

LEGAL DESCRIPTION
FINAL PLAT FOR BLOCK 7 OF UPLANDS FILING NO. 1, SECOND
COUNTY OF ADAMS, STATE OF COLORADO
CITY OF WESTMINSTER,

SURVEYOR'S CERTIFICATE
I, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PROJECT TEAM
PROPERTY OWNER/ APPLICANT: UPLANDS LLC
CHAD ELLINGTON
1480 HAMBOLDT STREET
DENVER, CO 80218
CHAD@UPLANDSDEV.COM

CIVIL ENGINEER: HR GREEN
RYAN LITTLETON
8310 S. VALLEY HIGHWAY, STE 300
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RLITTLETON@HGREEN.COM

PLANNER/LANDSCAPE ARCHITECT
NORRIS DESIGN
BRAD HAIGH
1101 BANNOCK ST.
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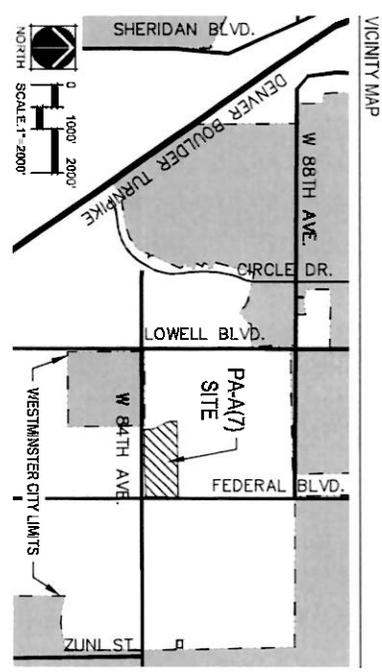
ARCHITECT: GODDEN SUDIK ARCHITECTS
PAUL BRADY
5975 SOUTH QUEBEC ST., STE 280
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DEVELOPMENT TIMING & PHASING
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

PERMITTED / PROHIBITED USES

- PERMITTED USES**
- SINGLE-FAMILY ATTACHED (PAIRED & TOWNHOME) RESIDENCES
 - SINGLE-FAMILY DETACHED RESIDENCES
 - PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES, PARKS AND OPEN SPACE
 - TEMPORARY SALES OFFICE AND PARKING LOT
 - TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE
- PROHIBITED USES**
- ACCESSORY STRUCTURES, NO ACCESSORY STRUCTURES WILL BE ALLOWED ON PRIVATE LOTS.
 - ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE REVIEWED AND APPROVED VIA AN ODP AMENDMENT.
- REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE NOT PROPOSED WITH THIS ODP.

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 107



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

| ADJACENT | ZONING | LAND USE | COMP. PLAN |
|----------|--------|--------------------------|-------------------------|
| P.A-N(7) | PUD | VACANT | MIXED USE NEIGHBORHOOD |
| NORTH | PUD | VACANT | MIXED USE NEIGHBORHOOD |
| SOUTH | R-1 | SINGLE-FAMILY RESIDENCES | RESIDENTIAL LOW DENSITY |
| EAST | C-1 | COMMERCIAL BUSINESSES | COMMERCIAL |
| WEST | PUD | VACANT | MIXED USE NEIGHBORHOOD |

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OWNER APPROVAL
I, AS _____ A _____ PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____ 20____.

UPLANDS LLC
A DELAWARE LIMITED LIABILITY COMPANY

BY: VP FINDES 2 HOLDINGS LLC
A DELAWARE LIMITED LIABILITY COMPANY,
ITS SOLE MEMBER

BY: VARDÉ PARTNERS, INC.
A DELAWARE CORPORATION, ITS MANAGER

NAME: _____
BY: _____
ITS: _____

CITY APPROVAL
APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____ 20____.

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____ 20____.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____ 20____ AT _____ O'CLOCK _____ M.

ADAMS COUNTY CLERK AND RECORDER _____

BY DEPUTY CLERK _____

**UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

UPLANDS
DATE: 05.02.2024

| | |
|---|---------------------------|
| <p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> <p>REVISIONS</p> <p>SUB02: 03/07/24</p> <p>SUB03: 05/02/24</p> | <p>1 OF 107 COVER</p> |
|---|---------------------------|

(continued)

**OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7**
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 107

| LOTS & COVERAGE | | AREA (SF) | % OF SITE |
|--|--|-----------|-----------|
| SURFACE TYPE WITHIN UPLANDS PAA(7) | | 181,014 | 25% |
| BUILDING AREA | | 288,623 | 40% |
| PAVING (ALLEYS, WALKS, ROADS, DRIVEWAYS) | | 260,091 | 36% |
| LANDSCAPE AREA | | (32,972) | (4%) |
| PUBLICLY ACCESSIBLE PRIVATE PARK AREA* | | 0 | 0% |
| PLD AREA | | 811,887 | 100% |
| GROSS TOTAL AREA* | | 729,734 | 100% |

*GROSS AREA REFERS TO PDP/MODP PLANNING AREA ACRESSES; NET AREA REFERS TO PLATTED BLOCK ACREAGE.
*LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY ACCESSIBLE PRIVATE PARK, WHICH IS NOT SEPARATELY INCLUDED IN TOTALS.

| PROJECT / SITE DATA | |
|----------------------------------|-----------------------|
| GROSS PAA(7) ODP BOUNDARY AREA: | 811,087 SF / 18,62 AC |
| NET PAA(7) ODP BOUNDARY AREA: | 729,734 SF / 16,75 AC |
| RESIDENTIAL UNITS PROPOSED | 180 UNITS |
| GROSS DU PER ACRE: | 9.87 DU/AC |
| NET DU PER ACRE: | 10.75 DU/AC |
| MAXIMUM BUILDING HEIGHT(S) (FT): | 34'-3" (RRC) |
| MINIMUM LOT SIZE: | 1,400 SF / 0.03 AC |

OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE

| UNIT TYPE | TOTAL UNITS IN ODP | DETACHED UNITS IN ODP | ATTACHED UNITS IN ODP | MULTIFAMILY UNITS IN ODP | TOTAL UNITS IN POP | TOTAL DETACHED UNITS IN POP (# / %) | TOTAL ATTACHED UNITS IN POP (# / %) | TOTAL MULTIFAMILY UNITS IN POP (# / %) |
|-----------|--------------------|-----------------------|-----------------------|--------------------------|--------------------|-------------------------------------|-------------------------------------|--|
| PAA(1) | 78 | 38 | 39 | 0 | 2350 | 38(1.66%) | 39(1.65%) | 0(0.0%) |
| PAA(2) | 135 | 25 | 110 | 0 | 2350 | 25(1.06%) | 110(4.69%) | 0(0.0%) |
| PAA(4) | 125 | 28 | 97 | 0 | 2350 | 28(1.19%) | 97(4.13%) | 0(0.0%) |
| PAA(5) | 166 | 63 | 73 | 0 | 2350 | 63(2.68%) | 73(3.10%) | 0(0.0%) |
| PAA(7) | 180 | 112 | 68 | 0 | 2350 | 112(4.77%) | 68(2.89%) | 0(0.0%) |
| PAA(1) | 82 | 38 | 44 | 0 | 2350 | 38(1.62%) | 44(1.87%) | 0(0.0%) |
| PAC(1) | 70 | 0 | 0 | 70 | 2350 | 0(0.0%) | 0(0.0%) | 70(2.98%) |
| PAC(2) | 247 | 0 | 0 | 247 | 2350 | 0(0.0%) | 0(0.0%) | 247(10.51%) |
| TOTAL: | 1083 | 335 | 437 | 317 | 2350 | 335(14.26%) | 431(18.34%) | 317(13.49%) |

| COMPLIANCE WITH MODP STANDARDS: | | REQUIRED | PROVIDED |
|---|--|--------------------|--------------------|
| BUILDING FORM DIVERSITY REQUIREMENTS | MIN ONE BUILDING FORM | N/A | TWO BUILDING FORMS |
| PERIMETER SENSITIVITY ZONE | N/A | N/A | N/A |
| HOME TYPE DIVERSITY (SFA MIN / SFD MAX) | 0% / 100% | 36% / 62% | 37% |
| SUBAREA A DIVERSITY* | SFA 0% MIN - 50% MAX SFD 50% MIN - 100% MAX | SFA 37% SFD 63% | SFA 39% SFD 81% |
| SUBAREA B DIVERSITY* | SFA 0% MIN - 50% MAX SFD 50% MIN - 100% MAX | SFA 37% SFD 63% | SFA 39% SFD 81% |

*SUBAREA DIVERSITY RANGES TAKEN FROM THE FIRST UPLANDS MODP AMENDMENT. PLAN 22-0090 APPROVED OCTOBER 2023.

PERIMETER SITE SETBACKS

| FROM RIGHT-OF-WAY (FT): | REQUIRED | PROVIDED |
|-------------------------|--------------------------------------|--------------------------------------|
| PAA(7) | 12 | 12 |
| W. 85TH AVENUE | 50 FT. (W/ MEWS) / 65 FT. (W/O MEWS) | 50 FT. (W/ MEWS) / 65 FT. (W/O MEWS) |
| FEDERAL BOULEVARD | 15 | 15 |
| W. 84TH AVENUE | 12 | 12 |

- NOTES:**
- SETBACKS ARE MEASURED FROM PERIMETER PROPERTY LINE, ROW, OR PLD (WHICHEVER IS APPLICABLE) TO PRIMARY BUILDING ENCROACHMENTS INCLUDING FENCES, WALLS, PEDESTRIAN-ORIENTED PORTIONS OF ROW (SUCH AS TREE LAWN AND WALL) AND ALLEYS ARE PERMITTED WITHIN ALL SETBACKS AS NOTED IN THE CHART ABOVE. PORCHES MAY ENROACH INTO PERIMETER SETBACKS BUT MUST COMPLY WITH LOT SETBACKS DEFINED ON SHEET 8.
 -
 -

ACCESSIBLE HOUSING

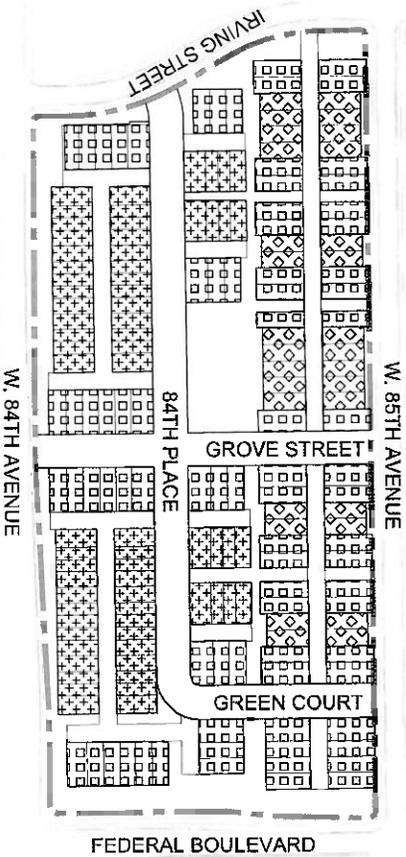
PER 2009 COLORADO STATE HOUSE BILL 03-1271, ARTICLE 5, STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 55-101 TO 55-106) A PROJECT SHALL BE ASSIGNED ACCESSIBILITY POINTS BASED ON THE NUMBER OF UNITS CONTAINED WITHIN THE PROJECT AS FOLLOWS:

| TOTAL # OF UNITS | POINTS REQUIRED | POINTS PROVIDED |
|------------------|-----------------|-----------------|
| 08 (TOTAL) | 30 | 30 |

| ACCESSIBLE UNITS PROVIDED | | |
|---------------------------|---------------------|-------------------------|
| UNIT TYPE | # OF UNITS PROVIDED | PER C.R.S. TOTAL POINTS |
| VISITABLE DWELLING UNIT | 30 | 30 |
| TOTAL | 30 | 30 |

SEE GRADING PLAN FOR LOCATIONS OF ACCESSIBLE UNITS.

