TYP.



2 GRILL AT COUNTER

- NOTES:
 1. DETAIL PROVIDED FOR GENERAL APPEARANCE BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
 2. THESE DRAWINGS ARE FOR DESIGN INTENT ONLY. ALL FOOTINGS BY OTHERS.
 3. CABINETS SHALL BE STEEL, FRAMED WITH A STAINLESS STEEL OR BRUSHED STEEL FINISH.
 4. THE GRILLS SHALL HAVE APPROPRIATELY SIZED LOCKING ACCESS DOORS BELOW.
 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BEFORE INSTALLATION.



SCALE: 1/4" = 1'-0"

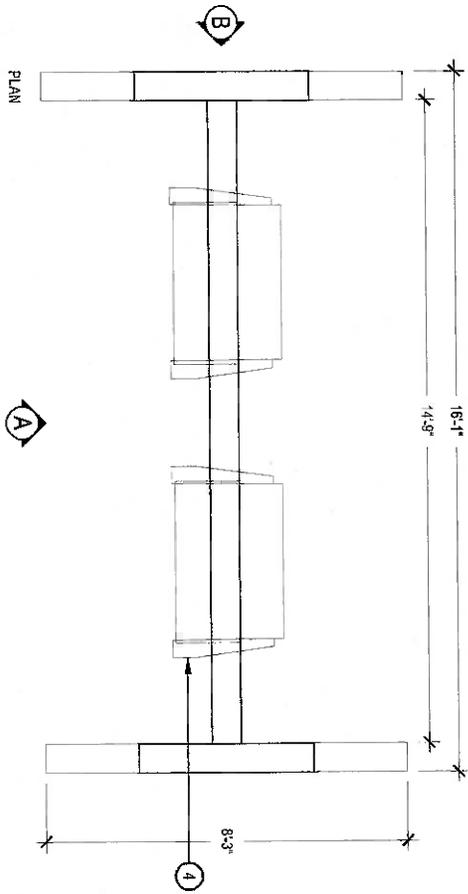
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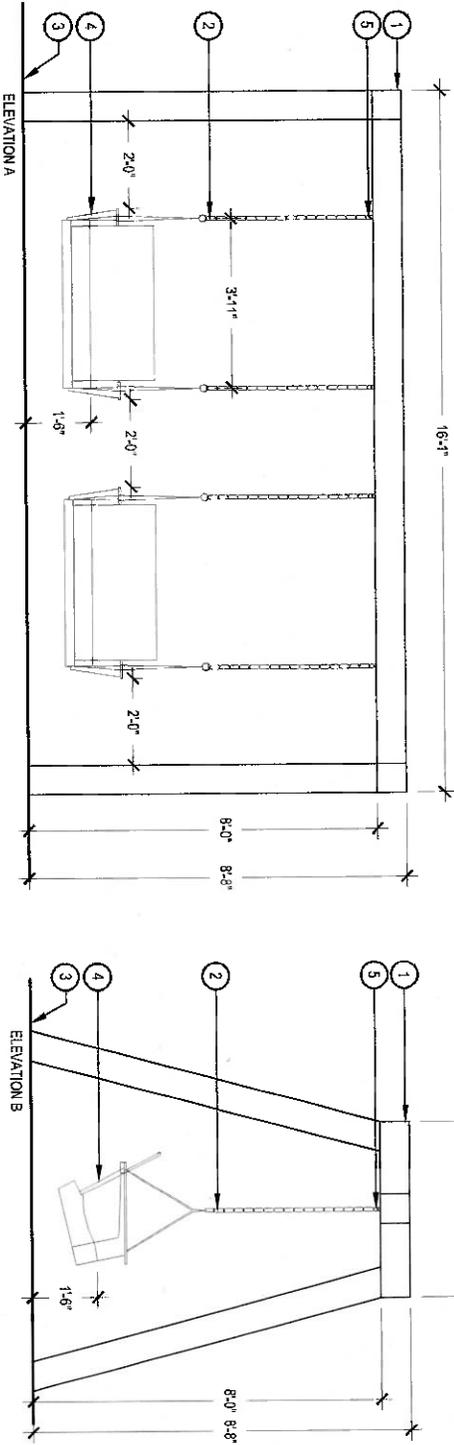
UPLANDS
 DATE: 05.02.2024



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- ① 8x8" ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR TUGBOAT (OR APPROVED EQUAL)
- ② CHAIN WITH QUICK LINK CONNECTION
- ③ CONCRETE
- ④ ADIRONDACK PORCH SWING, SEE AMENITY SCHEDULE
- ⑤ 3/8" SHANK DIAMETER 1 BOLT



- NOTES:
1. DETAIL PROVIDED FOR GENERAL APPEARANCE. BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP.
 2. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS.
 3. RECOMMEND APPROXIMATELY A 2" MINIMUM CLEARANCE IN THE BACK AND FRONT AND A MINIMUM OF 1" ON EITHER SIDE.
 4. SEE TOLL ADIRONDACK PORCH SWING FOR ADDITIONAL DETAILS, INSTALLATION METHODS, AND SPECIFICATIONS.

1 SWING BENCH FRAME

SCALE: 1/2" = 1'-0"



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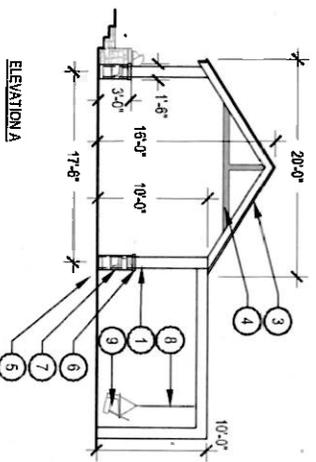
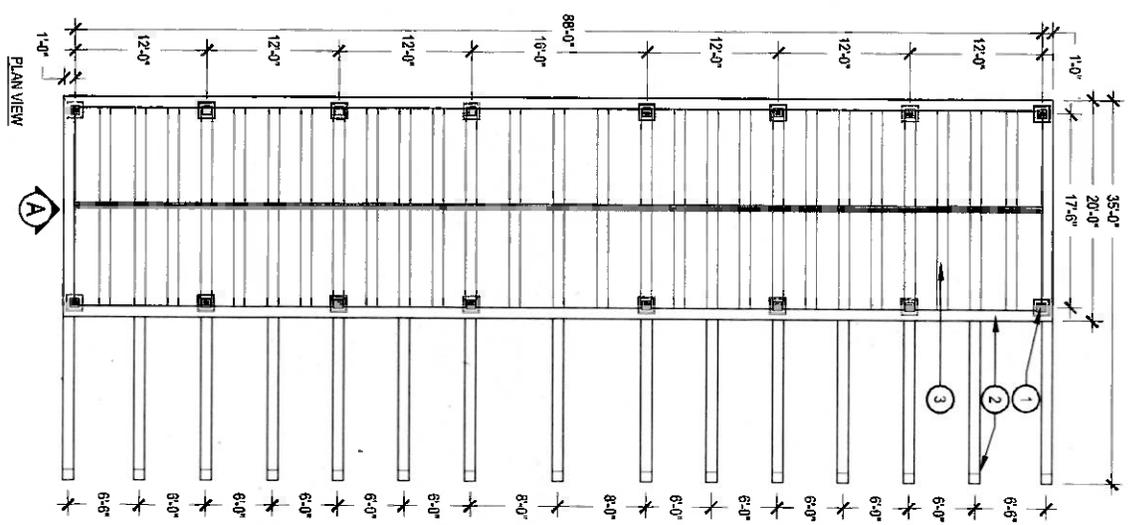
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- ① 12"x12" ROUGH SAWN CEDAR POSTS, BEHR SEMI-TRANSPARENT STAIN COLOR TUGSOAT (OR APPROVED EQUAL)
- ② 4"x12" ROUGH SAWN CEDAR BEAM, BEHR SEMI-TRANSPARENT STAIN COLOR TUGSOAT (OR APPROVED EQUAL)
- ③ STANDING SEAM METAL ROOF TO MATCH MAIL KIOSK, RE: ARCH.
- ④ ROUGH-SAWN DECORATIVE DETAIL TO MATCH MAIL KIOSK, RE: ARCH
- ⑤ CONCRETE PAVING, RE: PLAN
- ⑥ 3" THICK PRECAST GREY CONCRETE CAP, 1" OVERHANG, TYP.
- ⑦ STONE TO MATCH MAIL KIOSK, RE: ARCH
- ⑧ CHAIN WITH QUICK LINK CONNECTION
- ⑨ ADIRONDACK PORCH SWING

NOTES:
 1. DETAIL PROVIDED FOR GENERAL APPEARANCE BUILDING PERMIT WITH STRUCTURAL ENGINEER STAMPED DRAWINGS REQUIRED WHICH WILL GENERALLY COMPLY WITH THE HEIGHT, WIDTH, LOCATION, AND APPEARANCE SHOWN IN THIS ODP. STRUCTURAL ENGINEER TO PROVIDE FOOTING DETAILS

1 PARK SHADE STRUCTURE

SCALE: 1/8" = 1'-0"



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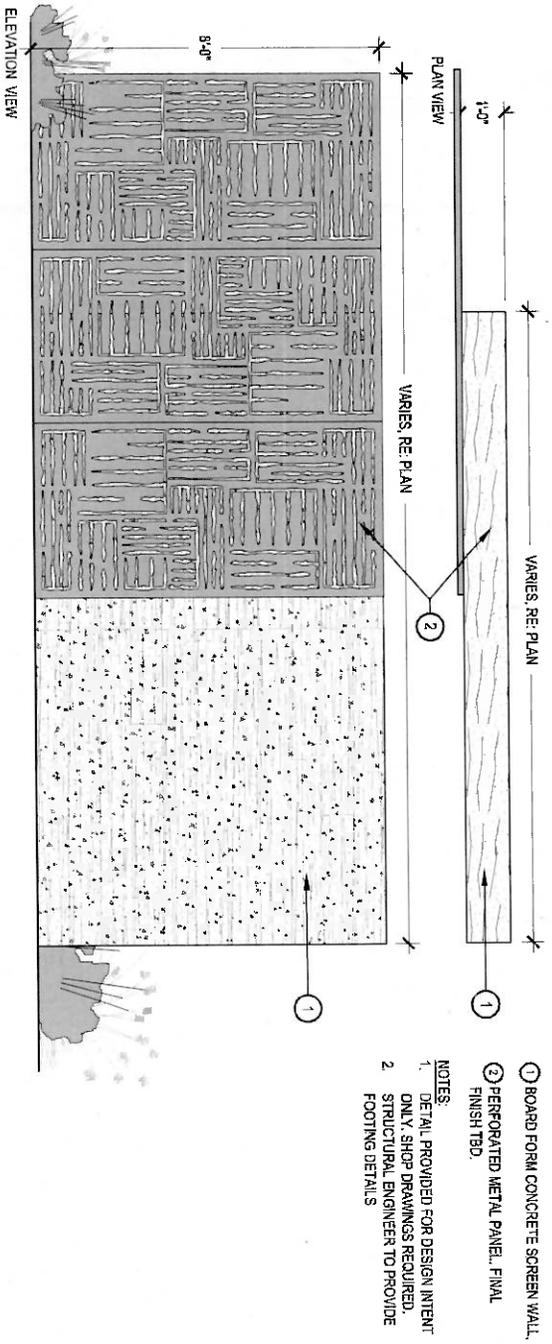
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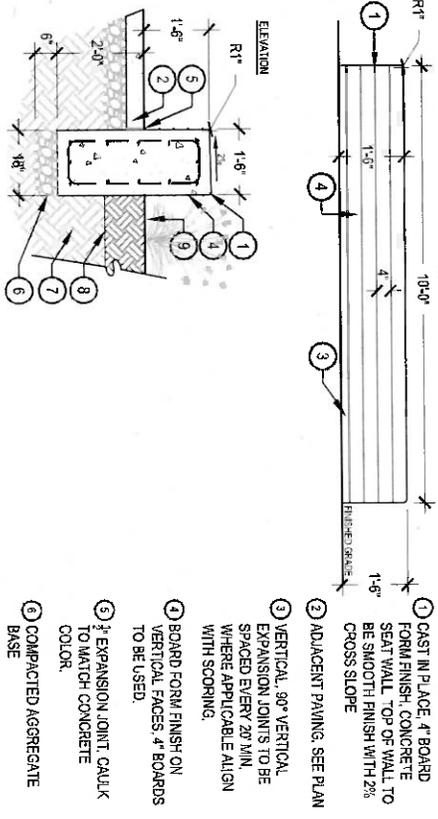


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1 SCREEN WALLS

SCALE: 1/2" = 1'-0"



- NOTE:**
1. CONTRACTOR TO HAVE STRUCTURAL ENGINEER TO REVIEW AND APPROVE FOOTING AND STEEL REINFORCEMENT PRIOR TO CONSTRUCTION.
 2. NORRIS DESIGN TO APPROVE MOCKUP IN FIELD PRIOR TO CONSTRUCTION.
- ① CAST IN PLACE, 4" BOARD FORM FINISH, CONCRETE SEAT WALL. TOP OF WALL TO BE SMOOTH FINISH WITH 2% CROSS SLOPE
 - ② ADJACENT PAVING. SEE PLAN
 - ③ VERTICAL, 90° VERTICAL EXPANSION JOINTS TO BE SPACED EVERY 20' MIN. WHERE APPLICABLE ALIGN WITH SCORING.
 - ④ BOARD FORM FINISH ON VERTICAL FACES, 4" BOARDS TO BE USED.
 - ⑤ 3/4" EXPANSION JOINT CAULK TO MATCH CONCRETE COLOR.
 - ⑥ COMPACTED AGGREGATE BASE
 - ⑦ COMPACTED SUBGRADE
 - ⑧ AMENDED TOP SOIL
 - ⑨ ADJACENT LANDSCAPE. REFER TO PLANS

2 CONCRETE SEAT WALL

SCALE: 1/2" = 1'-0"



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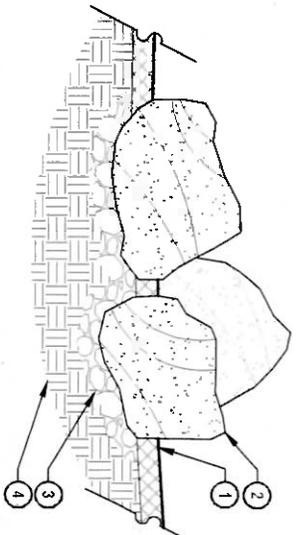
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DATE: 05.02.2024

NORRIS DESIGN
 ARCHITECTURE
 1000 WEST 10TH AVENUE
 WESTMINSTER, CO 80057
 PHONE: 303.440.1111
 WWW.NORRISDESIGN.COM

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BOULDER SIZES	
QTY.	ITEM
40%	A- SIZED BOULDER 24 - 30" DIAMETER X 18" MINIMUM DEPTH
30%	B- SIZED BOULDER 30 - 48" DIAMETER X 24" MINIMUM DEPTH
30%	C- SIZED BOULDER 48 - 80" DIAMETER X 32" MINIMUM DEPTH

- ① REFER TO LANDSCAPE PLAN FOR ABUTTING LANDSCAPE SURFACE. NO GAPS
- ② NATURALLY SET SANDSTONE BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE. SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL
- ③ 3" MINIMUM COMPACTED AGGREGATE
- ④ UNDISTURBED GRADE

- NOTES:**
1. REFER TO LANDSCAPE MATERIALS SCHEDULE FOR BOULDER SPECIFICATIONS AND ADDITIONAL NOTES.
 2. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 3. BOULDERS MUST BE INSTALLED AS THE APPROXIMATE WIDTHS SHOWN ON PLAN.

1 LANDSCAPE BOULDER
 SCALE: 1" = 4'-0"



75 OF 106 LANDSCAPE DETAILS	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS
 DATE: 05.02.2024



**OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 76 OF 107**

SFA TOWNHOME - MODP ARCHITECTURAL CHARACTERISTICS TABLE

MODEL:	2-STORY 4-PLEX	2-STORY 5-PLEX	
(SFA STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	
(SFA STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE			NOTE: SEE EXCEPTION REQUEST ON SHEET 6
(MODP MASONRY) 50% AVERAGE ON ALL ELEVATIONS	X	X	
(MODP STORIES) 3 STORIES MAX.	X	X	
(MODP HEIGHT) 40' MAX.	X	X	
(MODP PRIVATE OUTDOOR SPACE) REAR, SIDE, FRONT YARDS OR BALCONIES / PATIOS / PORCHES / DECKS	X	X	
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	
(TMUND 2.4.1) ALLEY ACCESSED GARAGE	X	X	
(TMUND 2.4.1) ENTRY PORCHES PROMINENT ARCHITECTURAL FEATURE	X	X	
(TMUND 2.4.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	
(TMUND 2.4.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	
(W.M.C. 11-7-4(B)(2)) OFF-STREET PARKING, 2 SPACES PER UNIT, & 1 SPACE PER 3 UNIT FOR GUEST			NOTE: SEE EXCEPTION REQUEST ON SHEET 5
(TMUND 2.4.1) PRIVATE REAR YARD, FRONT YARD, OR BALCONY			NOTE: SEE EXCEPTION REQUEST ON SHEET 7
(TMUND 2.4.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	


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 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

**OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 7
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SFD - MODP ARCHITECTURAL CHARACTERISTICS TABLE

MODEL:	PLAN 10 2-STORY	PLAN 11 2-STORY	PLAN 12 2-STORY	PLAN 13 3-STORY	PLAN 14 3-STORY
(SFD STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X	X	X
(SFD STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	X	X
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE	X	X	X	X	X
(MODP MASONRY) 30% AVERAGE ON THE FRONT & OTHER PUBLIC FACING ELEVATIONS	X	X	X	X	X
(MODP STORIES) 3 STORIES MAX.	X	X	X	X	X
(MODP HEIGHT) 40' MAX.	X	X	X	X	X
(MODP PRIVATE OUTDOOR SPACE) 400 USABLE SQ. FT./W/ DECKS & PATIOS INCLUDED	X	X	X	X	X
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X	X	X
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X	X	X
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X	X	X
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X	X	X
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X	X	X
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	X	X	X
(TMUND 2.3.1) ENTRY PORCHES 1/3 MIN. OF FACADE	X	X	X	X	X
(TMUND 2.3.1) UNOBSERVED PORCHES ARE 6'-8" DEPTH & 90 SQ. FT. MIN.	X	X	X	X	X
(W.M.C. 11-7-4(B)(2)) 2 ON-SITE & 2 OFF-SITE PARKING SPACES FOR EACH UNIT	X	X	X	X	X
(TMUND 2.3.1) GARAGE DIMENSIONS 2-CAR - 20 FEET WIDTH BY 22 FEET DEPTH MIN. 1-CAR - 12 FEET WIDTH BY 22 FEET DEPTH MIN.	X	X	X	X	X
(TMUND 2.3.1) GARAGE DOOR DIMENSIONS 2-CAR - 16 FEET WIDTH BY 7 FEET HEIGHT MIN 1-CAR - 8 FEET WIDTH BY 7 FEET HEIGHT MIN	X	X	X	X	X
(TMUND 2.3.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X	X	X
(TMUND 2.3.1) ENTRIES & PORCHES SHOULD EXTEND IN FRONT OF MAIN FACADE & DETAILED YARD, OR BALCONY	X	X	X	X	X
	NOTE: SEE EXCEPTION REQUEST ON SHEET 7				



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 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

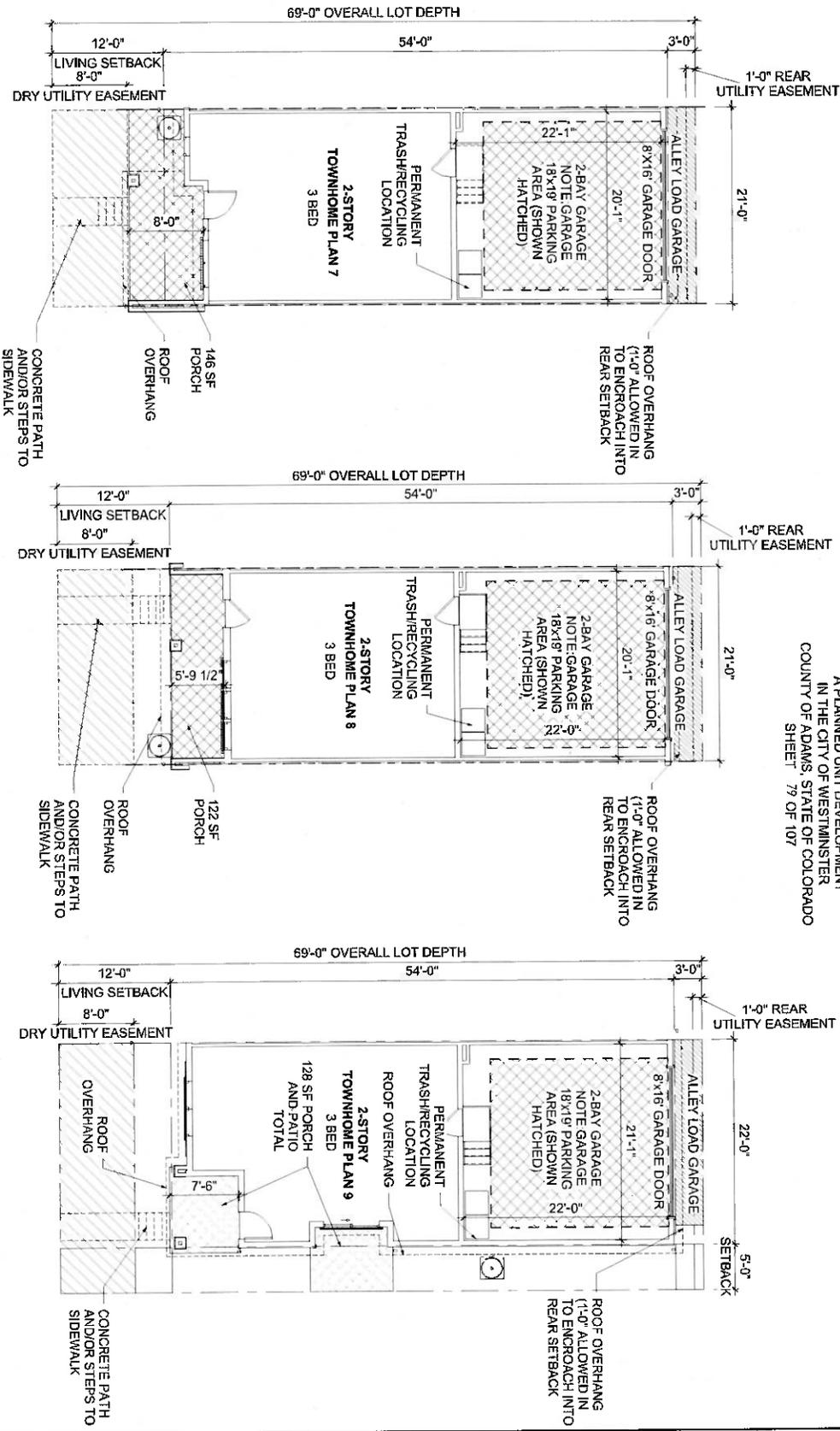
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 PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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2-STORY TOWNHOME LOT TYPICAL

RUSTIC, CRAFTSMAN AND FARMHOUSE SIMILAR
 SCALE: 1/8" = 1'-0"

PLAN 7 INTERIOR	PLAN 8 INTERIOR	PLAN 9 END
1,542 TOTAL SQ. FT.	1,449 TOTAL SQ. FT.	1,634 TOTAL SQ. FT.
146 SF PORCH	122 SF PORCH	128 SF PORCH AND PATIO

- NOTE
1. ALL GROUND LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
 4. ALL SPD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
 5. ALL SPD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
 6. ALL HOMES WILL BE DESIGNED AS SOLAR READY
 7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM
 8. ALL SFA UTILITIES ARE LIMITED TO THREE BEDROOMS MAXIMUM IN PERPETUITY

UPLANDS

DATE: 05.02.2024

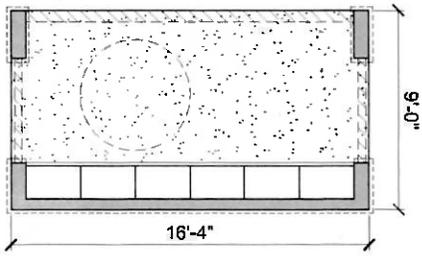
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79 OF 107 TOWNHOME LOT TYPICALS

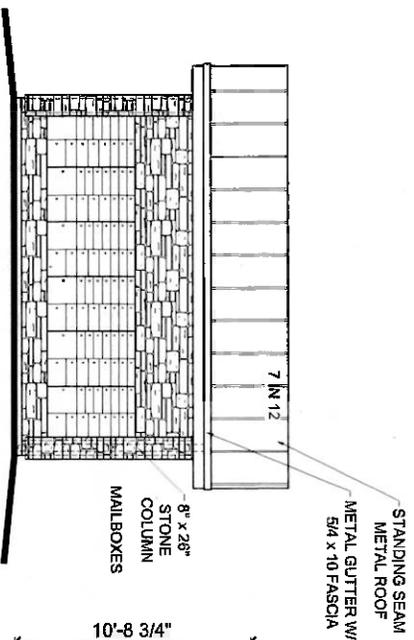
REFER TO COLOR BOOK FOR MATERIAL INFORMATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 78 OF 107

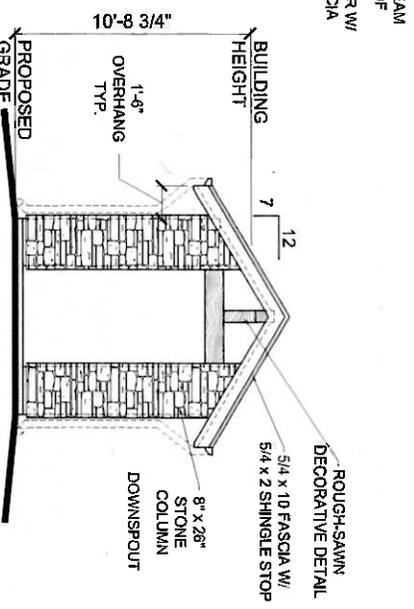


MAIL KIOSK FLOOR PLAN
 SCALE: 1/4" = 1'-0"

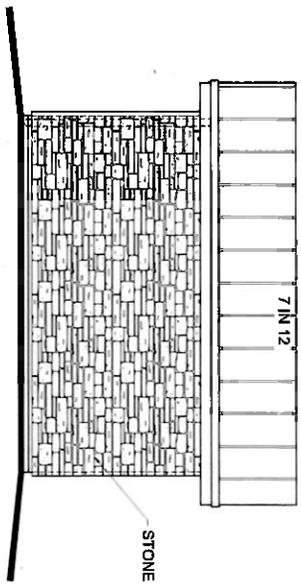
NOTE:
 1. SOLAR POWERED LIGHTING WILL BE PROVIDED



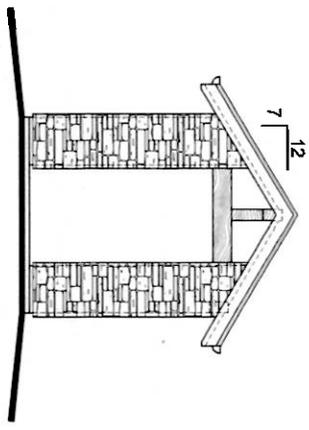
ELEVATION - LEFT
 SCALE: 1/4" = 1'-0"



ELEVATION - FRONT
 SCALE: 1/4" = 1'-0"



ELEVATION - RIGHT
 SCALE: 1/4" = 1'-0"



ELEVATION - REAR
 SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
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78 OF 107 MAIL KIOSK STRUCTURE	

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



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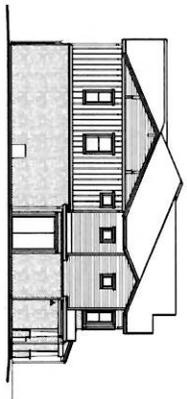
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 80 OF 107

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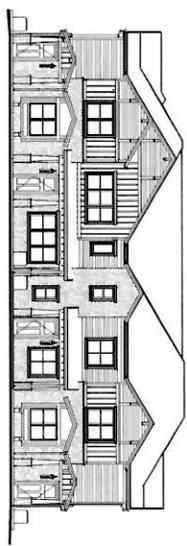
UPLANDS

DATE: 05.02.2024

4-PLEX - CRAFTSMAN
MASONRY PERCENTAGES:
 FRONT ELEVATION:
 MASONRY = 651 S.F. = 53%
 OTHER = 567 S.F.
 TOTAL = 1218 S.F.
 REAR ELEVATION:
 MASONRY = 623 S.F. = 54%
 OTHER = 445 S.F.
 TOTAL = 968 S.F.
 LEFT ELEVATION:
 MASONRY = 607 S.F. = 52%
 OTHER = 466 S.F.
 TOTAL = 973 S.F.
 RIGHT ELEVATION:
 MASONRY = 607 S.F. = 52%
 OTHER = 466 S.F.
 TOTAL = 973 S.F.
TOTAL BUILDING
 MASONRY = 2,188 S.F. = 52%
 OTHER = 1,944 S.F.
 TOTAL = 4,132 S.F.

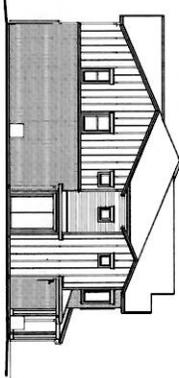


6 4-PLEX-A - LEFT - CRAFTSMAN STREETSCAPE
 1/16" = 1'-0"

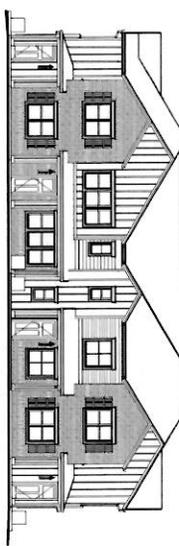


5 4-PLEX-A - FRONT - CRAFTSMAN STREETSCAPE
 1/16" = 1'-0"

4-PLEX - FARMHOUSE
MASONRY PERCENTAGES:
 FRONT ELEVATION:
 MASONRY = 634 S.F. = 53%
 OTHER = 363 S.F.
 TOTAL = 1,197 S.F.
 REAR ELEVATION:
 MASONRY = 613 S.F. = 63%
 OTHER = 365 S.F.
 TOTAL = 978 S.F.
 LEFT ELEVATION:
 MASONRY = 460 S.F. = 47%
 OTHER = 513 S.F.
 TOTAL = 973 S.F.
 RIGHT ELEVATION:
 MASONRY = 460 S.F. = 47%
 OTHER = 513 S.F.
 TOTAL = 973 S.F.
TOTAL BUILDING
 MASONRY = 2,167 S.F. = 52%
 OTHER = 1,944 S.F.
 TOTAL = 4,111 S.F.