BUILDING FORM DIVERSITY PLAN



- LEGEND**
- [Solid Box] SINGLE-FAMILY DETACHED 2-STORY (82)
 - [Cross-Hatch Box] SINGLE-FAMILY DETACHED 3-STORY (30)
 - [Grid Box] TOWNHOME (69)

**UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**



DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN
PREPARED: 12.07.2023

REVISIONS

| |
|-----------------|
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

**OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7**
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 107

PROJECT NOTES

PARK DEVELOPMENT FEES
A PARK DEVELOPMENT FEE WILL BE PROVIDED TO THE CITY OF WESTMINSTER IN ACCORDANCE WITH THE CITY OF WESTMINSTER CODE SECTION 11-6-9-C.

THE CITY CODE 11-6-9-C) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. SEE REQUIRED DOLLAR AMOUNT PER UNIT TYPE BELOW DUE TO THE CITY. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-9-C, THE PARK DEVELOPMENT FEE IS CALCULATED BASED UPON THE NUMBER OF DWELLING UNITS TO BE CONSTRUCTED AS FOLLOWS:

- SINGLE-FAMILY DETACHED (ALLEY LOADED) - \$2,378.00 PER UNIT
- SINGLE-FAMILY ATTACHED (ALLEY LOADED, TOWNHOMES) - \$1,934.00 PER UNIT
- FOR 88 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 712 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$397,848.00.

SCHOOL LAND DEDICATION

THE CITY CODE (11-6-6-F) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEES IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR THE DATE OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-6-G, THE SCHOOL LAND DEDICATION FEES ARE AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADUS)- \$978.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADUS)- \$468.00 PER UNIT
- FOR 88 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 712 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$129,936.00.

PUBLIC ART

RECOVERY COSTS
ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS

MAXIMUM DENSITY OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (S1-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO REVISION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 23392 ACRE COMMUNITY.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-6-B, A MINIMUM OF 12.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION OF THIS A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL PDP WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF EACH ODP.

PER THE CITY COVONAL CONDITIONS OF APPROVAL, UPLANDS HAS DEDICATED 4055 ACRES OF PHYSICAL LAND AND PROVIDED CASH-IN-LIEU FOR 21.99 ACRES. FOR A TOTAL OF 62.64 ACRES OF LAND. THIS DEDICATION IS BASED OFF A PROJECTED POPULATION OF 5220 PERSONS FOR THE ENTIRE UPLANDS PDP. IF FUTURE ODPS INCREASE THE PROJECTED POPULATION ABOVE 5220 PERSONS, ADDITIONAL CASH-IN-LIEU SHALL BE REQUIRED.

THE BELOW CHART NOTES THE PROJECTED POPULATION FOR UPLANDS BY PLANNING AREA FOR THE PURPOSE OF DETERMINING THE CASH-IN-LIEU PAYMENT DUE AT TIME OF FINAL PLAT. IN COMPLIANCE WITH PDP CONDITION OF APPROVAL 7, THE ODP PLD TRACKING TABLE WILL BE UPDATED WITH EACH ODP.

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

| PARCEL | PHYSICAL PLD ACRES REQUIRED | PLD ACRES DEDICATED PDP PL#22-0052 | PLD ACRES REMAINING | VIEW CORRIDOR ACRES REQUIRED | VIEW CORRIDOR ACRES DEDICATED PDP PL#22-0052 | VIEW CORRIDOR ACRES REMAINING |
|----------|-----------------------------|------------------------------------|---------------------|------------------------------|--|-------------------------------|
| PARCEL A | 21.00 AC | 21.00 AC | 0 AC | - | - | - |
| PARCEL B | 6.08 AC | 6.08 AC | 0 AC | 3.28 AC | 3.28 AC | 0 AC |
| PARCEL C | 3.00 AC | 3.00 AC | 0 AC | - | - | - |
| PARCEL D | 4.24 AC | 4.24 AC | 0 AC | 3.07 AC | 3.07 AC | 0 AC |
| PARCEL E | - | 0 | - | - | - | - |
| TOTAL | 34.30 AC | 34.30 AC | 0 AC | 6.35 AC | 6.35 AC | 0 AC |

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

| PLANNING AREA | LAND USE | GROSS AREA (AC) | % OF SITE | DENSITY RANGE (DU/AC) | MAX # OF UNITS | UNITS BY TYPE | | | PROJECTED POPULATION | | | % OF POPULATION | TOTAL PLD ACRES REQUIRED | PLD CASH-IN-LIEU ACRES | | | |
|---------------|--------------------------------------|-----------------|-----------|-----------------------|----------------|---------------|---------|------|----------------------|-------|------|-----------------|--------------------------|------------------------|---------|-------|-------|
| | | | | | | SFD | OR | SFA | OR | MF | SFD | | | | SFA | MF | |
| PA-A(1) | RESIDENTIAL | 22.24 | 9.51% | 40-5.6 | 124 | 49 | 33 | 0 | 147 | 82.5 | - | 1.58% | 2.75 | 0.35 | | | |
| PA-A(2) | RESIDENTIAL | 13.99 | 5.98% | 6.0-10.3 | 143 | 22 | 113 | 0 | 66 | 282.5 | - | 1.26% | 4.18 | 0.28 | | | |
| PA-A(3) | RESIDENTIAL | 20.21 | 8.65% | 5.5-7.0 | 141 | 40 | 89 | 0 | 120 | 222.5 | - | 2.30% | 4.11 | 0.51 | | | |
| PA-A(4) | RESIDENTIAL | 13.67 | 5.84% | 7.0-9.5 | 129 | 36 | 91 | 0 | 108 | 227.5 | - | 2.07% | 4.03 | 0.45 | | | |
| PA-A(5) | RESIDENTIAL | 18.20 | 7.78% | 8.0-5.9 | 172 | 94 | 85 | 0 | 292 | 162.5 | - | 5.40% | 5.33 | 1.19 | | | |
| PA-A(6) | RESIDENTIAL | 23.83 | 10.18% | 5.2-5.9 | 140 | 25 | 35 | 0 | 90 | 87.5 | 100 | 1.44% | 3.87 | 0.32 | | | |
| PA-A(7) | RESIDENTIAL / MIXED USE / COMMERCIAL | 18.62 | 7.96% | 8.0-10.3 | 191 | 180 | 0 | 0 | 540 | 0 | - | 10.34% | 6.48 | 2.27 | | | |
| PA-A(8) | MIXED USE / COMMERCIAL | 18.54 | 8.35% | 20.0-25.2 | 491 | 0 | 49 | 389 | 0 | 122.5 | 738 | 13.83% | 10.33 | 3.04 | | | |
| PA-B(1) | RESIDENTIAL | 16.28 | 6.98% | 4.15-5.0 | 82 | 42 | 40 | 0 | 126 | 100 | - | 1.92% | 2.71 | 0.42 | | | |
| PA-B(2) | RESIDENTIAL | 13.32 | 5.89% | 1.0-2.0 | 26 | 26 | 0 | 0 | 78 | - | - | 1.49% | 0.94 | 0.33 | | | |
| PA-C(1) | MIXED USE / COMMERCIAL | 16.32 | 6.98% | 15.0-22.7 | 370 | 0 | 0 | 370 | 0 | - | 740 | 14.18% | 8.88 | 3.12 | | | |
| PA-C(2) | RESIDENTIAL | 13.77 | 6.09% | 8.0-18.0 | 247 | 0 | 247 | 0 | 247 | - | 494 | 9.46% | 5.93 | 2.08 | | | |
| PA-D(1) | RESIDENTIAL | 19.80 | 8.58% | 4.0-4.8 | 94 | 47 | 47 | 0 | 141 | 117.5 | - | 2.70% | 3.10 | 0.58 | | | |
| PA-D(2) | OFFICE | 3.10 | 1.33% | - | 0 | 0 | 0 | 0 | 0 | - | - | - | 0.00 | 0.00 | | | |
| PA-E | PRIVATE OPEN SPACE | 1.23 | 0.53% | - | 0 | 0 | 0 | 0 | 0 | - | - | - | 0.00 | 0.00 | | | |
| | | | | | | 233.92 | 100.00% | 2350 | 561 | 562 | 1066 | 1683 | 1405 | 2132 | 100.00% | 62.64 | 21.99 |

NOTE: BOLDED PLANNING AREAS HAVE BEEN APPROVED WITH SPECIFIC UNIT COUNTS WHICH MAY DIFFER FROM THIS APPROVED CHART. SEE OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE ON SHEET 2 FOR PROPOSED AND APPROVED UNIT COUNTS.



UPLANDS

 DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023
REVISIONS
 SUB02: 03/07/24
 SUB03: 05/02/24
3 OF 107
SITE DATA

OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 107

OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

STANDARD STATEMENTS

STANDARD STATEMENTS, CONT.