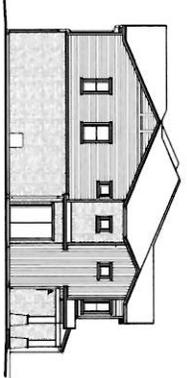


4 4-PLEX-A - LEFT - FARMHOUSE STREETSCAPE
 1/16" = 1'-0"

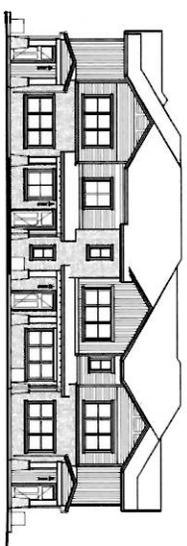


3 4-PLEX-A - FRONT - FARMHOUSE STREETSCAPE
 1/16" = 1'-0"

4-PLEX - RUSTIC
MASONRY PERCENTAGES:
 FRONT ELEVATION:
 MASONRY = 639 S.F. = 54%
 OTHER = 534 S.F.
 TOTAL = 1,173 S.F.
 REAR ELEVATION:
 MASONRY = 619 S.F. = 53%
 OTHER = 449 S.F.
 TOTAL = 968 S.F.
 LEFT ELEVATION:
 MASONRY = 604 S.F. = 52%
 OTHER = 467 S.F.
 TOTAL = 971 S.F.
 RIGHT ELEVATION:
 MASONRY = 604 S.F. = 52%
 OTHER = 467 S.F.
 TOTAL = 971 S.F.
TOTAL BUILDING
 MASONRY = 2,186 S.F. = 53%
 OTHER = 1,917 S.F.
 TOTAL = 4,083 S.F.



2 4-PLEX-B - LEFT - RUSTIC STREETSCAPE
 1/16" = 1'-0"



1 4-PLEX-B - FRONT - RUSTIC STREETSCAPE
 1/16" = 1'-0"

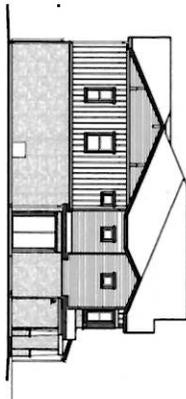
UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
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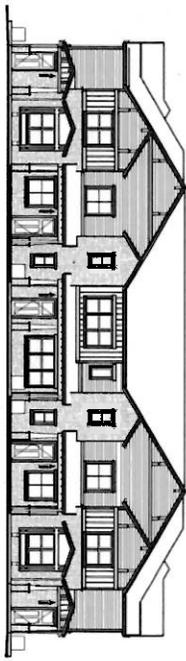
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
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NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES.

5-PLEX - CRAFTSMAN MASONRY PERCENTAGES:
 FRONT ELEVATION:
 MASONRY = 724 S.F. = 91%
 OTHER = 692 S.F.
 TOTAL = 1,406 S.F.
 REAR ELEVATION:
 MASONRY = 997 S.F. = 43%
 OTHER = 766 S.F.
 TOTAL = 1,763 S.F.
 LEFT ELEVATION:
 MASONRY = 345 S.F. = 38%
 OTHER = 606 S.F.
 TOTAL = 951 S.F.
 RIGHT ELEVATION:
 MASONRY = 345 S.F. = 36%
 OTHER = 606 S.F.
 TOTAL = 951 S.F.
TOTAL BUILDING
 MASONRY = 2,001 S.F. = 50%
 OTHER = 2,680 S.F.
 TOTAL = 4,681 S.F.

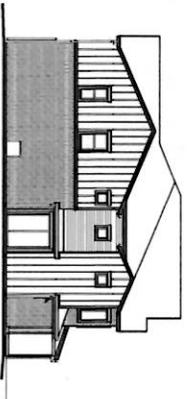


6 5-PLEX - LEFT - CRAFTSMAN STREETSCAPE
 1/16" = 1'-0"

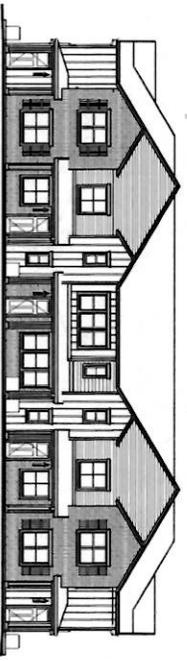


5 5-PLEX - FRONT - CRAFTSMAN STREETSCAPE
 1/16" = 1'-0"

5-PLEX - FARMHOUSE MASONRY PERCENTAGES:
 FRONT ELEVATION:
 MASONRY = 634 S.F. = 53%
 OTHER = 563 S.F.
 TOTAL = 1,197 S.F.
 REAR ELEVATION:
 MASONRY = 613 S.F. = 63%
 OTHER = 355 S.F.
 TOTAL = 968 S.F.
 LEFT ELEVATION:
 MASONRY = 460 S.F. = 47%
 OTHER = 513 S.F.
 TOTAL = 973 S.F.
 RIGHT ELEVATION:
 MASONRY = 460 S.F. = 47%
 OTHER = 513 S.F.
 TOTAL = 973 S.F.
TOTAL BUILDING
 MASONRY = 2,167 S.F. = 52%
 OTHER = 1,844 S.F.
 TOTAL = 4,111 S.F.

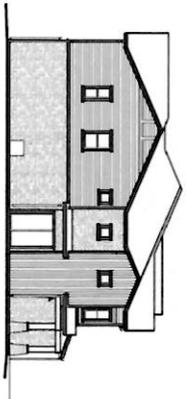


4 5-PLEX - LEFT - FARMHOUSE STREETSCAPE
 1/16" = 1'-0"



3 5-PLEX - FRONT - FARMHOUSE STREETSCAPE
 1/16" = 1'-0"

5-PLEX - RUSTIC MASONRY PERCENTAGES:
 FRONT ELEVATION:
 MASONRY = 863 S.F. = 59%
 OTHER = 594 S.F.
 TOTAL = 1,454 S.F.
 REAR ELEVATION:
 MASONRY = 596 S.F. = 50%
 OTHER = 591 S.F.
 TOTAL = 1,187 S.F.
 LEFT ELEVATION:
 MASONRY = 504 S.F. = 52%
 OTHER = 467 S.F.
 TOTAL = 971 S.F.
 RIGHT ELEVATION:
 MASONRY = 504 S.F. = 52%
 OTHER = 467 S.F.
 TOTAL = 971 S.F.
TOTAL BUILDING
 MASONRY = 2,467 S.F. = 53%
 OTHER = 2,116 S.F.
 TOTAL = 4,583 S.F.



2 5-PLEX - LEFT - RUSTIC STREETSCAPE
 1/16" = 1'-0"



1 5-PLEX - FRONT - RUSTIC STREETSCAPE
 1/16" = 1'-0"

UPLANDS
 DATE: 05.02.2024

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

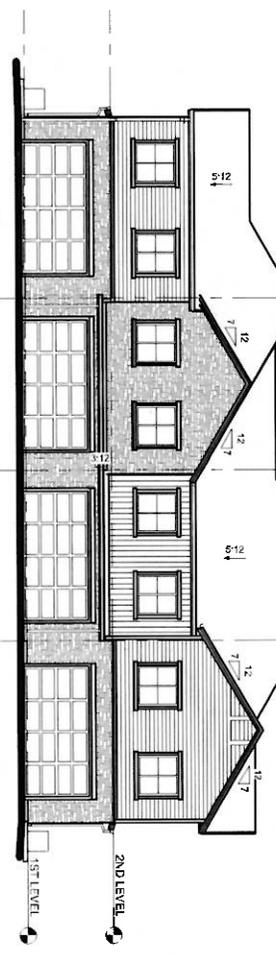
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 PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
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REFER TO COLOR BOOK
FOR MATERIAL
INFORMATION

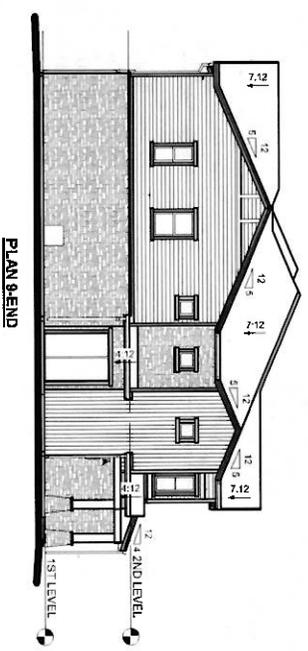
OFFICIAL DEVELOPMENT PLAN
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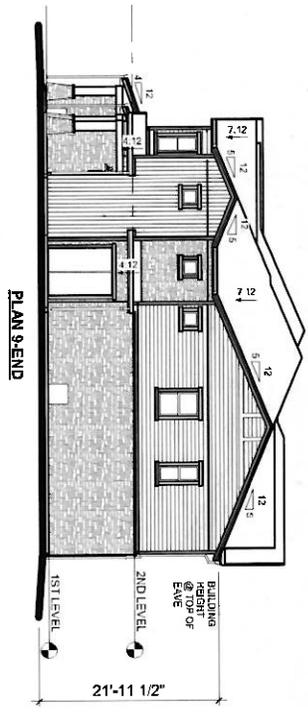
4 2 STORY 4-PLEX-B - REAR ELEVATION - RUSTIC
 3/32" = 1'-0"

4-PLEX - RUSTIC

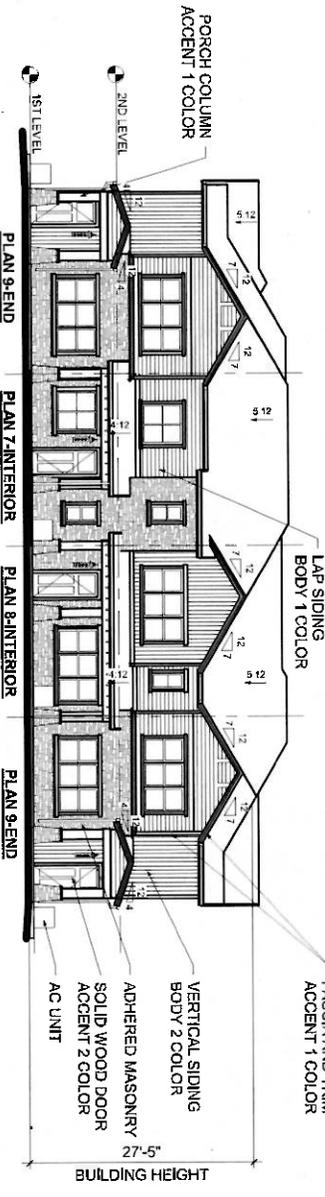
MASONRY PERCENTAGES:	
FRONT ELEVATION:	MASONRY = 639 S.F. = 54%
	OTHER = 534 S.F.
TOTAL = 1,173 S.F.	
REAR ELEVATION:	MASONRY = 519 S.F. = 53%
	OTHER = 448 S.F.
TOTAL = 968 S.F.	
LEFT ELEVATION:	MASONRY = 504 S.F. = 52%
	OTHER = 467 S.F.
TOTAL = 971 S.F.	
RIGHT ELEVATION:	MASONRY = 504 S.F. = 52%
	OTHER = 467 S.F.
TOTAL = 971 S.F.	
TOTAL BUILDING	MASONRY = 2,166 S.F. = 53%
	OTHER = 1,917 S.F.
	TOTAL = 4,083 S.F.



3 2 STORY 4-PLEX-B - LEFT ELEVATION - RUSTIC
 3/32" = 1'-0"



2 2 STORY 4-PLEX-B - RIGHT ELEVATION - RUSTIC
 3/32" = 1'-0"



1 2 STORY 4-PLEX-B - FRONT ELEVATION - RUSTIC
 3/32" = 1'-0"



DATE: 05.02.2024

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

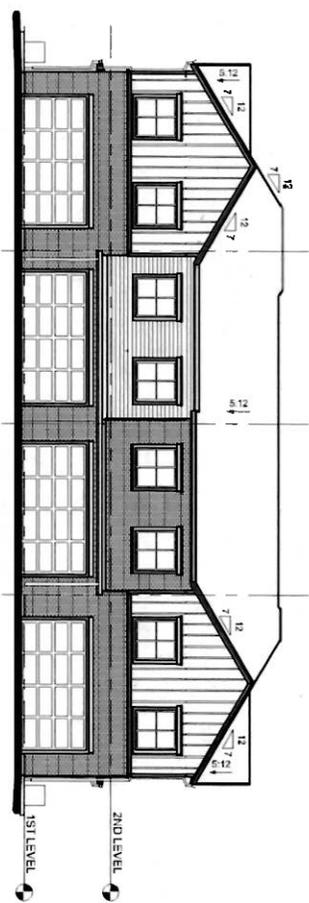
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

82 OF 107
 2 STORY 4-PLEX TOWNHOME
 RUSTIC ELEVATION

Goddard/Sudvik
 Architects
 303.455.4427
 www.goddardsudvik.com
 6975 Quebec Street
 Suite 250
 Centennial, CO 80111

REFER TO COLOR BOOK FOR MATERIAL INFORMATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 83 OF 107



4 2 STORY 4-PLEX-A - REAR ELEVATION - FARMHOUSE
 3/32" = 1'-0"

4-PLEX - FARMHOUSE

MASONRY PERCENTAGES:

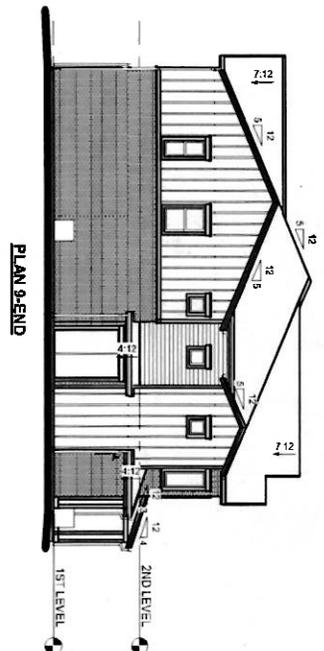
FRONT ELEVATION:
 MASONRY = 634 S.F. = 53%
 OTHER = 563 S.F.F.

REAR ELEVATION:
 MASONRY = 613 S.F. = 63%
 OTHER = 355 S.F.F.

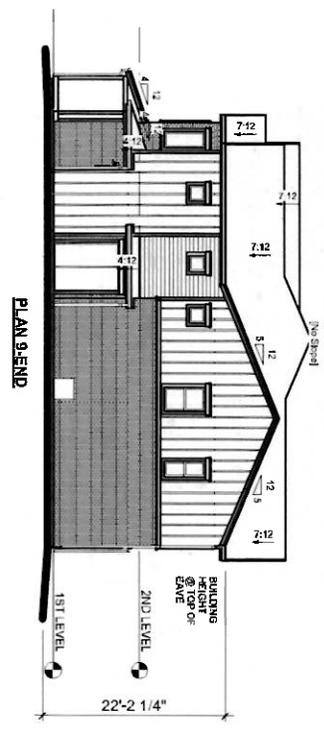
LEFT ELEVATION:
 MASONRY = 480 S.F. = 47%
 OTHER = 513 S.F.F.

RIGHT ELEVATION:
 MASONRY = 480 S.F. = 47%
 OTHER = 513 S.F.F.

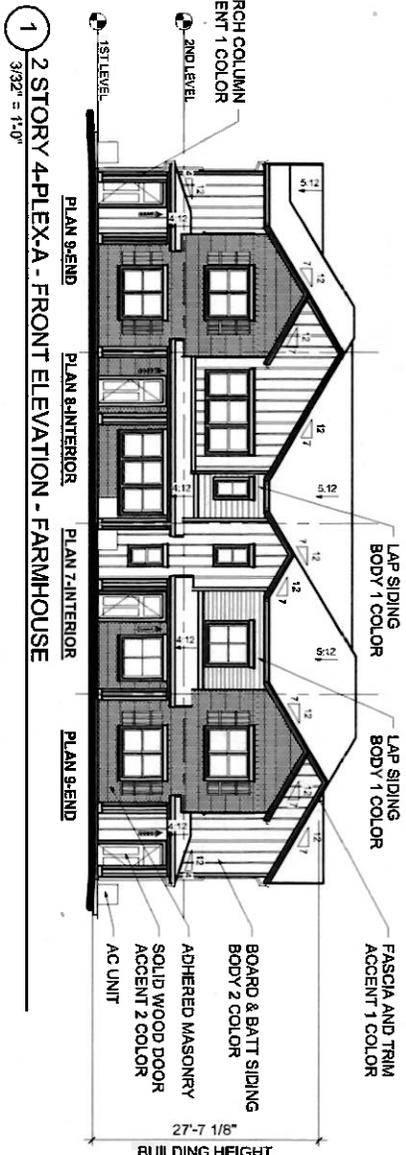
TOTAL BUILDING
 MASONRY = 2167 S.F. = 62%
 OTHER = 1,844 S.F.F.
 TOTAL = 4,111 S.F.F.