- 1. THE GENERAL INTENT OF THIS ODP IS TO MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-3-3, OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-18 STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPS.
- 2. THE ODP CONTAINS 18.62 GROSS ACRES WITHIN UPLANDS FILING 1, BLOCK 7, PARCEL 1A, BOUNDED BY VACANT LAND WITHIN P&A TO THE NORTH AND WEST, COMMERCIAL BUSINESSES TO THE EAST, AND SINGLE-FAMILY RESIDENCES TO THE SOUTH.
- 3. THE ODP PROPOSES A TOTAL OF 112 SINGLE-FAMILY DETACHED 2-STORY AND 3-STORY HOMES AND 88 SINGLE-FAMILY ATTACHED TOWNHOMES. FOR A TOTAL OF 180 HOMES. THIS RESULTS IN A GROSS DENSITY OF 987 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN AND USE DESIGNATION OF TOWN.
- 4. THE SITE PLANNING EMPHASIZES FRONTING HOMES TO THE EXTERIOR OF THE SITE TO CREATE A WELCOMING, PEDESTRIAN FRIENDLY ENVIRONMENT WHEREVER POSSIBLE. ALONG FEDERAL BOULEVARD, ALL HOMES ARE PROPOSED FRONTING OR SIDING ALONG AN ENHANCED LANDSCAPE BUFFER, BALANCING SCREENING VEHICULAR TRAFFIC WHILE PROJECTING VIEWS ALONG W. 85TH AVENUE. ALL SINGLE-FAMILY DETACHED HOMES FRONT TO THE STREET AND EMPLOY STAGGERED SETBACKS AND VARIED BUILDING HEIGHTS, ADDING INTEREST TO THE BLOCK AND PEDESTRIAN EXPERIENCE.
- 5. THE PROPOSED HOMES CONSIST OF A VARIETY OF 2 AND 3-STORY STRUCTURES
 - SINGLE-FAMILY DETACHED 2 AND 3-STORY
 - SINGLE-FAMILY ATTACHED TOWNHOMES: 2-STORY
- 6. CAREFUL CONSIDERATION WAS GIVEN TO THE TRANSITION OF BUILDING HEIGHTS, AS SUCH, THE COMMUNITY MAINLY CONSISTS OF 2-STORY HOMES WITH 3-STORY HOMES THOUGHFULLY LOCATED WITHIN BLOCKS AND AT THE TERMINUS OF GREEN COURTS. NO 3-STORY HOMES ARE INTRODUCED AT INTERSECTIONS TO AID IN THIS DENSITY TRANSITION. THE 3-STORY HOMES HAVE BEEN STRATEGICALLY PLACED TO FRAME MID-BLOCK PUBLICLY ACCESSIBLE AMENITIES AND SHARED COMMUNITY SPACES.
- 7. ALL PROPOSED TOWNHOMES AND MOST SINGLE-FAMILY DETACHED OFFER A 2-CAR GARAGE. A MAXIMUM OF 28 SINGLE-FAMILY DETACHED HOMES MAY OFFER A 1-CAR GARAGE OPTION. WITH THE REMAINING HOMES (MINIMUM 84) PROVIDING 2 GARAGE SPACES. ONLY THE 2-STORY SINGLE-FAMILY DETACHED INCLUDE THIS OPTION. SHARED PARKING IS PROVIDED VIA PARALLEL SPACES LOCATED ON INTERNAL, LOCAL, STREET, INCLUDING W 85TH AVENUE, IRVING STREET, W 84TH PLACE, GROVE STREET, AND GREEN COURT. ADDITIONAL PARKING IS PROVIDED ON 84TH AVENUE. PRIMARY ACCESS TO THE NEIGHBORHOOD IS PROVIDED VIA 84TH AVENUE, 85TH AVENUE, AND IRVING STREET.
- 8. THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TOWN DESIGN GUIDELINES THROUGHOUT. IN ORDER TO FULLY INTEGRATE TOWN DESIGN PRINCIPLES, THERE ARE AREAS WHERE THIS SITE PLAN VARIES FROM CITY CODE AND RELEVANT CODE DOCUMENTS. PLEASE REFER TO ODP EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS ODP TO SEE SPECIFIC INSTANCES WHERE THESE PRINCIPLES DIFFER. IN GENERAL, THESE EXCEPTIONS ENSURE THAT THIS COMMUNITY CONTRIBUTES TO THE VARIANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS NEIGHBORHOOD INCLUDES HOMES THAT TARGET A RANGE OF HOMEBUYERS FROM ENTRY-LEVEL ATTACHED HOMES TO DETACHED 2- AND 3-STORY HOMES. THIS IS A GOAL NOT ONLY OF TOWN, BUT OF RECENT CITY PLANS AND VISIONS AS WELL.
- 9. LASTLY, A 0.76 ACRE PUBLICLY ACCESSIBLE PRIVATE PARK IS PROVIDED WITHIN THIS PLANNING AREA. THIS SPACE HAS BEEN THOUGHTFULLY PLACED TO OFFER THE GREATEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THIS PARK, ALONG WITH THE OTHERS THROUGHOUT PARCEL A, ESTABLISH A RECOGNIZABLE IDENTITY TO THE COMMUNITY, WITH VARED FOCUSES & THEMES BEING EXPLORED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER AMENITIES EXHIBIT SUBMITTED WITH THIS ODP FOR MORE DETAIL ON PARK PROGRAMMING ACROSS UPLANDS.

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAN FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAINING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) OF THE BOXES, AND REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL, AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAN.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE IRRIGATION OR OTHER WATER USE CATEGORIES WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN FEE FEES.
- K. CITY WILL INSTALL ALL STREET NAME SIGNS. DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED AS DESIGNED BY XCEL ENERGY IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTO-METRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED, INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT. PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY, TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 100' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE, ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF ALL-WEATHER SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS. A MINIMUM OF 75,000 LBS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.
- V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.
- W. THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLIES WITH CRS 9-5-1 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 650 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN THAT AMOUNT OR 10% OF THE ALLOWED UNITS.
- X. ALL AREAS OF THE DEVELOPMENT THAT ARE OPEN TO THE PUBLIC WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE ADA REGULATIONS.

**UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**



UPLANDS

DATE: 05.02.2024

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023

REVISIONS

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| SUB02: 03/07/24 | |
| SUB03: 05/02/24 | |

4 OF 107 NOTES

**OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7**
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 107

EXCEPTIONS AND JUSTIFICATIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS IN UPLANDS FILING NO. 1 - BLOCK 7. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE, UPLANDS MOPD AND LANDSCAPE REGULATIONS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE RUP ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO ADJUST THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER. THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. THIS PROPOSED GDDP AND RELATED EXCEPTIONS HELP FLATTER THE TRADITIONAL MIXED USE NEIGHBORHOOD DEVELOPMENT PRINCIPLES, INCLUDING CREATING A COMPACT WALKABLE DEVELOPMENT THROUGH AN INTERCONNECTED STREETBLOCK PATTERN WITH NARROWER STREETS, SUPPORTING DOCUMENTS INC. UJE

- **2013 COMPREHENSIVE PLAN** - THE PLAN INCLUDES A NUMBER OF GUIDING PRINCIPLES THAT SUPPORT COMMUNITIES WITH A BALANCED MIX OF HOUSING OPPORTUNITIES THAT MAINTAIN DIVERSE HOUSING SUPPLY IN AN ACTIVE, WALKABLE ENVIRONMENT. THE UPLANDS PPP CONSISTED OF MULTITERM, MULTITYPER DESIGN PROGRESS THAT RESULTED IN THE ACCEPTED POP ZONE DISTRICT THAT GOVERNS THIS PLANNING AREA. THE 2013 COMPREHENSIVE PLAN WAS A FOUNDATIONAL GUIDING DOCUMENT FOR MUCH OF THE PPP PROCESS AND SOME OF THOSE GUIDING PRINCIPLES, WHILE NOT IN CONFLICT WITH THE 2040 COMPREHENSIVE PLAN, REMAIN AS GUIDING PRINCIPLES FOR THE POP AND ITS PLANNING AREAS.

- **2040 COMPREHENSIVE PLAN** - THIS PLAN INCLUDES A COMPREHENSIVE FOCUSED ON PROVIDING A BALANCED MIX OF HOUSING OPPORTUNITIES FOR A RANGE OF INCOMES, AGE GROUPS, AND LIFESTYLE CHOICES. IT GOES ON TO ENCOURAGE SUSTAINABLE DESIGN PRACTICES AND TO CONTINUE PROVIDING A VARIETY OF NEIGHBORHOOD TYPES WITH A DIVERSITY OF HOUSING CHOICES TO SERVE A RANGE OF HOUSEHOLD SIZES, COMPOSITIONS AND NEEDS.

- **2017 HOUSING NEEDS ASSESSMENT** - THIS STUDY INCLUDES RECOMMENDATIONS TO ACCOMMODATE A VARIETY OF HOUSING CHOICES AND PRICE POINTS, BUILDING SMALLER HOMES ON SMALLER LOTS TO CREATE AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE, THEREBY LOWERING THE OVERALL COST, AND EMBRACING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.

- **WESTMINSTER MUNICIPAL CODE (WMC)** - THE SITE IS ZONED RUD, PER CODE. THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FEEDBACK TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE. TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL, STANDARD ZONING REGULATIONS.

- **PRELIMINARY DEVELOPMENT PLAN (PDP)** - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES
- **MASTER OFFICIAL DEVELOPMENT PLAN (MOPD)** - THE VILLAGE RESIDENTIAL NEIGHBORHOOD WITHIN UPLANDS IS DESCRIBED IN THE MOPD AS A MIX OF ALLEY-LOADED SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL HOMES ORGANIZED IN A TRADITIONAL GRID FORMAT.

OFF-STREET PARKING:
AN EXCEPTION TO WMC 11-7-4(B)(2)

STANDARD: SPD ENCLOSED PARKING (2 SPACE/UNIT) = 224 SPACES
SPD DRIVEWAY PARKING (2 SPACE/UNIT) = 224 SPACES
SPD GUEST PARKING (1 SPACE/3 UNITS) = 224 SPACES

EXCEPTION: UPLANDS A(7) PROVIDES 112 SINGLE-FAMILY DETACHED HOMES AND 68 SINGLE-FAMILY ATTACHED TOWNHOMES. THE TOWNHOMES FEATURE A 2-CAR GARAGE ON ALL HOMES. THE DETACHED HOMES FEATURE AN OPTION TO PROVIDE EITHER ONE OR TWO-CAR GARAGES. ONE-CAR GARAGE PLANS ARE CAPPED AT A MAXIMUM OF 28. A REMAINING MINIMUM OF 64 DETACHED HOMES SHALL PROVIDE A TWO-CAR GARAGE. UPLANDS A(7) HOMES DO NOT OFFER DRIVEWAY SPACES. 157 PARKING SPACES ARE PROVIDED THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND INTERNAL ON-STREET PARALLEL SPACES, FOR A TOTAL OF

499 PARKING SPACES PROVIDED FOR THE 607 REQUIRED AN ADDITIONAL 118 SPACES ARE PROVIDED ALONG W. 84TH AVENUE, WHICH ARE NOT INCLUDED IN THIS TOTAL.

JUSTIFICATION: THIS EXCEPTION IS IN ACCORD WITH SECTION 11-7-4 OF THE CODE THAT ALLOWS THE PLANNING MANAGER TO REDUCE THE REQUIREMENT FOR NETO TRADITIONAL DEVELOPMENTS UPON A FINDING THAT LESS PARKING IS NEEDED BASED ON THE DESIGN OF THE DEVELOPMENT. THIS REQUEST IS REASONABLE AND SUPPORTED BY THE FACT THAT THIS IS A NETO TRADITIONAL DEVELOPMENT WITH AN EMPHASIS ON CREATING A WALKABLE AND PEDESTRIAN ORIENTED DEVELOPMENT. UPLANDS IS IN ESSENCE A TRANSIT-ORIENTED DEVELOPMENT (TOD) WITH RTO BUS SERVICE ON FEDERAL BLVD. ROUTE 91 WILL PROVIDE DIRECT ACCESS TO THE WESTMINSTER RAIL STATION APPROXIMATELY TWO MILES AWAY. IN ADDITION, THE ANTICIPATED COMMERCIAL AND RECREATIONAL DEVELOPMENT IN UPLANDS WILL GENERATE MULTIMODAL WALK AND BIKE TRIPS. ALL OF THESE FACTORS REDUCE DEPENDENCE ON THE AUTOMOBILE AND NEED FOR PARKING. LASTLY, ANY REDUCTION OF PARKING DUE TO ONE-CAR GARAGES WILL ONLY OCCUR WHERE HOMEOWNERS OPT FOR A ONE-CAR GARAGE OPTION IN LIEU OF TWO-. IT IS A DECISION THAT THEY HAVE THE CHOICE OF DECIDING BASED ON THEIR NEEDS AND WANTS.

2013 COMP PLAN: THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASE HOUSING DIVERSITY.

2040 COMP PLAN: THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND PROVIDES OPPORTUNITIES FOR A RANGE OF HOUSING TYPES AND AFFORDABILITY TO ACCOMMODATE ALL INCOMES, LIFESTYLE AND AGE GROUPS WITHIN THE CITY (LUG). FURTHER, THE PROPOSED USE OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS) TO PROVIDE PARKING FOR THE PROPOSED TOWNHOMES COMPLETS WITH TABLE 3.5 OF THE URBAN MULTIFAMILY DEVELOPMENT STANDARDS FOR TOWNHOMES WHICH INCLUDES TUCK-UNDER PARKING WITH SOME ON-STREET OR SURFACE PARKING AS A DEVELOPMENT CHARACTERISTIC, FORM AND GUIDELINE FOR TOWNHOMES.

WMC: THE PROPOSED PARKING SOLUTION ENCOURAGES ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING (11-7-4(D)). PROVIDES FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN (11-4-7(B)). THROUGH THE USE OF ALLEY-LOADED HOMES ON SMALLER LOTS AND ON-STREET PARKING THAT ADDS VERTICAL FRICION TO THE STREET TO SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS. THE PROPOSED ALLEY-LOADED DESIGN IS CONSISTENT WITH A NETO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY RATHER THAN A STANDARD SUBURBAN NEIGHBORHOOD. WMC CODE (11-7-4(B)(2)(A)) SPECIFICALLY NOTES PARKING MAY BE REDUCED FOR THIS TYPE OF NEIGHBORHOOD UPON A FINDING THAT LESS PARKING IS NEEDED BASED UPON THE DESIGN OF THE DEVELOPMENT.

MOPD: THE EXCEPTION ALIGNS WITH THE MOPD, WHICH NOTES ON-STREET PARALLEL PARKING SHOULD BE PROVIDED THROUGHOUT THE COMMUNITY TO HELP SLOW TRAFFIC. THE MOPD FURTHER NOTES THAT VISITS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THESE TWO DESIGN CONCEPTS INFLUENCE THE DESIGN OF HOMES AWAY FROM TRADITIONAL DRIVEWAYS AND FRONT YARDS.

THUMB: THE EXCEPTION ALIGNS WITH THE THUMB DESIGN GUIDELINES BY SLOWING TRAFFIC - THE INCLUSION OF DISTREET PARKING ADDS NATURAL FRICTION TO THE STREET, WHICH HELPS SLOW TRAFFIC AND ENCOURAGES MORE PEDESTRIAN MOVEMENTS.

LANDSCAPE AREA:
AN EXCEPTION TO LANDSCAPE REGULATIONS VII B.1.A

STANDARD: NO LESS THAN A MINIMUM OF 40% OF THE OVERALL SITE AREA (EXCLUDING HIGH-OR-LOW LANDSCAPE AREAS) SHALL BE LANDSCAPED.

EXCEPTION: UPLANDS PROVIDES A MINIMAL LANDSCAPE AREA OF 29.0% WITHIN PAR4(7).

JUSTIFICATION: THIS EXCEPTION ALLOWS FOR MORE COMPACT HOME TYPES THAT ENRICH THE STREET AND PROMOTE COMMUNITY INTERACTION. IT REDUCES POTENTIAL IRRIGATION AREAS WHILE PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THIS EXCEPTION ALSO ASSISTS IN PROVIDING COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH HAVE INCREASED ALLEY PAVEMENT WIDTHS.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY AND PROVIDE A DENSITY TRANSITION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. WHILE THE OVERALL LANDSCAPE AREA IS REDUCED, THE REQUIRED PUBLICLY ACCESSIBLE PARK SPACE IS STILL PROVIDED (41% IS PROVIDED - 4% IS REQUIRED).

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL LU6 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING. THE CITY WITH A FOCUS ON SITE, LANDSCAPE AND BUILDING DESIGN. LUG INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEELS SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALLOWS FOR THE OPPORTUNITY TO PROVIDE HOUGHTFUL AND IMPACTFUL WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE, POCKET PARKS AND ON LOT LANDSCAPING. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE. DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN (11-4-7(B)) THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS. THE REDUCED LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11-4-7(B)) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION. THIS EXCEPTION ALSO ALLOWS FOR COMPLIANCE WITH UPDATED FIRE REQUIREMENTS WHICH INCLUDE INCREASED PAVED AREAS WITHIN THE ALLEY.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THE REDUCED LANDSCAPE AREAS ALSO ALIGN WITH CITY-WIDE GOALS AND POLICES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MIXING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW STD HOMES ON LARGER LOTS THAT WAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY AND WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE (11-4-7(B)) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

| REVISIONS |
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| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

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| <p>UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p> |  <p>DATE: 05.02.2024</p> |  |
| <p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> | <p>5 OF 107 EXCEPTIONS</p> | |

**OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7**

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 107



UPLANDS

DATE: 05.02.2024

EXCEPTIONS AND JUSTIFICATIONS, CONT.

AN EXCEPTION TO LANDSCAPE REGULATIONS VIA 1.18, AND AN EXCEPTION TO LANDSCAPE REGULATIONS VIA B.1.E.

STANDARD:
SPD LOT SIZE UP TO 10,000 SQUARE FEET IN SIZE, A MINIMUM OF 1 SHADE TREE SHALL BE REQUIRED IN THE FRONT YARD OF EVERY RESIDENCE.
SFR: A MINIMUM OF 1 TREE AND 3 SHRUBS ARE REQUIRED PER 500 SQUARE FEET.

EXCEPTION: UPLANDS SINGLE FAMILY DETACHED LOTS PROVIDE A MINIMUM OF 10 SHRUBS PER 1 TREE REQUIRED ON LOT RESIDENTIAL LANDSCAPE FOR SINGLE-FAMILY ATTACHED LOTS. A MINIMUM 1 TREE AND 3 SHRUBS ARE PROVIDED. TREES ARE PROVIDED IN ALL INSTANCES WHERE THERE ARE NO CONFLICTS WITH BUILDINGS, UTILITIES, OR ADJACENT TREES.

JUSTIFICATION: UPLANDS PROVIDES THE SHRUB EQUIVALENTS IN USE OF TREES DUE TO THE COMPACT NATURE OF SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED LOTS. TREES ARE PROVIDED WHENEVER POSSIBLE, GIVEN ADJACENT SPACE FROM BUILDINGS, UTILITIES, OR ADJACENT TREES. WHILE ON LOT TREES ARE AT A MINIMUM, THE 0.75 ACRE PARK AT THE CENTER OF THE NEIGHBORHOOD INCLUDES FRUIT TREE GROVES WITH CRUISHER, FIRE PATHS AND BOLLIBER SEAT. IN ADDITION TO SHADE TREES, A PLAYGROUND, BOCCO COURT, AND SHADE STRUCTURES, AN ADDITIONAL 49 TREES ARE PROVIDED ABOVE THE TOTAL TREE REQUIREMENT AND ARE PROVIDED IN THE ROW LANDSCAPE ALLOWING FOR A WELL CONNECTED TREE CANOPY THROUGHOUT THIS PLANNING AREA.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. OUR REDUCED ON-LOT LANDSCAPED AREAS RESTRICT THE QUANTITY OF PLANT MATERIAL ABLE TO BE PLANTED.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN, SUSTAINABLE DESIGN GOAL 11.6 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN. 11.6.5 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEATURES SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALIGNS FOR THE OPPORTUNITY TO PROVIDE THOUGHTFUL AND IMPACTFUL WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE AND POCKET PARKS AND, AND REDUCE OVERALL ON LOT LANDSCAPE AREA AND PLANT MATERIAL. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE. DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN (11.4.4-7(B)). THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS, THE REDUCED ON-LOT LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11.4.4-7(B)) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN-FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THE REDUCED ON-LOT LANDSCAPE AREAS AND PLANT QUANTITIES ALSO ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES AND PLANT QUANTITIES REDUCE THE OVERALL POTENTIAL IRRIGATION REQUIRED FOR EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT TAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY AND WOULD BE REQUIRED TO COMPLY WITH THESE STANDARDS. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF

HOUSING AVAILABLE FOR PURCHASE (11.4.4-7(B)) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

ROOF DESIGN:
AN EXCEPTION TO MOPD ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

STANDARD: SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED BUILDING FORMS SHALL PROVIDE ROOF PITCHES OF 5 IN 12 OR GREATER.

EXCEPTION: UPLANDS PROVIDES A MINIMUM ROOF PITCH OF 4 IN 12 FOR MINOR ROOFS ON ALL HOMES (THE 5 IN 12 MINIMUM IS MET ON ALL MAIN ROOFS).

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY DETACHED AND ATTACHED BUILDING FORMS WITH A ROOF PITCH LESS THAN 5 IN 12. THIS LOWER ROOF PITCH ACCOMMODATES EGRESS WINDOW REQUIREMENTS ABOVE THE PORCHES. IN ADDITION TO HELPING CREATE A MORE DIVERSE STREETSCAPE, MANY OF THESE SECONDARY ROOFS WILL BE BETWEEN 3 IN 12 AND 4 IN 12.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY. OVERALL DESIGN (11.4.4-7(B)) THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS AND, IN SOME CASES, MATCH THE TRANSITIONAL STYLE OF ONE ELEVATION TYPE.

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EXCEPTIONS**

EXCEPTIONS AND JUSTIFICATIONS, CONT.

LOT SIZE:
 AN EXCEPTION TO MOOP BUILDING FORM CHARACTERISTICS TABLES (SFD AND SFA TOWNHOME SHEETS 17 & 18 OF 43)

STANDARDS: BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE BELOW.
EXCEPTION: THIS EXCEPTION APPLIES TO THE NOTED INTERNAL ON LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW WHERE REQUIREMENTS HAVE NOT BEEN MET. THE MINIMUM PROVIDED IS BOLDED AND DOUBLE-OUTLINED.

JUSTIFICATION (LOT SIZE & SETBACKS): ALL PERIMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UPLANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION. BUILDING HEIGHT IS MET FOR ALL HOMES.