3 2 STORY 4-PLEX-A - LEFT ELEVATION - FARMHOUSE
 3/32" = 1'-0"



2 2 STORY 4-PLEX-A - RIGHT ELEVATION - FARMHOUSE
 3/32" = 1'-0"



1 2 STORY 4-PLEX-A - FRONT ELEVATION - FARMHOUSE
 3/32" = 1'-0"

PORCH COLUMN ACCENT 1 COLOR

BOARD & BATT SIDING

SOLID WOOD DOOR

ADHERED MASONRY

AC UNIT

LAP SIDING BODY 1 COLOR

FASCIA AND TRIM ACCENT 1 COLOR

BOARD & BATT SIDING

SOLID WOOD DOOR

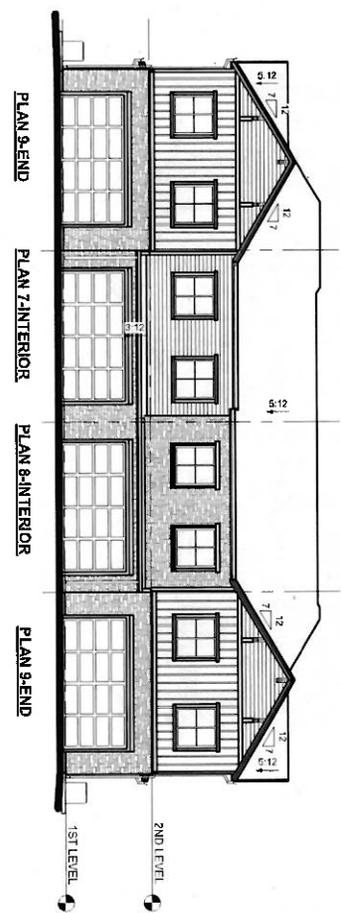
ADHERED MASONRY

AC UNIT

<p>83 OF 107</p> <p>2 STORY 4-PLEX TOWNHOME FARMHOUSE ELEVATION</p>	<p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> <p>REVISIONS</p> <p>SUB02: 03/07/24</p> <p>SUB03: 05/02/24</p>	<p>UPLANDS FILING NO. 1</p> <p>BLOCK 7</p> <p>OFFICIAL DEVELOPMENT PLAN</p> <p>WESTMINSTER, COLORADO</p>	<p>UPLANDS</p> <p>DATE: 05.02.2024</p>	<p>Goddard/Sudik ARCHITECTS</p> <p>303.453.4497</p> <p>www.goddardsudik.com</p> <p>3793 S. Conover Street</p> <p>Centennial, CO 80111</p>
	<p>REFER TO COLOR BOOK FOR MATERIAL INFORMATION</p>	<p>UPLANDS - FILING NO. 1 - BLOCK 7</p> <p>A PLANNED UNIT DEVELOPMENT</p> <p>IN THE CITY OF WESTMINSTER</p> <p>COUNTY OF ADAMS, STATE OF COLORADO</p> <p>SHEET 83 OF 107</p>	<p>4-PLEX - FARMHOUSE</p> <p>MASONRY PERCENTAGES:</p> <p>FRONT ELEVATION: MASONRY = 634 S.F. = 53% OTHER = 563 S.F.F.</p> <p>REAR ELEVATION: MASONRY = 613 S.F. = 63% OTHER = 355 S.F.F.</p> <p>LEFT ELEVATION: MASONRY = 480 S.F. = 47% OTHER = 513 S.F.F.</p> <p>RIGHT ELEVATION: MASONRY = 480 S.F. = 47% OTHER = 513 S.F.F.</p> <p>TOTAL BUILDING MASONRY = 2167 S.F. = 62% OTHER = 1,844 S.F.F. TOTAL = 4,111 S.F.F.</p>	<p>2 STORY 4-PLEX-A - REAR ELEVATION - FARMHOUSE</p> <p>3/32" = 1'-0"</p>

REFER TO COLOR BOOK
FOR EXTERIOR
FINISHES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 94 OF 107



4 2 STORY 4-PLEX-A - REAR ELEVATION - CRAFTSMAN
 3/32" = 1'-0"

4-PLEX - CRAFTSMAN

MASONRY PERCENTAGES:

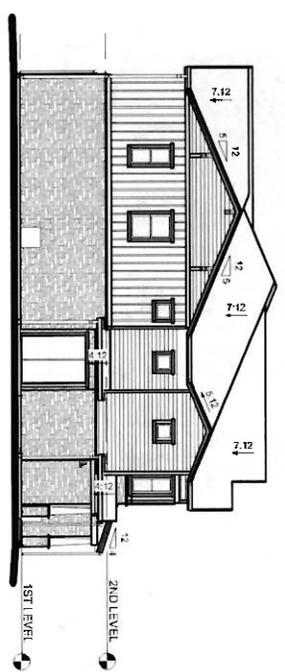
FRONT ELEVATION:
 MASONRY = 651 S.F. = 53%
 OTHER = 567 S.F.
 TOTAL = 1218 S.F.

REAR ELEVATION:
 MASONRY = 623 S.F. = 54%
 OTHER = 445 S.F.
 TOTAL = 968 S.F.

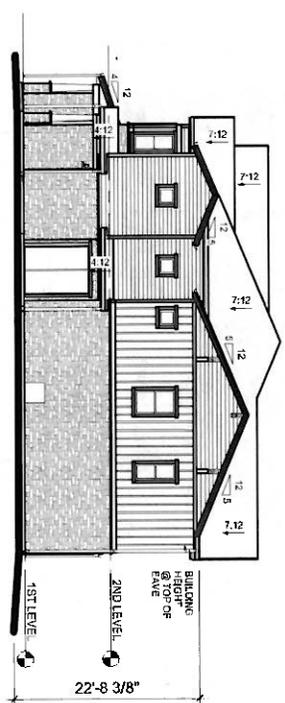
LEFT ELEVATION:
 MASONRY = 507 S.F. = 52%
 OTHER = 466 S.F.
 TOTAL = 973 S.F.

RIGHT ELEVATION:
 MASONRY = 507 S.F. = 52%
 OTHER = 466 S.F.
 TOTAL = 973 S.F.

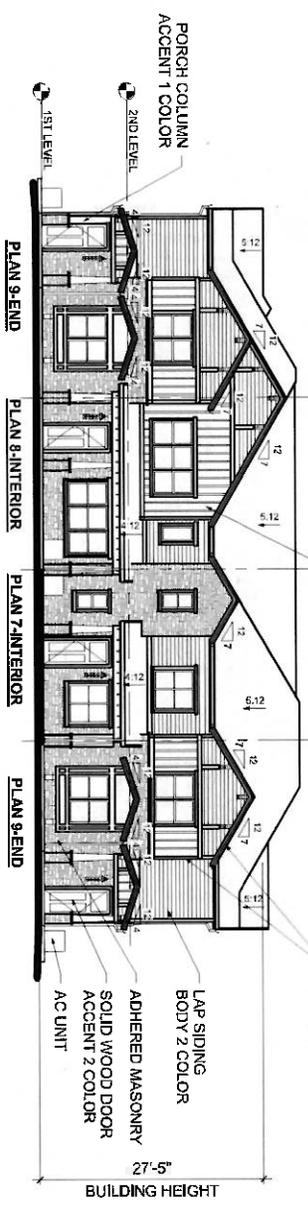
TOTAL BUILDING
 MASONRY = 2188 S.F. = 52%
 OTHER = 1944 S.F.
 TOTAL = 4132 S.F.



3 2 STORY 4-PLEX-A - LEFT ELEVATION - CRAFTSMAN
 3/32" = 1'-0"



2 2 STORY 4-PLEX-A - RIGHT ELEVATION - CRAFTSMAN
 3/32" = 1'-0"



1 2 STORY 4-PLEX-A - FRONT ELEVATION - CRAFTSMAN
 3/32" = 1'-0"

UPLANDS

DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

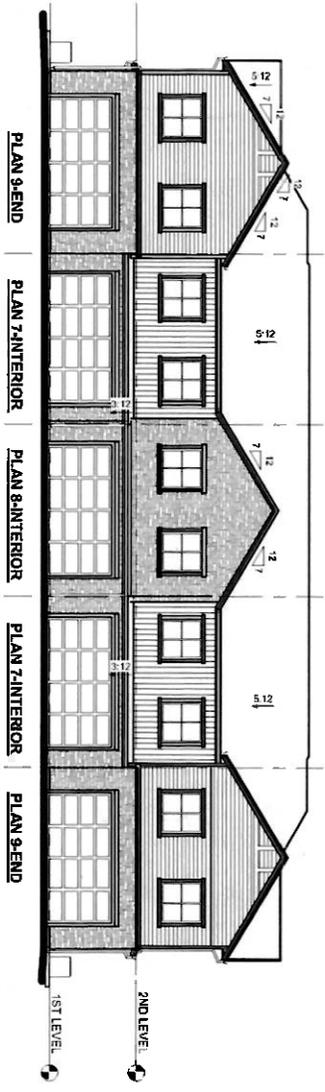
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

SUB02:	03/07/24
SUB03:	05/02/24

REFER TO COLOR BOOK FOR MATERIAL INFORMATION

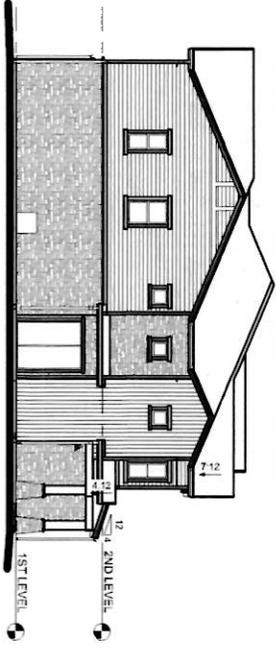
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 85 OF 107



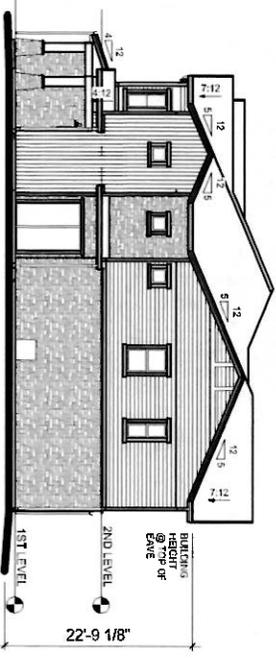
4 2 STORY 5-PLEX - REAR ELEVATION - RUSTIC
 3/32" = 1'-0"

5-PLEX - RUSTIC MASONRY PERCENTAGES:

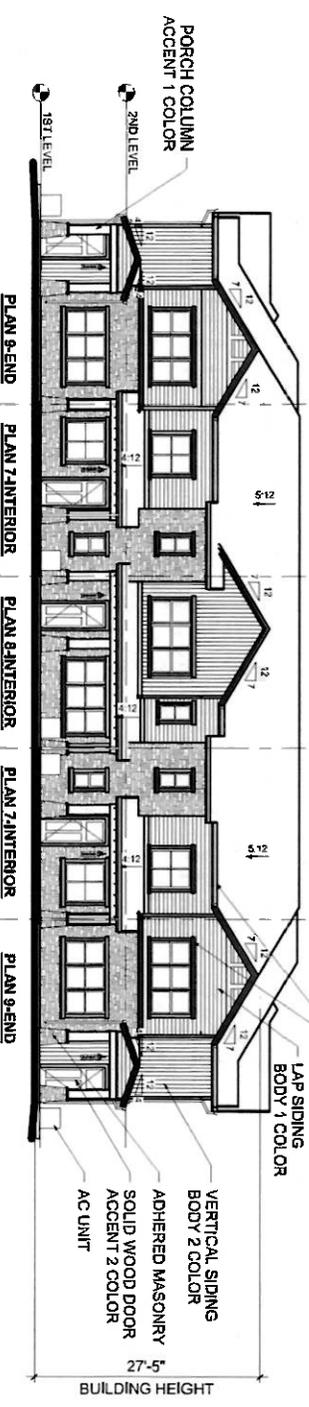
FRONT ELEVATION:	MASONRY = 863 S.F. = 59%
OTHER = 534 S.F.	TOTAL = 1,454 S.F.
REAR ELEVATION:	MASONRY = 598 S.F. = 50%
OTHER = 591 S.F.	TOTAL = 1,187 S.F.
LEFT ELEVATION:	MASONRY = 504 S.F. = 52%
OTHER = 467 S.F.	TOTAL = 971 S.F.
RIGHT ELEVATION:	MASONRY = 504 S.F. = 52%
OTHER = 467 S.F.	TOTAL = 971 S.F.
TOTAL BUILDING	MASONRY = 2,467 S.F. = 53%
OTHER = 2,148 S.F.	TOTAL = 4,383 S.F.



3 2 STORY 5-PLEX - LEFT ELEVATION - RUSTIC
 3/32" = 1'-0"



2 2 STORY 5-PLEX - RIGHT ELEVATION - RUSTIC
 3/32" = 1'-0"



1 2 STORY 5-PLEX - FRONT ELEVATION - RUSTIC
 3/32" = 1'-0"

UPLANDS

Godden/Studik Architects
 303.454.4327
 www.303.454.4327.com
 3775 S. Quebec Street
 Suite 220
 Centennial, CO 80111

DATE: 05.02.2024

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

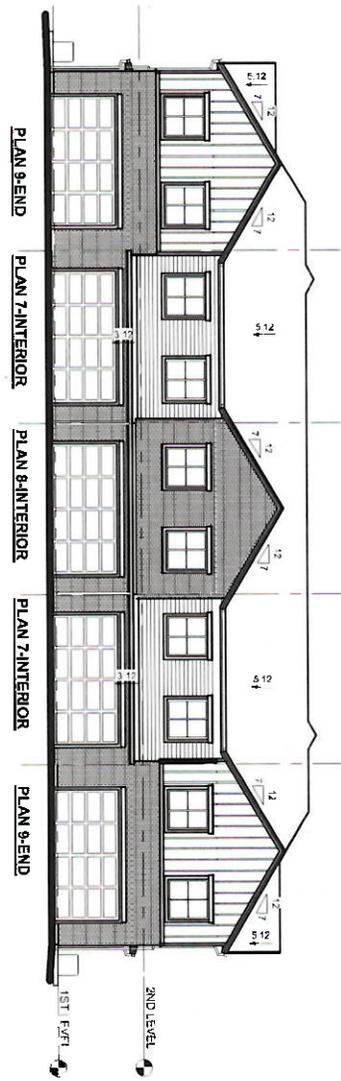
REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

85 OF 107
 2 STORY 5-PLEX TOWNHOME
 RUSTIC BEHAVIOR

REFER TO COLOR BOOK FOR MATERIAL INFORMATION.