JUSTIFICATION (PRIVATE YARD AREA): IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UPLANDS PROPOSES A MIX OF PORCHES/PATIOS, DECKS AND SIDEFRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY, PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TYPED LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERIMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE, ALLOWING FOR LARGE ADJACENT PUBLIC LAND DEDICATION WITHIN PARCEL A. THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD THE PROPOSED HOMES AND ALLOW FOR LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES (4.1% PROVIDED - 4% IS REQUIRED) WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL, U16 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN. U16 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED

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HOMES, REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE, DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN. SPECIFICALLY, CRITERIA 4 ASKS IF "THE PROPOSED DEVELOPMENT PROVIDES APPROPRIATE TRANSITIONS BETWEEN USER? WHICH THIS PROPOSAL INTENTIONALLY DOES PROVIDE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERIMETER SETBACKS FURTHER IS SUPPORTED BY GOAL P4.2 OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES). THE REDUCED SETBACKS ENCOURAGE HIGHER QUALITY DEVELOPMENT BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES AND VARIETY OF PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW, MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

THUND: THIS EXCEPTION ALIGNS WITH THUND BY MINIMIZING GARAGE VISIBILITY, ENCOURAGING CONSISTENT STREET FRONTAGES, CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BIKE AND PEDESTRIAN SAFETY AND STREET ACTIVATION, AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES, INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN THUND.

MOOP: THIS EXCEPTION ALIGNS WITH THE MOOP BY PROVIDING HOME AND LOT DESIGNS THAT ENHANCE THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS, INCLUDING AT-GRADE OR RAISED PORCHES/PATIOS, BUILDING ENTRIES, BALCONIES AND STOOPS, AND MAXIMIZING VIEWS OF THE GARAGE FROM THE STREET. FURTHER, THE MOOP NOTES FROM SETBACKS SHOULD BE STUDIED AT SITE SPECIFIC ODP TO FORM PEDESTRIAN FRIENDLY STREETSCAPES.

| | MAX. HEIGHT | MAX. STORES | MIN. LOT SIZE | MIN. LOT DEPTH | MIN. LOT WIDTH | MIN. FRONT SETBACK TO MAIN STRUCTURE | MIN. SIDE SETBACK INTERIOR LOT | MIN. SIDE SETBACK CORNER LOT | MIN. REAR SETBACK | MIN. REAR YARD SPACE |
|---|-------------|-------------|---------------|---|----------------|--------------------------------------|--------------------------------|------------------------------|-------------------|--------------------------------|
| SINGLE-FAMILY DETACHED (2- AND 3-STORY SFD) HOME | | | | | | | | | | |
| UPLANDS MASTER ODP | 40' | 3 | - | 90' | 20' | 14' | 7' | 14' | 5' | 20' X 20' |
| UPLANDS FILING 1, BLOCK 7 ODP | 40' | 3 | - | 72' | 20' | 18' | 4' | 10' | 3' | 0 SF* |
| SINGLE-FAMILY ATTACHED (SFA) HOME | | | | | | | | | | |
| UPLANDS MASTER ODP | 40' | 3 | - | 90' (W/ ATTACHED GARAGE) 72' FOR TUCKER UNDER | 18' | 12' | 0' | 8' | 5' | 15' MIN. DEPTH W/ 120 SF CLEAR |
| UPLANDS FILING 1, BLOCK 7 ODP | 40' | 3 | - | 68' | 21' | 12' | 0' | 10' | 3' | 0 SF* |

*A MINIMUM OF 508 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFD HOMES. A MINIMUM OF 122 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA HOMES.

| | |
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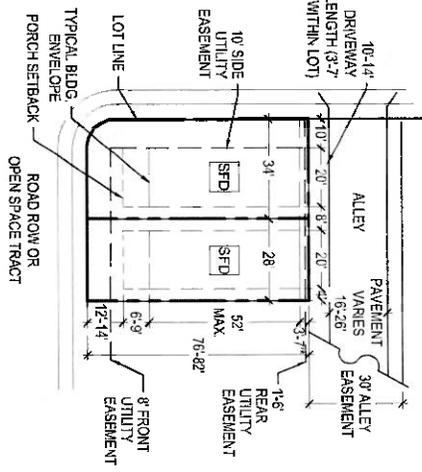
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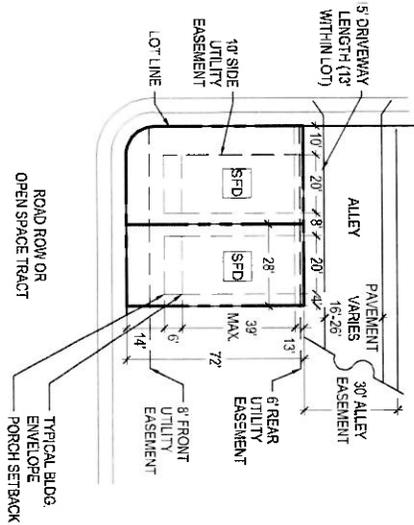
OFFICIAL DEVELOPMENT PLAN
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LOT TYPICALS

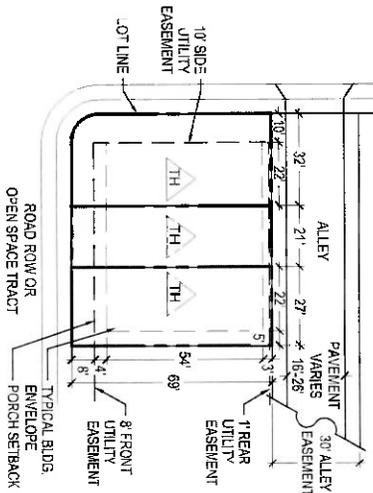
SINGLE-FAMILY DETACHED 2-STORY HOMES
 (28' X 78' TYPICAL LOT / 34' X 80' TYPICAL CORNER LOT)
 (20' X 81' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE-FAMILY DETACHED 3-STORY HOMES
 (28' X 72' TYPICAL LOT)
 (20' X 45' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE-FAMILY ATTACHED TOWNHOME
 (21' X 89' TYPICAL LOT / 32' X 89' TYPICAL CORNER LOT)
 (22' X 58' MAX. BUILDING ENVELOPE INCLUDING PORCH)



LOT SETBACKS

| FRONT TO LIVING AREA: | SFD MOPD MINIMUM SETBACKS | PROPOSED SETBACKS (1)(2) |
|-------------------------------|---------------------------|--------------------------|
| FRONT TO PORCH: | 14' | 18' |
| SIDE (INTERNAL): | 6' | 12' |
| SIDE (CORNER): | 7' | 4' (4) |
| SIDE (ABUTTING LOCAL STREET): | 14' | 10' (4) |
| REAR: | 5' | 3' MIN. (4) |

| FRONT TO LIVING AREA: | SFA (TOWNHOME) MOPD MINIMUM SETBACKS | PROPOSED SETBACKS (1)(2) |
|-------------------------------|--------------------------------------|--------------------------|
| FRONT TO PORCH: | 6'-12" | 12' |
| SIDE (INTERNAL): | 0' | 8' |
| SIDE (CORNER): | 8' | 10' |
| SIDE (ABUTTING LOCAL STREET): | 5' | 3' (4) |

LOT TYPICAL NOTES

- * REAR SETBACKS VARY DUE TO UTILITY LOCATIONS REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.
- PROPOSED SETBACKS NOTES**
- (1) ALL SETBACKS SHOWN ARE MINIMUMS.
- (2) SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION, CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AVENUES, CANOPIES WINDOW WELLS, OVERHANGS, OR SIMILAR ARCHITECTURE FEATURES MAY ENCROACH INTO A SETBACK A MAXIMUM OF 2 FT.
- (4) SEE EXCEPTIONS SHEETS 5-7.
- (5) SEE DETAILED LOT TYPICALS FOR EACH FLOOR PLAN, STARTING ON SHEET 78.

MAINTENANCE

- A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:
- HOMEOWNER MAINTENANCE:**
 - ALLEYS (INCLUDING SNOW REMOVAL)
 - PORCHES, PATIOS & STEPS (INCLUDING SNOW REMOVAL)
 - ON-LOT LEADER WALK TO COMMON SIDEWALK (INCLUDING SNOW REMOVAL)
 - ON-LOT FENCES (SFD ONLY)
 - ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
 - SIDE YARDS INSIDE PRIVATE FENCED AREA
- HOA MAINTENANCE:**
 - ALLEYS (INCLUDING SNOW REMOVAL)
 - COMMON SIDEWALKS (INCLUDING ALONG PUBLIC STREETS. COMMON SIDEWALKS MAY ALSO OCCUR ON LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT) (INCLUDING SNOW REMOVAL)
 - ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
 - HOA-OWNED LANDSCAPE TRACTS/OUTLOTS
 - OFF-SITE DETENTION POND
 - RETAINING WALLS
 - FENCING (INCLUDING ON-LOT FOR SFA ONLY)
 - ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
 - TREE LAWN
 - TRASH PICK-UP

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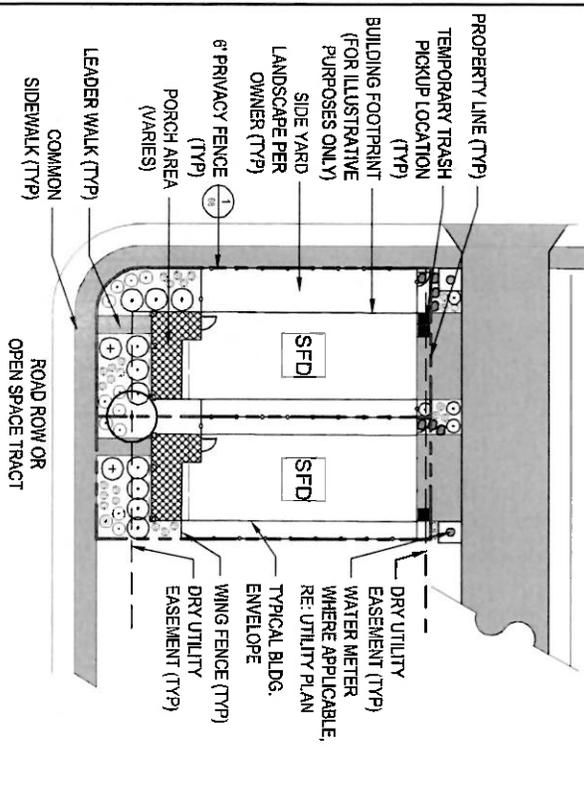
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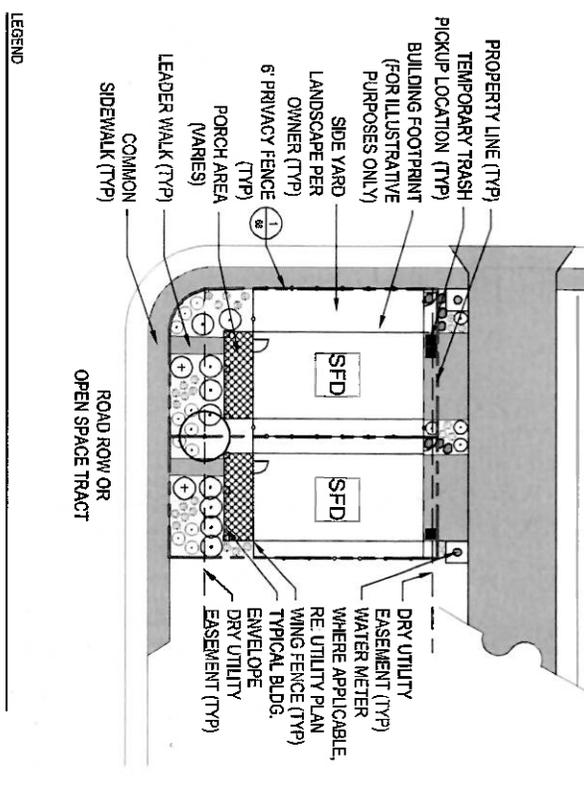
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LANDSCAPE LOT TYPICALS