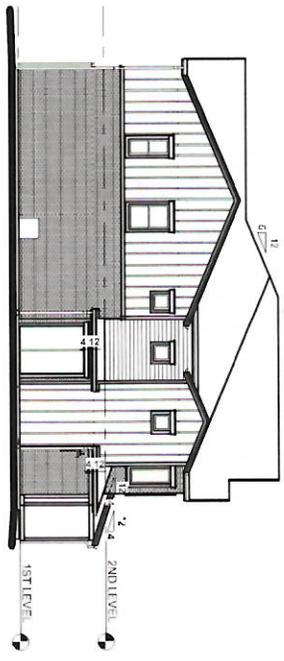
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 86 OF 107



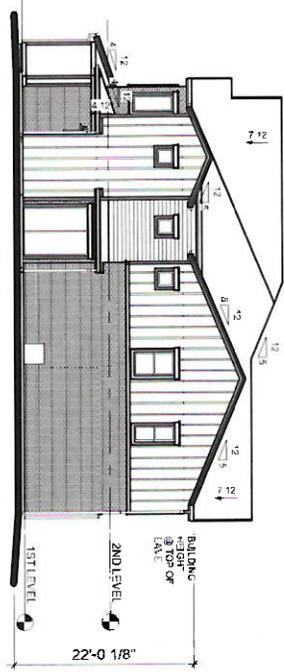
4 2 STORY 5-PLEX - REAR ELEVATION - FARMHOUSE
 3/32" = 1'-0"

5-PLEX - FARMHOUSE MASONRY PERCENTAGES:

FRONT ELEVATION	MASONRY = 634 S.F. = 53%
OTHER	= 563 S.F.
TOTAL	= 1,197 S.F.
REAR ELEVATION	MASONRY = 613 S.F. = 63%
OTHER	= 355 S.F.
TOTAL	= 968 S.F.
LEFT ELEVATION	MASONRY = 480 S.F. = 47%
OTHER	= 513 S.F.
TOTAL	= 993 S.F.
RIGHT ELEVATION	MASONRY = 480 S.F. = 47%
OTHER	= 513 S.F.
TOTAL	= 993 S.F.
TOTAL BUILDING	MASONRY = 2,167 S.F. = 52%
OTHER	= 1,944 S.F.
TOTAL	= 4,111 S.F.



3 2 STORY 5-PLEX - LEFT ELEVATION - FARMHOUSE
 3/32" = 1'-0"



2 2 STORY 5-PLEX - RIGHT ELEVATION - FARMHOUSE
 3/32" = 1'-0"



1 2 STORY 5-PLEX - FRONT ELEVATION - FARMHOUSE
 3/32" = 1'-0"

UPLANDS

Godwin|Sudik ARCHITECTS
 563 655 4487
 www.godwinsudik.com
 9755 Quincewood
 Suite 250
 Centennial, CO 80111

DATE: 05.02.2024

**UPLANDS FILING NO. 1
 BLOCK 7**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED 12.07.2023

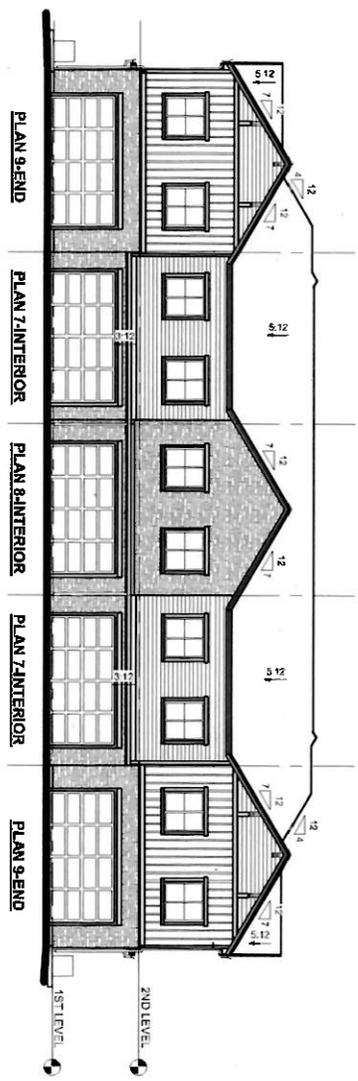
REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

86 OF 107
 2-STORY 5-PLEX CONDENSED FARMHOUSE ELEVATION

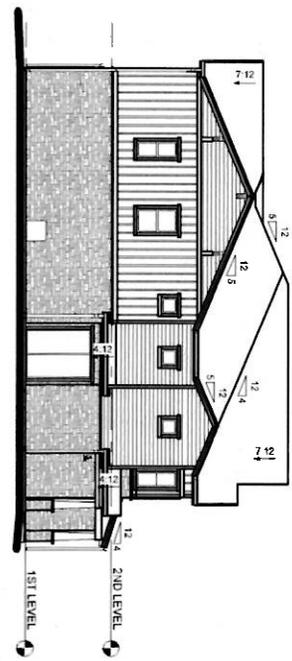
REFERS TO COLOR BOOK FOR MATERIAL INFORMATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 87 OF 107

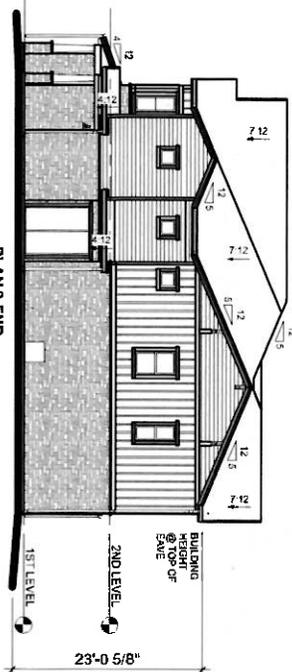


4 2 STORY 5-PLEX - REAR ELEVATION - CRAFTSMAN
 3/32" = 1'-0"

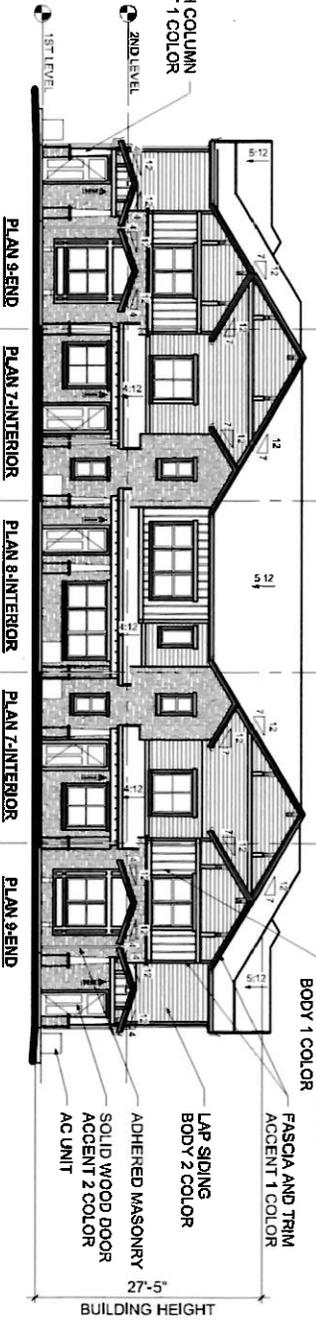
5-PLEX - CRAFTSMAN	MASONRY PERCENTAGES:
FRONT ELEVATION:	MASONRY = 724 S.F. = 51%
RIGHT ELEVATION:	MASONRY = 682 S.F.
REAR ELEVATION:	MASONRY = 587 S.F. = 43%
LEFT ELEVATION:	MASONRY = 345 S.F. = 36%
TOTAL BUILDING	MASONRY = 2,001 S.F. = 60%
	OTHER = 2,660 S.F.
	TOTAL = 4,661 S.F.



3 2 STORY 5-PLEX - LEFT ELEVATION - CRAFTSMAN
 3/32" = 1'-0"



2 2 STORY 5-PLEX - RIGHT ELEVATION - CRAFTSMAN
 3/32" = 1'-0"



1 2 STORY 5-PLEX - FRONT ELEVATION - CRAFTSMAN
 3/32" = 1'-0"

UPLANDS
 DATE: 05.02.2024

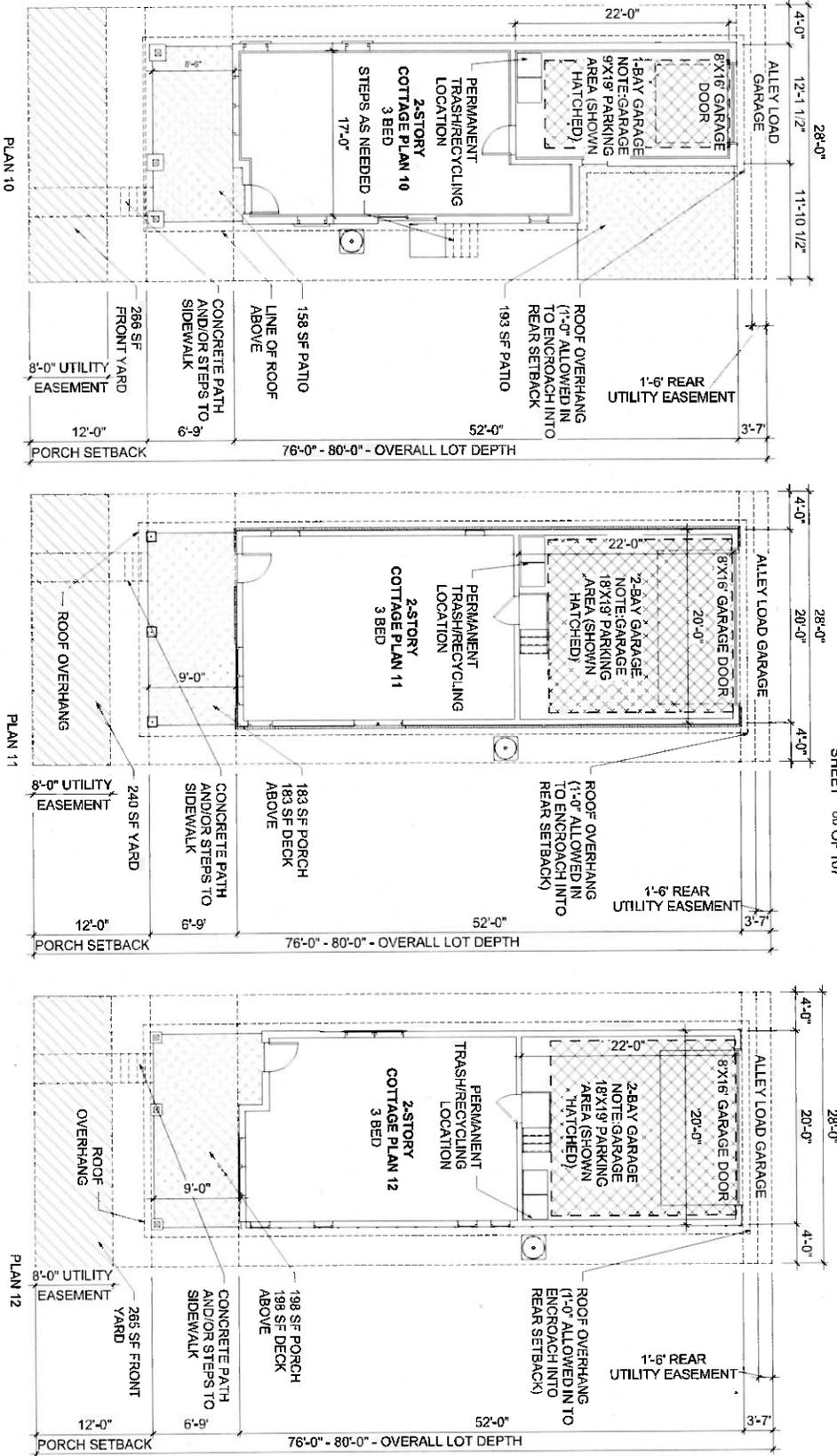
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 88 OF 107



SINGLE FAMILY COTTAGES LOT TYPICAL

SCALE: 1/8" = 1'-0"

PLAN 10	PLAN 11	PLAN 12
1,577 TOTAL SQ. FT.	1,805 TOTAL SQ. FT.	1,958 TOTAL SQ. FT.
158 SF FRONT PATIO	183 SF FRONT PATIO	198 SF PORCH
193 SF REAR PATIO	183 SF DECK	198 DECK
266 SF FRONT YARD	224 SF FRONT YARD	265 SF FRONT YARD
TOTAL OUTDOOR 617 SF	TOTAL OUTDOOR 590 SF	TOTAL OUTDOOR 661 SF

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
 4. ALL SFD & SEA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
 5. ALL SFD & SEA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
 6. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM
 7. ALL SFD HOMES WILL BE DESIGNED AS SOLAR READY
 8. ALL SFD UNITS ARE LIMITED TO THREE BEDROOMS MAXIMUM IN PERPETUITY

UPLANDS

GoddenSudik
 ARCHITECTS
 303.455.4487
 www.goddensudik.com
 9775 S. Quebec Street
 Suite 250
 Centennial, CO 80111

DATE: 05.02.2024

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

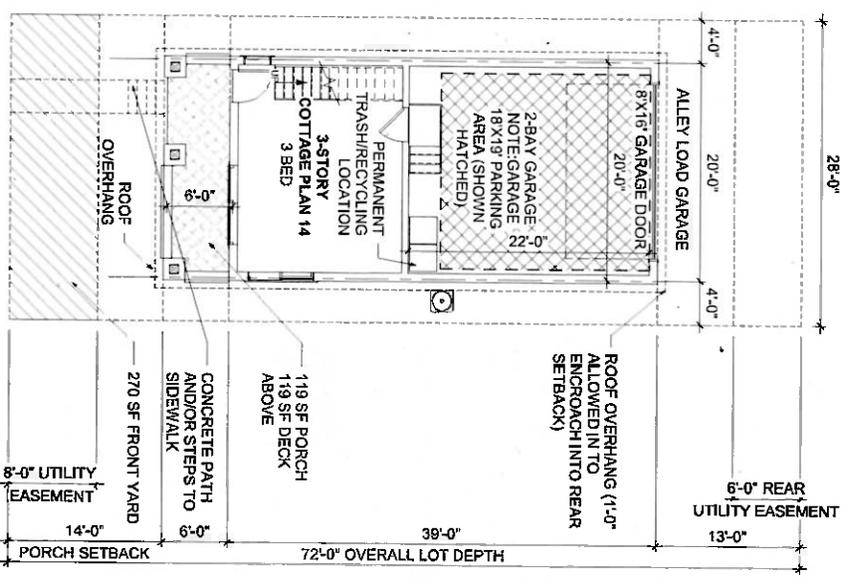
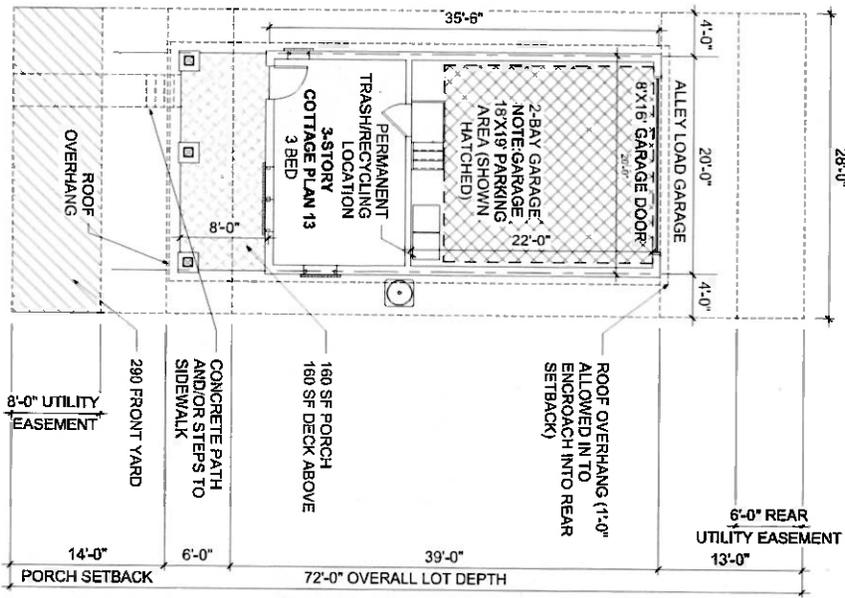
REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

88 OF 107
 COTTAGE LOT TYPICALS

UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 87 OF 107



SINGLE FAMILY COTTAGES LOT TYPICAL

PLAN 13
 PRAIRIE, SHINGLE AND BUNGALOW SIMILAR
 2,114 TOTAL SQ. FT.
 160 SF FRONT PORCH
 160 SF DECK
 290 SF YARD
 TOTAL OUTDOOR 610 SF

PLAN 14
 2,266 TOTAL SQ. FT.
 119 SF PORCH
 119 SF DECK
 270 SF YARD
 TOTAL OUTDOOR 508 SF

SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
 2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
 3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
 4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
 5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
 6. ALL HOMES WILL BE DESIGNED AS SOLAR READY
 7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM
 8. ALL SFA UNITS ARE LIMITED TO THREE BEDROOMS MAXIMUM IN PERPETUITY

89 OF 107	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
COTTAGE LOT TYPICALS	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



DATE: 05.02.2024

Goddard/Sudik
 ARCHITECTS
 303.453.4437
 www.goddsudik.com
 3753 S. Long Street
 Denver, CO 80111

ANTI-MONOTONY RULES

NO SINGLE FAMILY DWELLING UNIT OF THE SAME MODEL SHALL BE BUILT ON ADJACENT LOTS. NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.

NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS WHOSE FRONT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET. HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.

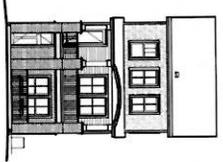
NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK / A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET.

FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.

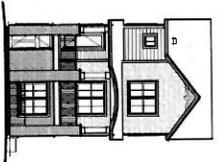
EXHIBIT WILL BE PROVIDED WITH FIRST PERMIT SUBMITTAL SHOWING PRE-PLAN OF TOWNHOMES, DUPLEXES AND SPD 3-STORY HOMES TO MEET ANTI-MONOTONY.

UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 90 OF 107



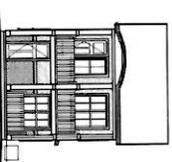
13 COTTAGE - PLAN 14 - SHINGLE STREETScape
1/16" = 1'-0"



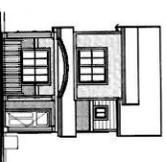
11 COTTAGE - PLAN 13 - SHINGLE STREETScape
1/16" = 1'-0"



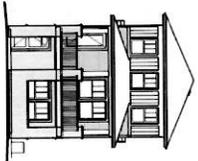
8 COTTAGE - PLAN 12 - SHINGLE STREETScape
1/16" = 1'-0"



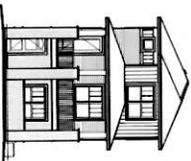
5 COTTAGE - PLAN 11 - SHINGLE STREETScape
1/16" = 1'-0"



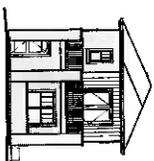
2 COTTAGE - PLAN 10 - SHINGLE STREETScape
1/16" = 1'-0"



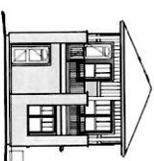
12 COTTAGE - PLAN 14 - PRAIRIE STREETScape
1/16" = 1'-0"



10 COTTAGE - PLAN 13 - PRAIRIE STREETScape
1/16" = 1'-0"



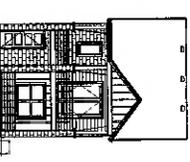
7 COTTAGE - PLAN 12 - PRAIRIE STREETScape
1/16" = 1'-0"



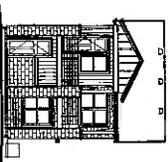
4 COTTAGE - PLAN 11 - PRAIRIE STREETScape
1/16" = 1'-0"



1 COTTAGE - PLAN 10 - PRAIRIE STREETScape
1/16" = 1'-0"



9 COTTAGE - PLAN 12 - BUNGALOW STREETScape
1/16" = 1'-0"



6 COTTAGE - PLAN 11 - BUNGALOW STREETScape
1/16" = 1'-0"



3 COTTAGE - PLAN 10 - BUNGALOW STREETScape
1/16" = 1'-0"

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



DATE: 05.02.2024

Goddard Sudrik
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Centennial, CO 80111

OFFICIAL DEVELOPMENT PLAN
PREPARED: 12.07.2023

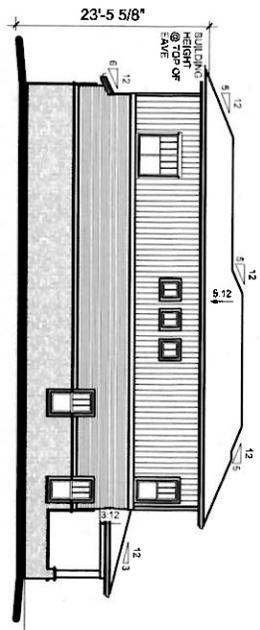
REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

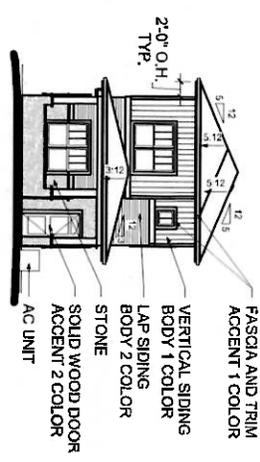
90 OF 107
COTTAGE STREETScape

REFERS TO COLOR BOOK FOR MATERIAL INFORMATION

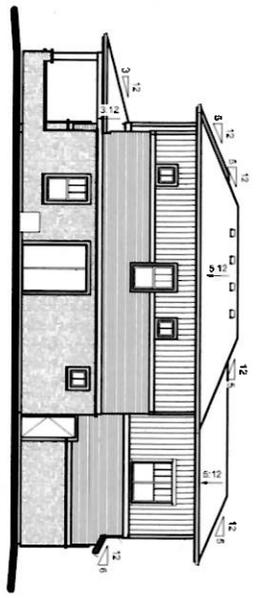
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 91 OF 107



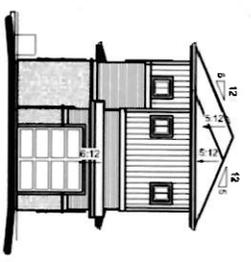
4 COTTAGE - PLAN 10 - PRAIRIE - LEFT ELEVATION
 3/32\" = 1'-0\"



2 COTTAGE - PLAN 10 - PRAIRIE - FRONT ELEVATION
 3/32\" = 1'-0\"
 34% MASONRY AT FRONT



3 COTTAGE - PLAN 10 - PRAIRIE - RIGHT ELEVATION
 3/32\" = 1'-0\"



1 COTTAGE - PLAN 10 - PRAIRIE - REAR ELEVATION
 3/32\" = 1'-0\"



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 www.goddertsudik.com
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 Suite 225
 Centennial, CO 80111

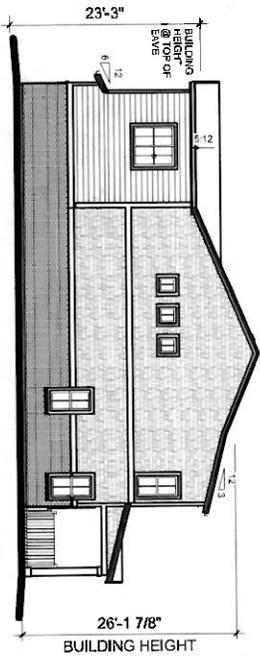
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

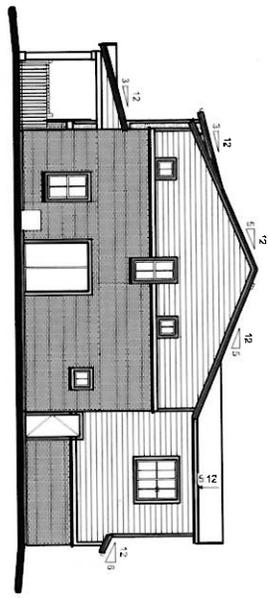
91 OF 107
 23107 COTTAGE - PLAN 10 - PRAIRIE ELEVATION

REFERS TO COLOR BOOK INFORMATION

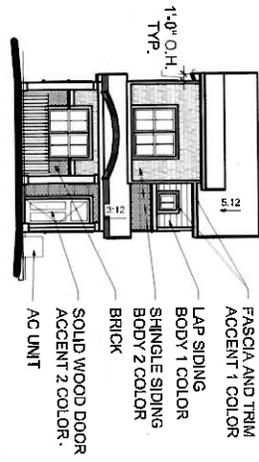
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 92 OF 107



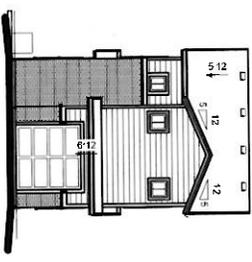
4 COTTAGE - PLAN 10 - SHINGLE - LEFT ELEVATION
 3/32" = 1'-0"



3 COTTAGE - PLAN 10 - SHINGLE - RIGHT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 10 - SHINGLE - FRONT ELEVATION
 3/32" = 1'-0"
 42% MASONRY AT FRONT



1 COTTAGE - PLAN 10 - SHINGLE - REAR ELEVATION
 3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	
92 OF 107	
2 STORY COTTAGE - PLAN 10 - SHINGLE REVISION	

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

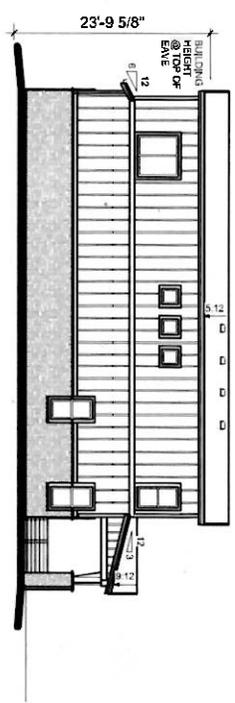
UPLANDS

DATE: 05.02.2024

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 3775 S. Holly St. #101
 Centennial, CO 80111

REFER TO COLOR BOOK FOR MATERIAL INFORMATION

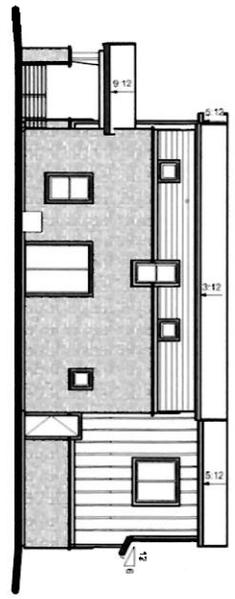
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 93 OF 107



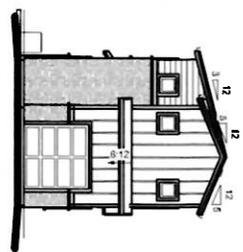
4 COTTAGE - PLAN 10 - BUNGALOW - LEFT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 10 - BUNGALOW - FRONT ELEVATION
 3/32" = 1'-0"
 40% MASONRY AT FRONT



3 COTTAGE - PLAN 10 - BUNGALOW - RIGHT ELEVATION
 3/32" = 1'-0"



1 COTTAGE - PLAN 10 - BUNGALOW - REAR ELEVATION
 3/32" = 1'-0"



DATE: 05.02.2024

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

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 ARCHITECTS
 4550 W. 104th
 SUITE 303, BLDG. 429
 WESTMINSTER, CO 80031
 303.435.4437
 9775 Quaker Street
 Suite 250
 Centennial, CO 80111

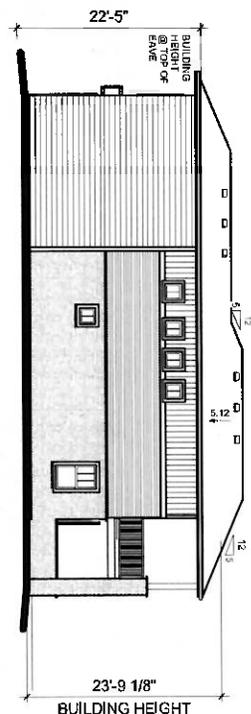
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

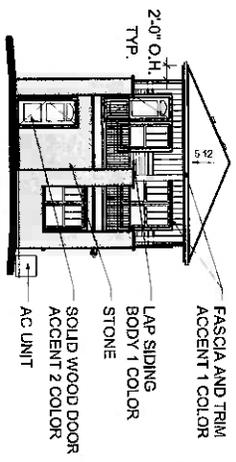
93 OF 107
 2 STORY COTTAGE - PLAN 10 -
 BUNGALOW ELEVATION

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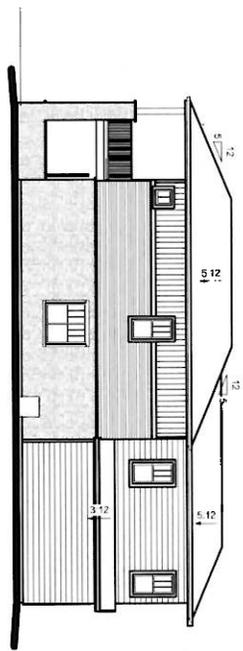
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 94 OF 107



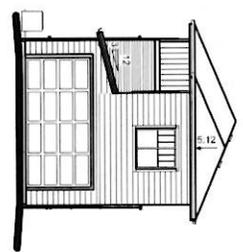
4 COTTAGE - PLAN 11 - PRAIRIE - LEFT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 11 - PRAIRIE - FRONT ELEVATION
 3/32" = 1'-0"
 50% MASONRY AT FRONT



3 COTTAGE - PLAN 11 - PRAIRIE - RIGHT ELEVATION
 3/32" = 1'-0"



1 COTTAGE - PLAN 11 - PRAIRIE - REAR ELEVATION
 3/32" = 1'-0"



DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

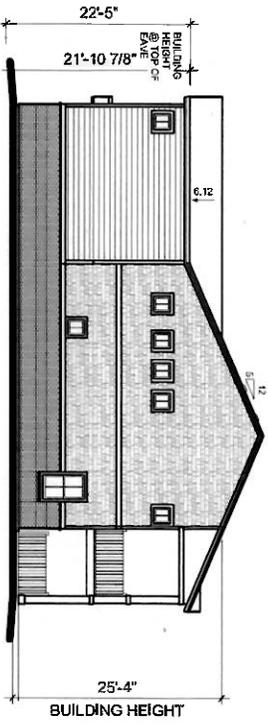
OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

94 OF 107
 3 STORY COTTAGE - PLAN 11 - PRAIRIE ELEVATION

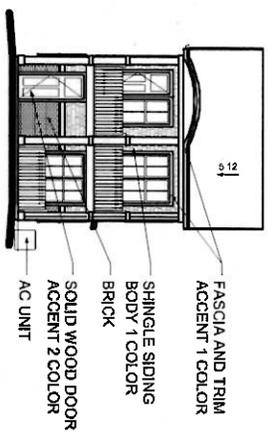
GoddardSudik
 ARCHITECTS
 303.455.4437
 www.goddardsudik.com
 8775 S. Quebec Street
 Suite 250
 Centennial, CO 80111

REFER TO COLOR BOOK FOR MATERIAL INFORMATION

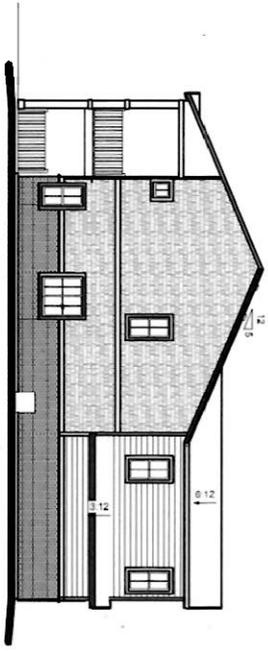
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 95 OF 107



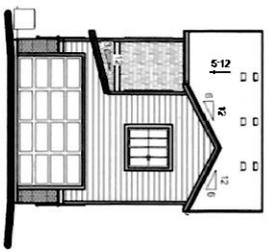
4 COTTAGE - PLAN 11 - SHINGLE - LEFT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 11 - SHINGLE - FRONT ELEVATION
 3/32" = 1'-0"
 3/4" MASONRY AT FRONT



3 COTTAGE - PLAN 11 - SHINGLE - RIGHT ELEVATION
 3/32" = 1'-0"



1 COTTAGE - PLAN 11 - SHINGLE - REAR ELEVATION
 3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
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SUB02: 03/07/24
SUB03: 05/02/24
95 OF 107
251 D87 COTTAGE - PLAN 11 - SHINGLE REVISION