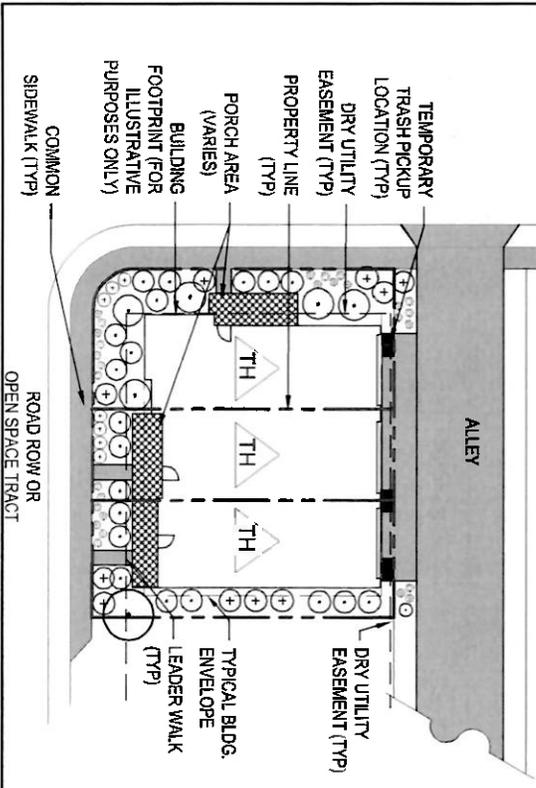
SINGLE-FAMILY DETACHED 2-STORY HOMES
 (28' X 78' TYPICAL LOT / 34' X 80' TYPICAL CORNER LOT)
 (20' X 61' MAX. BUILDING ENVELOPE INCLUDING PORCH)



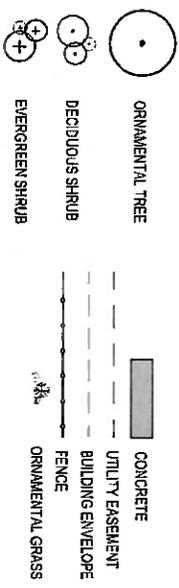
SINGLE-FAMILY DETACHED 3-STORY HOMES
 (28' X 61' TYPICAL LOT / 34' X 65' TYPICAL CORNER LOT)
 (20' X 45' MAX. BUILDING ENVELOPE INCLUDING PORCH)



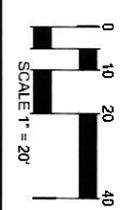
SINGLE-FAMILY ATTACHED TOWNHOME
 (21' X 69' TYPICAL LOT / 32' X 69' TYPICAL CORNER LOT)
 (22' X 58' MAX. BUILDING ENVELOPE INCLUDING PORCH)



LEGEND



- NOTES
1. LOT AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANTING CONDITION ON LOT. LANDSCAPE THROUGHOUT (PAVING) INCLUDES 1 TREE EQUIVALENT (IN THE FORM OF 10 SHRUBS AND 3 ADDITIONAL SHRUBS PER 550 SF) FOR ALL FRONT YARD LANDSCAPES. AN EXCEPTION HAS BEEN REQUESTED FOR THE REPLACEMENT OF REQUIRED ON LOT TREES WITH TREE EQUIVALENTS DUE TO SITE CONSTRAINTS.
 2. REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.
 3. DENSER AVERAGE LANDSCAPE CONDITIONS ARE SHOWN ON LOT TYPICALS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL LANDSCAPE PLANS FOR EACH LOT WILL OCCUR AT TIME OF BUILDING PERMIT, BUT MUST COMPLY WITH MINIMUM STANDARDS SET FORTH IN THE ODP.



| | |
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UPLANDS
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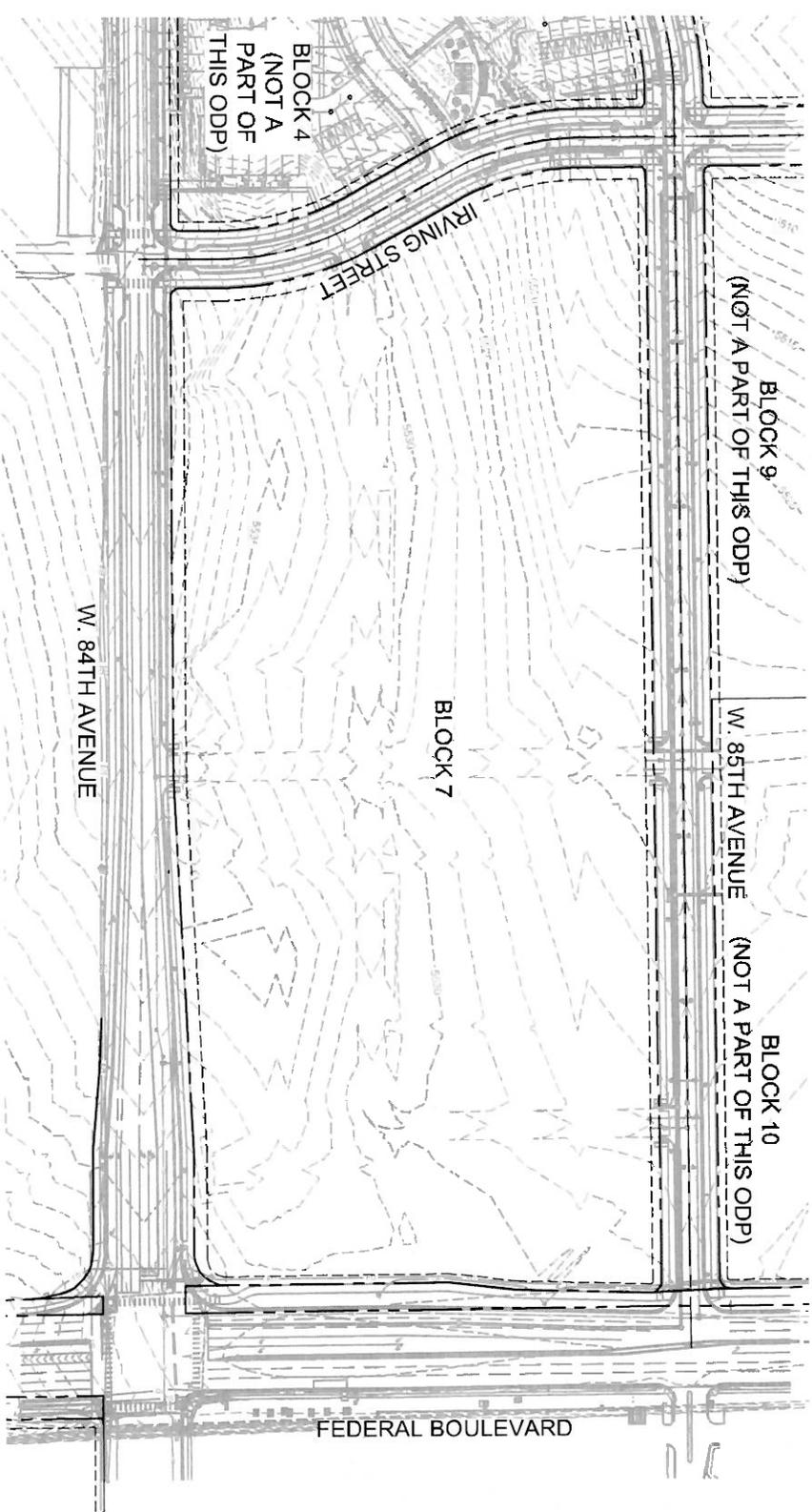

 NOARIS DESIGN
 ARCHITECTURE & LANDSCAPE ARCHITECTURE
 1000 S. W. 10TH AVE., SUITE 100
 WESTMINSTER, CO 80057
 (303) 440-1111

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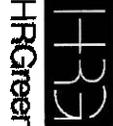
- LEGEND:**
- RIGHT OF WAY
 - EASEMENT LINE
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER LINE
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING FIBER OPTIC
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING STREET LIGHT
 - EXISTING SIGN
 - EXISTING POST
 - EXISTING TELECOMM MANHOLE
 - EXISTING MAJOR CONTOUR (6')
 - EXISTING MINOR CONTOUR (1')

NOTES:
 1 ALL EXISTING INFRASTRUCTURE TO REMAIN
 UNLESS OTHERWISE NOTED.





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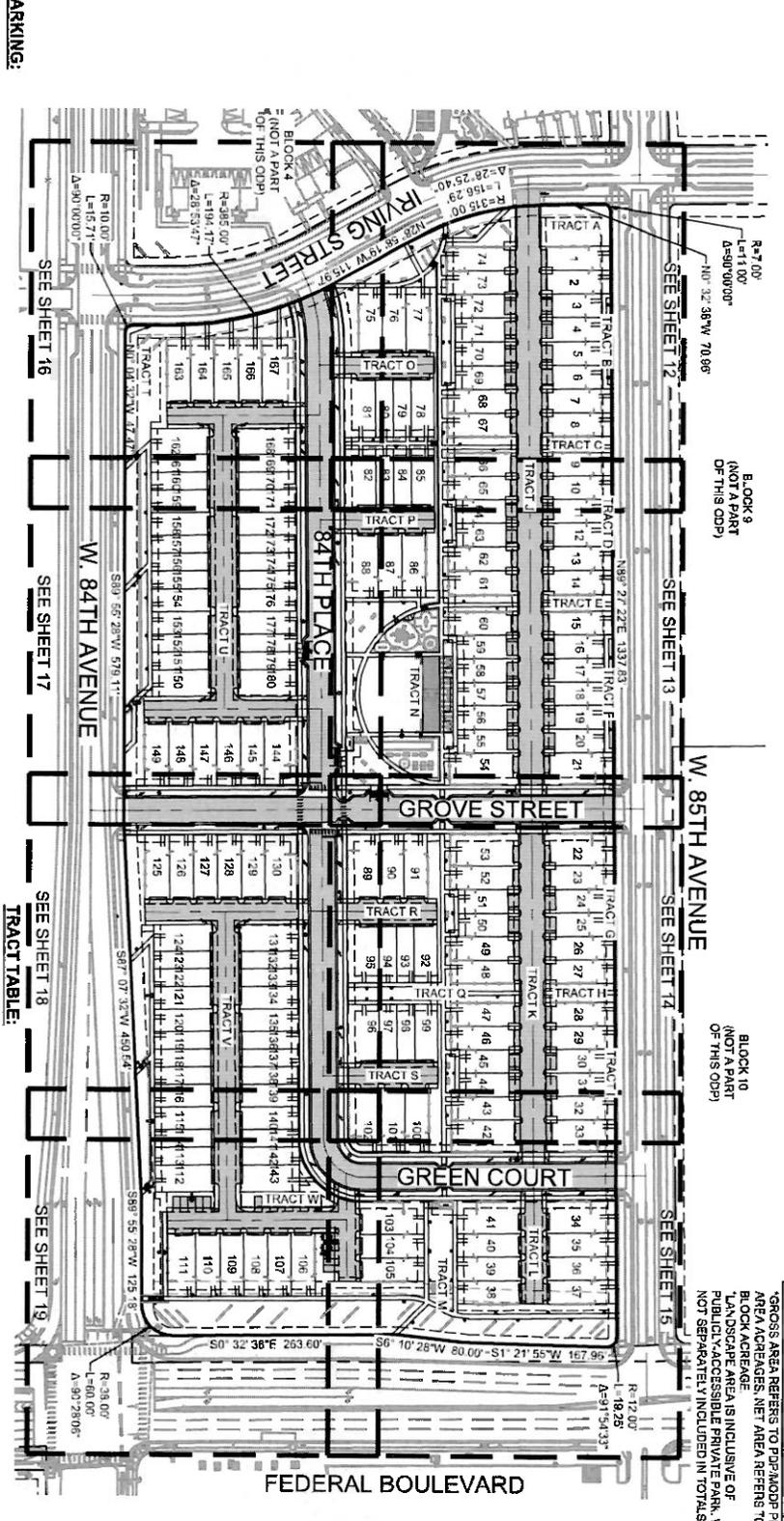
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| SITE DATA TABLE | |
|--------------------------|-------------|
| LOT AREA | 16.75 ACRES |
| AREA OF DISTURBANCE | 16.75 ACRES |
| EXISTING UNIMPROVED AREA | 0 ACRES |
| PROPOSED IMPROVED AREA | 14.18 ACRES |