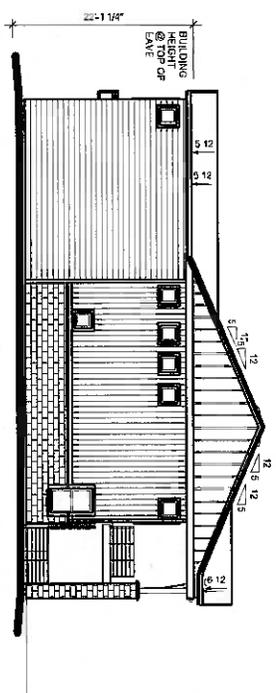
UPLANDS FILING NO. 1
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 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS
 DATE: 05.02.2024

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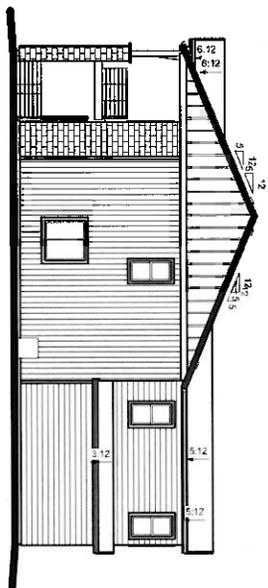
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 96 OF 107



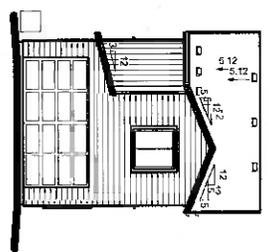
4 COTTAGE - PLAN 11 - BUNGALOW - LEFT ELEVATION
 3/32\"/>



2 COTTAGE - PLAN 11 - BUNGALOW - FRONT ELEVATION
 37% MASONRY AT FRONT
 3/32\"/>



3 COTTAGE - PLAN 11 - BUNGALOW - RIGHT ELEVATION
 3/32\"/>



1 COTTAGE - PLAN 11 - BUNGALOW - REAR ELEVATION
 3/32\"/>

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 Centennial, CO 80111



DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

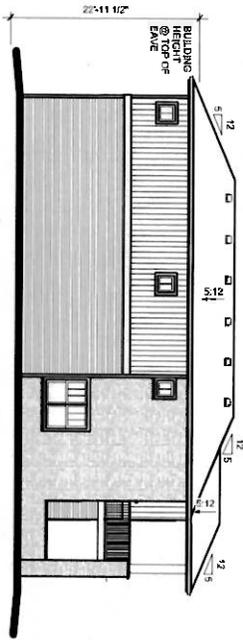
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

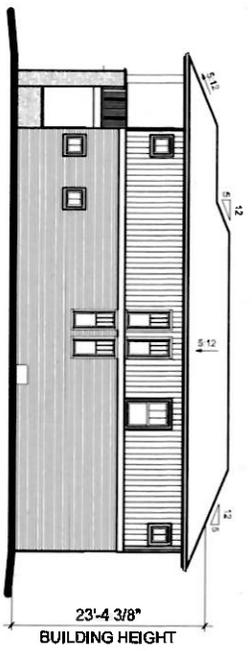
96 OF 107
 2407P COTTAGE - PLAN 11 -
 BUNGALOW ELEVATION

REFER TO COLOR BOOK
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INFORMATION

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 97 OF 107



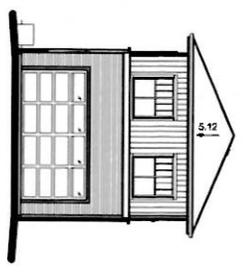
4 COTTAGE - PLAN 12 - PRAIRIE - LEFT ELEVATION
 3/32" = 1'-0"



3 COTTAGE - PLAN 12 - PRAIRIE - RIGHT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 12 - PRAIRIE - FRONT ELEVATION
 3/32" = 1'-0"
 64% MASONRY AT FRONT



1 COTTAGE - PLAN 12 - PRAIRIE - REAR ELEVATION
 3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	
97 OF 107	
2510BY COTTAGE - PLAN 12 - PRAIRIE REVISION	

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

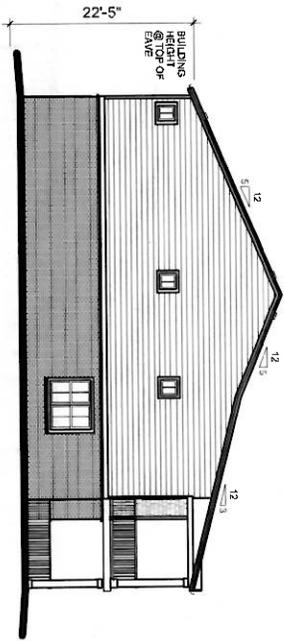
UPLANDS

DATE: 05.02.2024

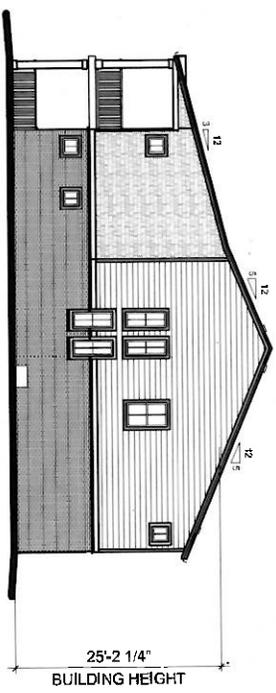
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 www.goddardsuckk.com
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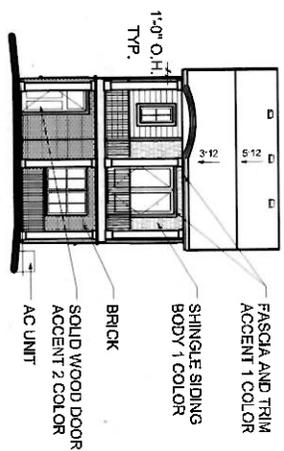
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 98 OF 107



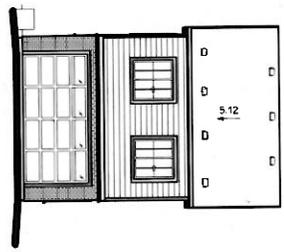
4 COTTAGE - PLAN 12 - SHINGLE - LEFT ELEVATION
 3/32" = 1'-0"



1 COTTAGE - PLAN 12 - SHINGLE - RIGHT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 12 - SHINGLE - FRONT ELEVATION
 3/32" = 1'-0"
 49% MASONRY AT FRONT



3 COTTAGE - PLAN 12 - SHINGLE - REAR ELEVATION
 3/32" = 1'-0"

UPLANDS

DATE: 05.02.2024

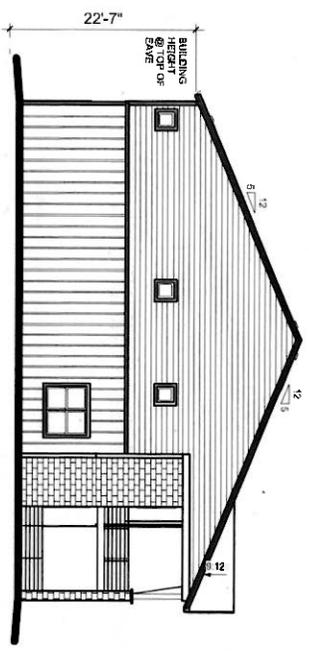
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**UPLANDS FILING NO. 1
 BLOCK 7**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

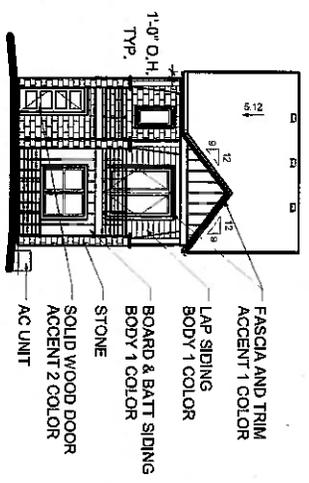
OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24
98 OF 107 2STORY COTTAGE - PLAN 12 - SHINGLE REVISION

REFER TO OUR BOOK FOR MATERIAL INFORMATION

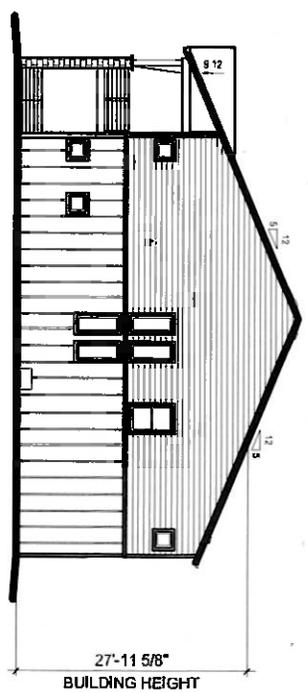
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 99 OF 107



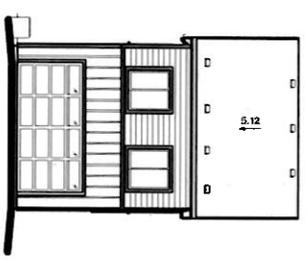
4 COTTAGE - PLAN 12 - BUNGALOW - LEFT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 12 - BUNGALOW FRONT ELEVATION
 3/32" = 1'-0"
 48% MASONRY AT FRONT



3 COTTAGE - PLAN 12 - BUNGALOW - RIGHT ELEVATION
 3/32" = 1'-0"



1 COTTAGE - PLAN 12 - BUNGALOW - REAR ELEVATION
 3/32" = 1'-0"

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24
99 OF 107
2-STOREY COTTAGE - PLAN 12 - BUNGALOW ELEVATION

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

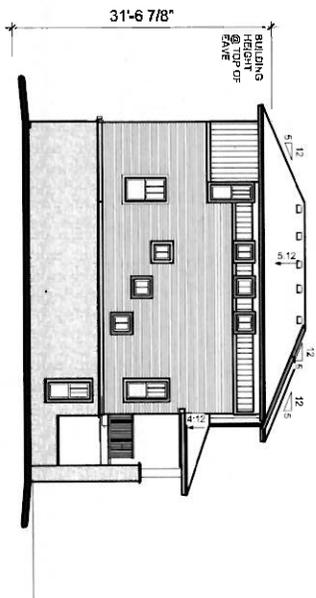
UPLANDS

DATE: 05.02.2024

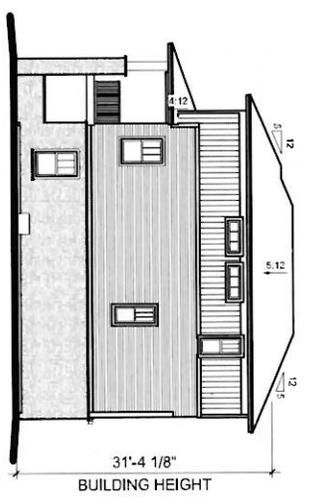
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 303.435.4437
 www.goddensudik.com
 3775.04555e.11661
 Centennial, CO 80111

REFER TO COLOR BOOK FOR MATERIAL INFORMATION

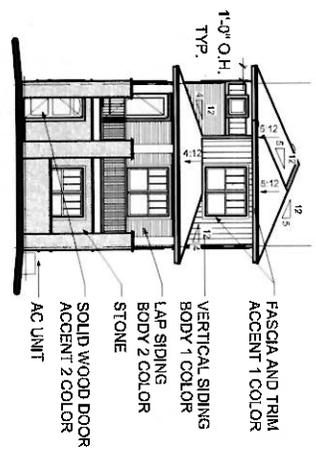
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 100 OF 107



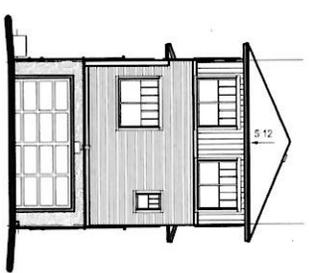
4 COTTAGE - PLAN 13 - PRAIRIE - LEFT ELEVATION
 3/32" = 1'-0"



3 COTTAGE - PLAN 13 - PRAIRIE - RIGHT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 13 - PRAIRIE - FRONT ELEVATION
 3/32" = 1'-0"
 39% MASONRY AT FRONT



1 COTTAGE - PLAN 13 - PRAIRIE - REAR ELEVATION
 3/32" = 1'-0"

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 303.455.4437
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 5775 S. Quebec Street
 Suite 250
 Centennial, CO 80111



DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

100 OF 107
 3RD OF COTTAGE - PLAN 13 - PRAIRIE REVISED

REFER TO COLOR BOOK FOR MATERIAL INFORMATION

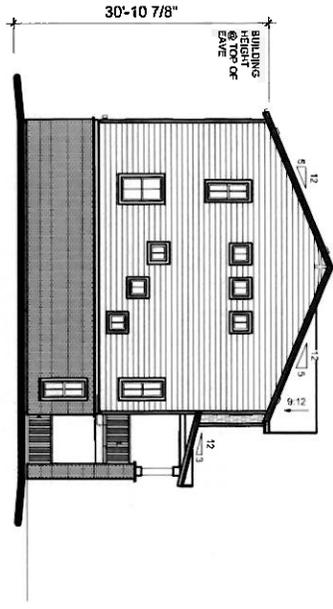
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 101 OF 107

G
 GoddenSudik
 ARCHITECTS
 303.455.4437
 www.goddensudik.com
 5975 S. Quebec Street
 Suite 250
 Centennial, CO 80111

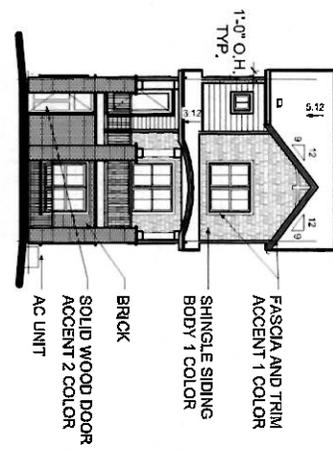
UPLANDS

DATE: 05.02.2024

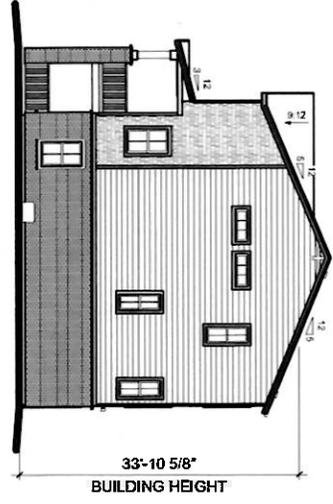
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



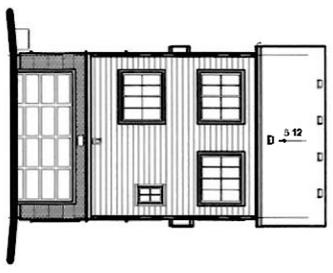
4 COTTAGE - PLAN 13 - SHINGLE - LEFT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 13 - SHINGLE - FRONT ELEVATION
 3/32" = 1'-0"
 34% MASONRY AT FRONT



3 COTTAGE - PLAN 13 - SHINGLE - RIGHT ELEVATION
 3/32" = 1'-0"



1 COTTAGE - PLAN 13 - SHINGLE - REAR ELEVATION
 3/32" = 1'-0"

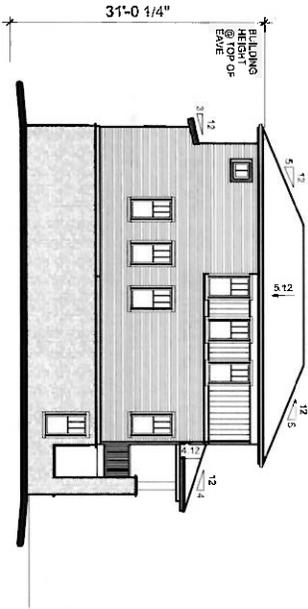
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

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SUB03: 05/02/24

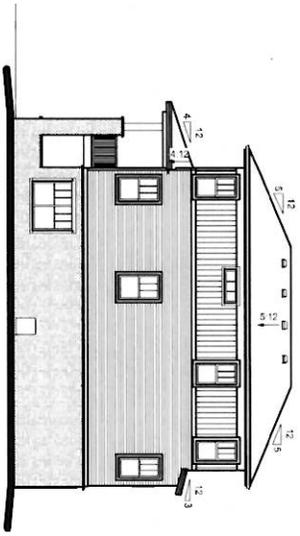
101 OF 107
 3-SD01 COTTAGE - PLAN 13 - SHINGLE ELEVATION

REFER TO BOOK AS BOOK FOR MATERIAL INFORMATION

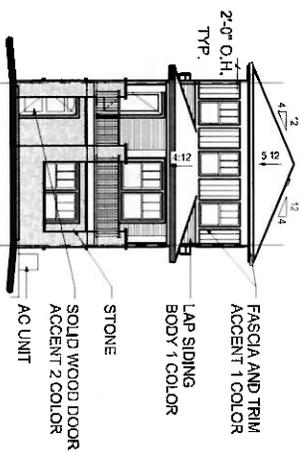
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 1020F 107



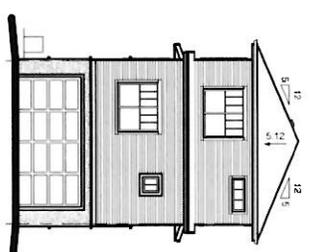
4 COTTAGE - PLAN 14 - PRAIRIE - LEFT ELEVATION
 3/32" = 1'-0"



3 COTTAGE - PLAN 14 - PRAIRIE - RIGHT ELEVATION
 3/32" = 1'-0"



2 COTTAGE - PLAN 14 - PRAIRIE - FRONT ELEVATION
 45% MASONRY AT FRONT
 3/32" = 1'-0"



1 COTTAGE - PLAN 14 - PRAIRIE - REAR ELEVATION
 3/32" = 1'-0"



DATE: 05.02.2024

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SUB02: 03/07/24
SUB03: 05/02/24

1020F 107
 3-SIDED COTTAGE - PLAN 14 - PRAIRIE ELEVATION

GoddardStuflik ARCHITECTS
 303.455.4487
 www.goddardstuflik.com
 3775 S. Quebec Street
 Suite 225
 Centennial, CO 80111

PLANNED UNIT 71

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
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Symbol	Label
●	SB
⊙	SL1
—	SS
⊚	SW

FOR SYMBOLS, LEGEND, ABBREVIATIONS, AND GENERAL DESCRIPTIONS, SEE LUMINAIRE SCHEDULE ON LIGHTING DETAILS SHEET (SHEET 107)

1
SITE LIGHTING PHOTOMETRIC
 SCALE: 1" = 100'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
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UPLANDS

DATE: 05.02.2024

STUDIO LIGHTING
 63 SUNSET DR.
 BALEY CO, CO 80521
 303.526.1372

104 OF 107
 PHOTOMETRIC

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UPLANDS - FILING NO. 1 - BLOCK 7
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 COUNTY OF ADAMS, STATE OF COLORADO
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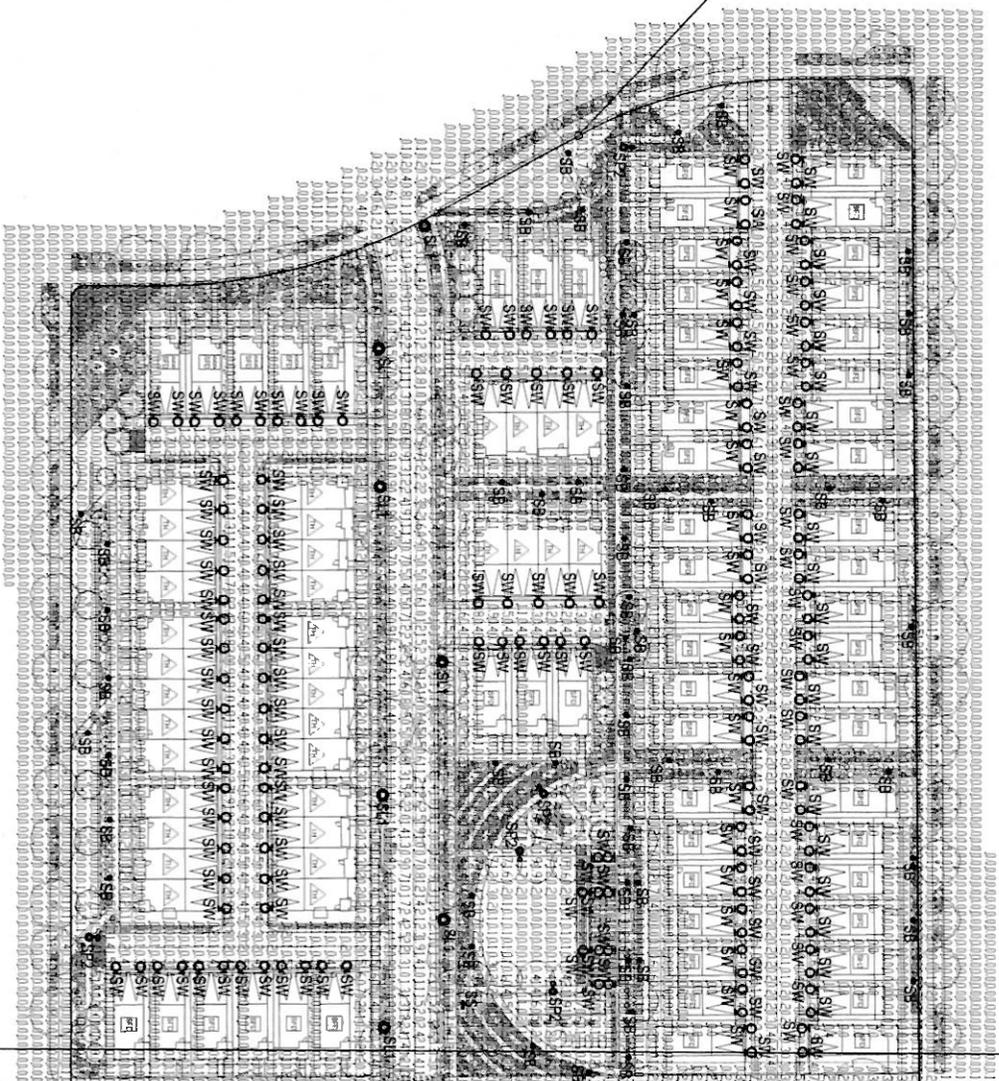
LIGHTING CALCULATION STATISTICS SUMMARY:					
OVERALL SITE:	AVERAGE	MAXIMUM	MINIMUM	MAXIMUM	AVERAGE
LOCAL STREETS:	1.3fc	2.6fc	0.4fc	NA	NA
				6.5-1	3.3-1

FOR SYMBOLS, LEGEND, ABBREVIATIONS, AND GENERAL DESCRIPTIONS, SEE LUMINAIRE SCHEDULE ON LIGHTING DETAILS SHEET (SHEET 107)



1 SITE LIGHTING PHOTOMETRIC
 SCALE: 1" = 60'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE
 - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
 - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED.
 - PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS



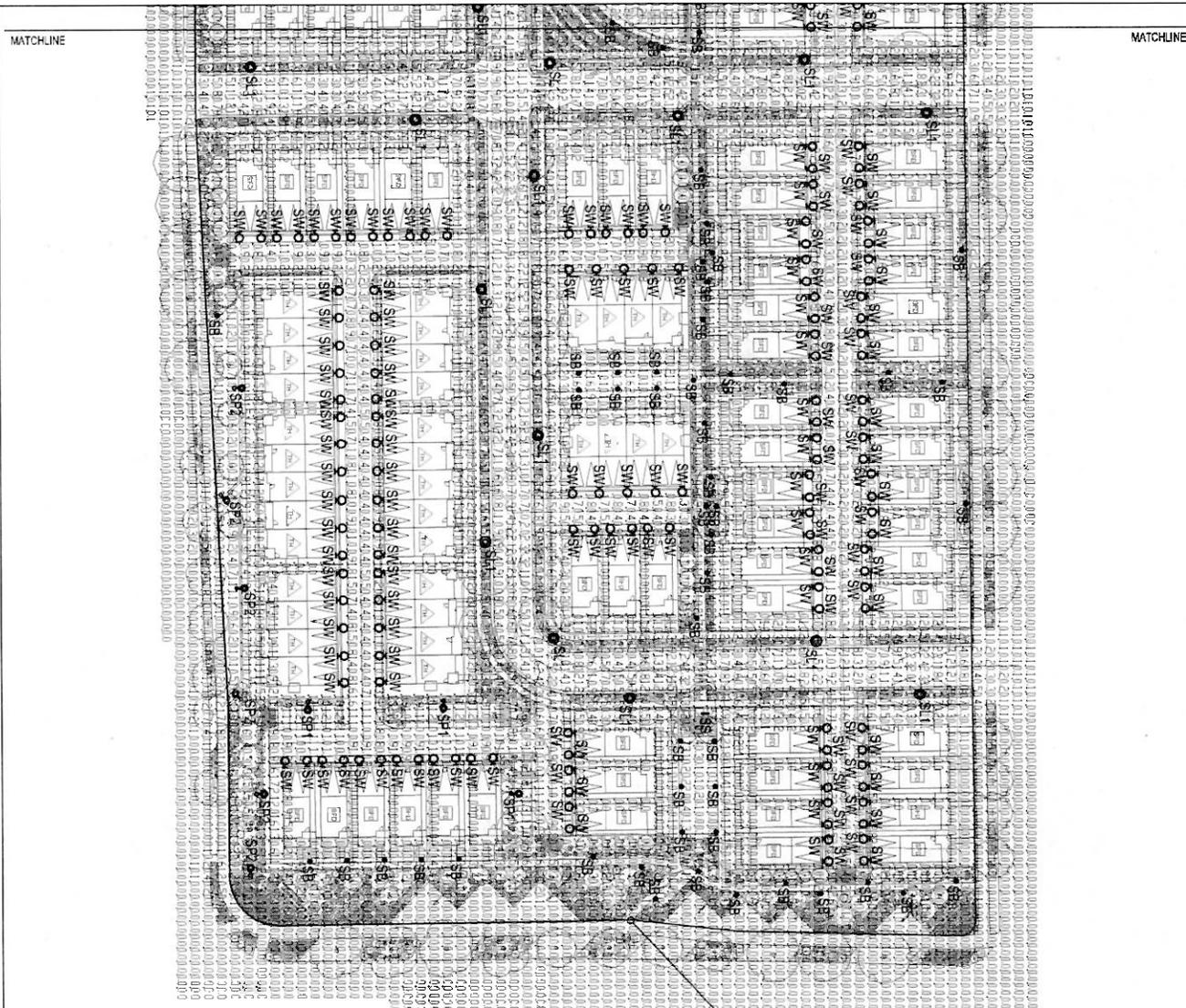
UPLANDS

DATE: 05.02.2024

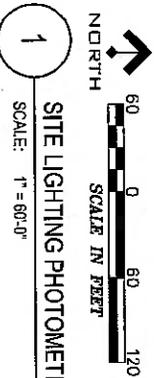
UPLANDS FILING NO. 1
BLOCK 7
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105 OF 107 PHOTOMETRIC	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
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FOR SYMBOLS, LEGEND, ABBREVIATIONS, AND GENERAL DESCRIPTIONS, SEE LUMINAIRE SCHEDULE ON LIGHTING DETAILS SHEET (SHEET 107)



1 SITE LIGHTING PHOTOMETRIC

- PHOTOMETRY PLAN GENERAL NOTES:
1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
 3. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
 4. THERE WILL BE NO OFF-SITE GLARE ALLOWED. ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED.
 5. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

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 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

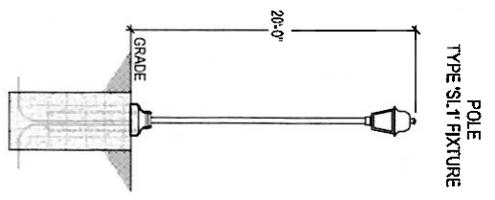
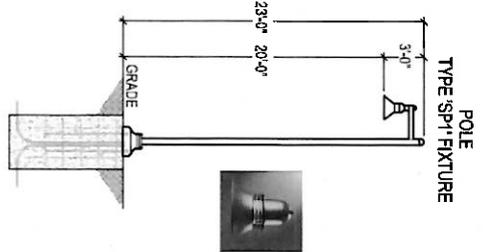
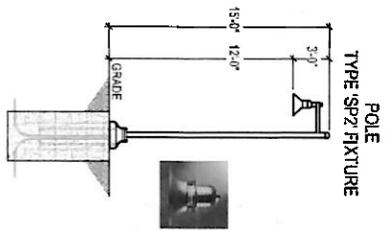
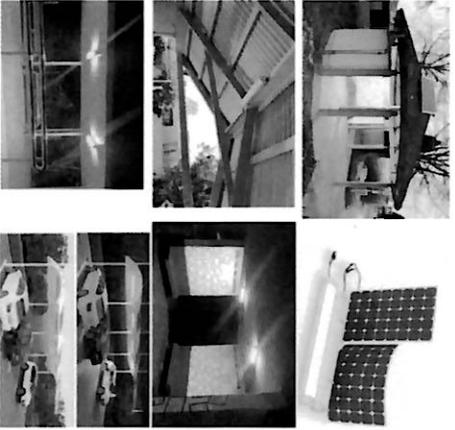
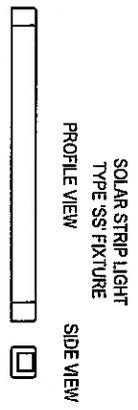
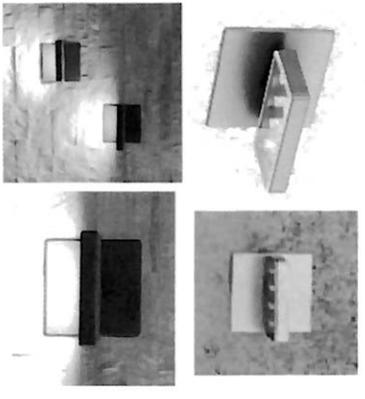
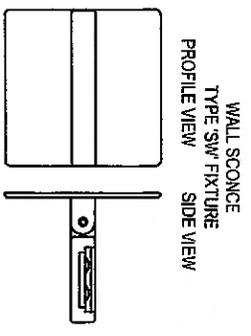
UPLANDS

DATE: 05.02.2024

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UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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LUMINAIRE SCHEDULE

Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LFE	Watts	SHIELDING
●	SB	BOLLARD WALKWAYS	3'-0" AFG	BLACK	INVUE ABB-B1-LED-36-D1- A-BK	LED	1.00	11W	FULL CUTOFF
◎	SL1	STREETLIGHT LOCAL STREETS	20'-0" AFG	BLACK	GE EFS1-02-06-B-40- X-A-BLCK	LED	0.70	54W	FULL CUTOFF
⊙	SP1	SITE POLE PARKING LOTS	20'-0" AFG	BLACK	INVUE EMW-E02-LED-E1-12- SR-SN-BK-7030-VAG109	LED	1.00	52W	FULL CUTOFF
⊙	SP2	SITE POLE WALKWAYS	12'-0" AFG	BLACK	INVUE EMW-E01-LED-E1-12- SR-SN-BK-7030-VAG109	LED	1.00	25W	FULL CUTOFF
—	SS	SOLAR STRIP LIGHT MAIL KIOSKS	10'-0" AFG	WHITE	SOLAR PATH- SP-XL-A-1-X-12W-3- 30K-X-WH-X	LED	1.00	12W	FULL CUTOFF
⊙	SW	WALL SCIENCE ENTRIES & PERGOLA	8'-0" AFG	BLACK	LUMINAIRE 3033W1-LED81-3000- UNV-T4-DIM10-BK	LED	1.00	8.5W	FULL CUTOFF



UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



DATE: 05.02.2024

STUDIO LIGHTING
 SALEY, JOHNSON
 303.223.9372



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

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 LIGHTING