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| PLANNING AREA PA-17 | | |
|--|-----------|-----------|
| SURFACE TYPE | AREA (SF) | % OF SITE |
| BUILDING COVERAGE | 181,014 | 25% |
| PAVING AND DRIVES | 288,825 | 40% |
| LANDSCAPE OPEN AREA | 280,093 | 36% |
| PUBLICLY-ACCESSIBLE PRIVATE PARK AREA* | (82,912) | (4%) |
| GROSS TOTAL AREA* | 814,087 | 100% |
| NET TOTAL AREA* | 729,724 | 100% |

*GROSS AREA BEARS TO PLANNED PLANNING AREA COVERAGE. NET AREA REFERS TO PLANNED BLOCK COVERAGE.
 LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY-ACCESSIBLE PRIVATE PARK, WHICH IS NOT SEPARATELY INCLUDED IN TOTALS.



| PLANNING AREA PA-17 | | | |
|-----------------------|-------------------------|-----------------------|----------------------|
| TYPE | UNIT COUNT (OFF-STREET) | PROVIDED (OFF-STREET) | PROVIDED (ON-STREET) |
| SFA | 88 | 136 | 0 |
| GUEST (1/3) (A) | 23 | 18 | 139 |
| DRIVEWAY (2/UNIT) (A) | 112 | 224 | 0 |
| SFD ENCLOSED (2/UNIT) | 181 | 807 | 139 |
| TOTAL | | 807 | 139 |

| SHARED PARKING BREAK-DOWN | | PLANNING AREA PA-17 | |
|---------------------------|----------|---------------------|--------------------------------|
| TYPE | REQUIRED | REQUIRED | PROVIDED |
| W. 85TH AVENUE | | | 48 |
| 84TH PLACE | | | 44 (2) |
| GROVE STREET | | | 24 (1) |
| GREEN COURT | | | 11 |
| IRVING STREET | | | 12 |
| STANDARD | | | 15 |
| ACCESSIBLE | | | 2 (2) |
| VAN ACCESSIBLE | | | 1 (1) |
| TOTAL | | | 23 SFA * 224 SFD = 5177 |

| TRACT | USE | MAINTENANCE RESPONSIBILITY |
|-------|-----------------------|----------------------------|
| A | LANDSCAPE | HOA |
| B | LANDSCAPE | HOA |
| C | LANDSCAPE | HOA |
| D | LANDSCAPE | HOA |
| E | LANDSCAPE | HOA |
| F | LANDSCAPE | HOA |
| G | LANDSCAPE | HOA |
| H | LANDSCAPE | HOA |
| I | LANDSCAPE | HOA |
| J | PUBLIC ACCESS & UTIL. | HOA |
| K | PUBLIC ACCESS & UTIL. | HOA |

| TRACT | USE | MAINTENANCE RESPONSIBILITY |
|-------|-------------------------|----------------------------|
| L | PUBLIC ACCESS & UTIL. | HOA |
| M | LANDSCAPE | HOA |
| N | LANDSCAPE/PUBLIC ACCESS | HOA |
| O | PUBLIC ACCESS & UTIL. | HOA |
| P | PUBLIC ACCESS & UTIL. | HOA |
| Q | LANDSCAPE | HOA |
| R | PUBLIC ACCESS & UTIL. | HOA |
| S | PUBLIC ACCESS & UTIL. | HOA |
| T | LANDSCAPE | HOA |
| U | PUBLIC ACCESS & UTIL. | HOA |
| V | PUBLIC ACCESS & UTIL. | HOA |
| W | LANDSCAPE | HOA |

- A. 157 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH RIGHT OF WAY AND SURFACE SPACES SEE SHARED PARKING TABLE TO RIGHT
- B. NUMBER OF BEDROOMS PER SFA UNIT NOT TO EXCEED 3.
- C. NUMBER OF BATHS PER SFA UNIT NOT TO EXCEED 2.
- D. 25 SINGLE FAMILY DETACHED UNITS PERMITTED TO BE PERMITTED SEE THE PARKING EXHIBIT FOR CONCEPTUAL ONLY LOCATIONS FOR UNITS WITH A SINGLE-CAR GARAGE
- E. ACCESSIBLE STALLS ARE PROVIDED IN ACCORDANCE WITH FEDERAL REGULATIONS

| TYPE | REQUIRED | PROVIDED |
|---------------------|----------|----------|
| EV CHARGING (DRURY) | 180 | 180 |
| BICYCLE | 0 | 14 |

NOTE: ALL SFD & SEA HOMES MUST HAVE A LEVEL 2 EV/QR CHARGER IN THE GARAGE.



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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

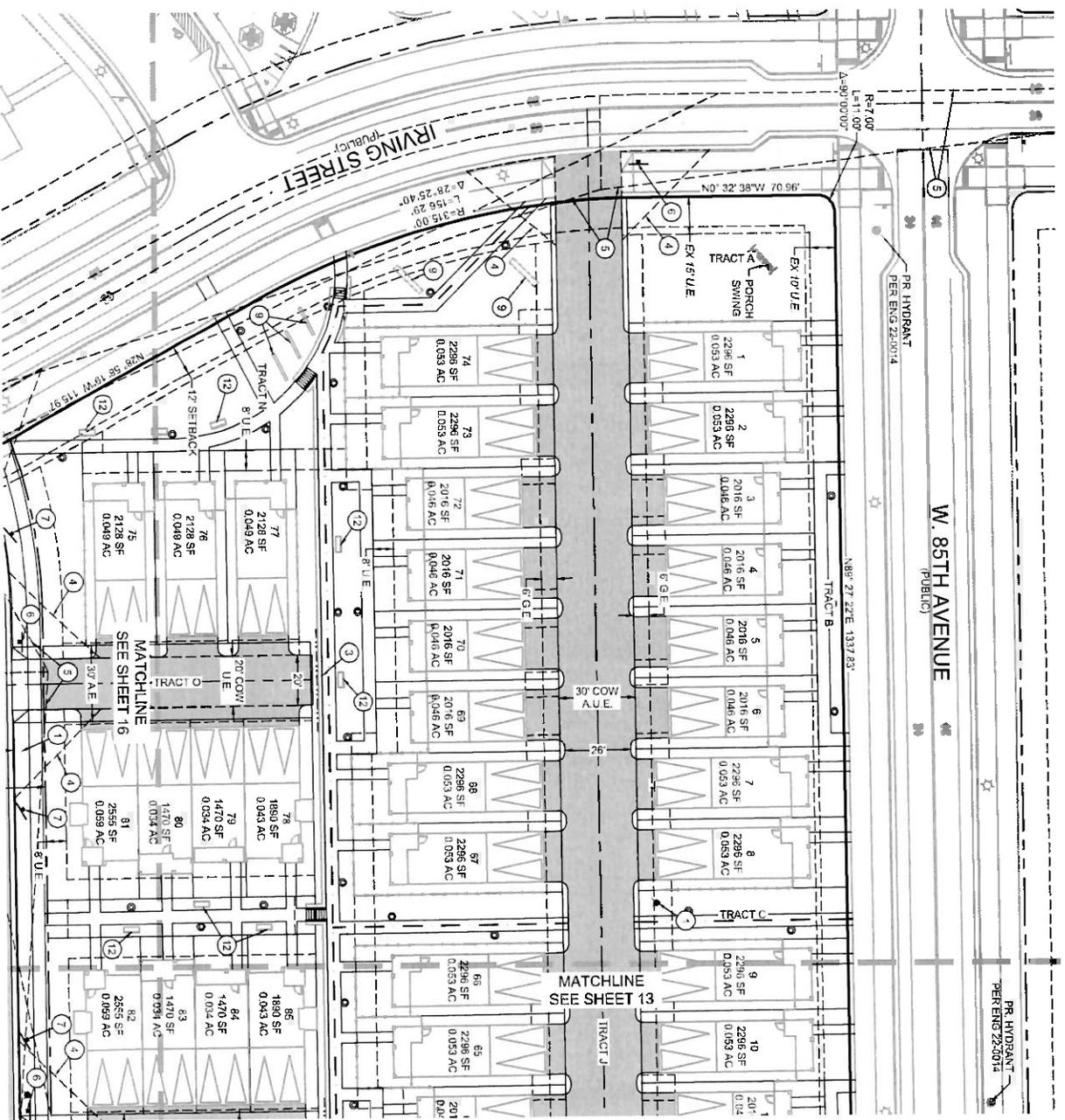
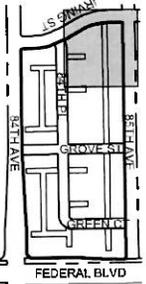
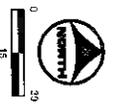
UPLANDS

DATE: 05.02.2024



- ABBREVIATIONS:**
- AE - PUBLIC ACCESS EASEMENT
 - AE - PUBLIC ACCESS & COW UTILITY EASEMENT
 - AE - GAS EASEMENT
 - AE - COW UTILITY EASEMENT
 - AE - UTILITY EASEMENT
 - AE - SIDEWALK
 - PR - PRIVATE LIGHT POLE
 - PR - PUBLIC LIGHT POLE
 - PR - PUBLIC LIGHT POLE PER ENG 22-2014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 12 OF 107



LEGEND:

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL PAULING

KEYNOTE LEGEND:

- 1 PR - FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGN-TRIANGLE
- 6 STOP SIGN (R-1-1)
- 7 NO PARKING
- 8 FIRE LANE SIGN
- 9 SCREEN WALL
- 10 ACCENT WALL
- 11 BIKE BACK
- 12 MAIL KIOSK
- 13 BENCH
- 14 UMBRELLA TABLE
- 15 SHADE PAVILION
- 16 PICNIC TABLE
- 17 OUTDOOR KITCHEN
- 18 PLAY STRUCTURE
- 19 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 20 ACCESSIBLE PARKING STRIPING (45" x 8' YELLOW STRIPING @ 2" O.C.)
- 21 ACCESSIBLE PARKING SIGN
- 22 2x8" CROSSWALK STRIPING

NOTES:

1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
2. ALL PRIVATE WALKS TO SPD AND SEA ARE 4'
3. ALL PROPOSED CURBS & GUTTERS 6" VERTICAL
4. PLEASE SEE BUILDING AND LOT DIMENSIONS FOR SCHEDULED CHANGES WITHIN THESE PARAMETERS. MAY BE ALL OWNED PER THE FUTURE HOME BUYER.
5. MAINTENANCE OF PARKS
6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
7. EXACT RAILING LOCATIONS AND EXTENSIONS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

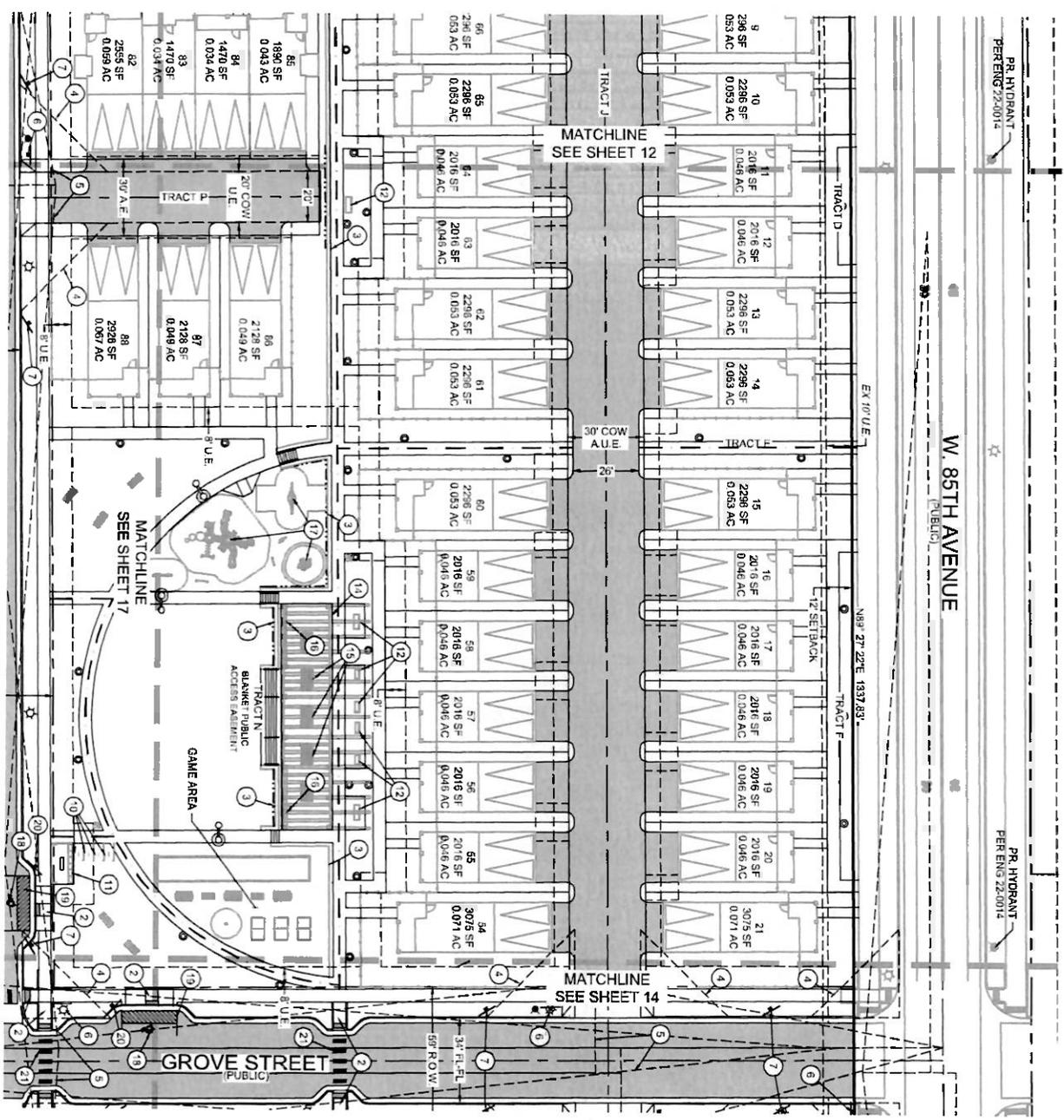
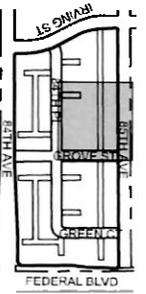
REVISIONS

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|-----------------|
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

12 OF 107
 SITE PLAN

- ABBREVIATIONS:**
- PR - PRIVATE ACCESS EASEMENT
 - PR - PUBLIC ACCESS & COM UTILITY EASEMENT
 - COV A.U.E. - PUBLIC ACCESS & COM UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - COV U.E. - COM UTILITY EASEMENT
 - U.E. - UTILITY EASEMENT
 - SW - SIDEWALK
 - PR - PRIVATE LIGHT POLE
 - PR - PUBLIC LIGHT POLE PER FIG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 13 OF 107



- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - EDGE OF CONCRETE
 - RIGHT OF WAY
 - EASEMENT LINE
 - LOT LINE
 - ACCESSIBLE ROUTE
 - WALL RAILING
- KEYNOTE LEGEND:**
- 1 PR FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MSE RETAINING WALL (SEE NOTE 2 & DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN (R-1-1)
 - 7 NO PARKING/ FIRE LANE SIGN
 - 8 SCREEN WALL
 - 9 ACCENT WALL
 - 10 BIKE RACK
 - 11 MAIL KIOSK
 - 12 BENCH
 - 13 UMBRELLA TABLE
 - 14 SHADE PAVILION
 - 15 PICNIC TABLE
 - 16 OUTDOOR KITCHEN
 - 17 PLAY STRUCTURE
 - 18 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 - 19 ACCESSIBLE PARKING STRIPING (45'-4" YELLOW STRIPING @ 2' O.C.)
 - 20 ACCESSIBLE PARKING SIGN
 - 21 2x5' CROSSWALK STRIPING

- NOTES:**
1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED.
 2. ALL PRIVATE WALKS TO SRD AND SPA ARE 4'.
 3. ALL PROPOSED CURB & GUTTERS IS VERTICAL.
 4. PLEASE SEE BUILDING AND LOT TRIMOLS FOR FUTURE HOME BUYER.
 5. FUTURE HOME BUYER SHALL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
 6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
 7. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

| | |
|---|--|
| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
| REVISIONS | |
| SUB02: 03/07/24 | |
| SUB03: 05/02/24 | |
| 13 OF 107 SITE PLAN | |

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

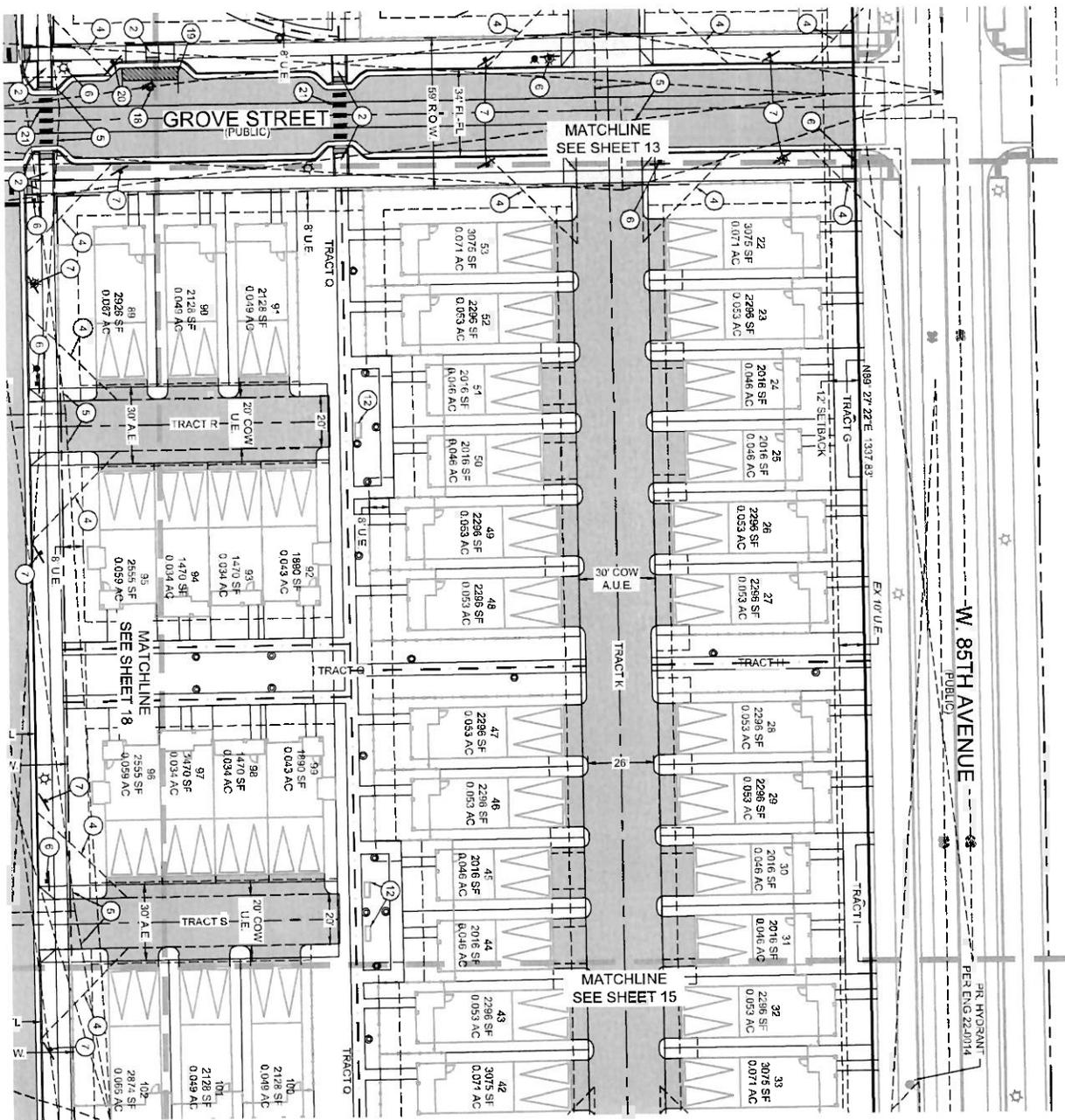
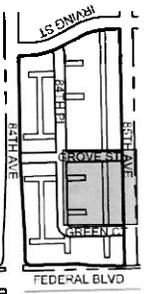
DATE: 05.02.2024

HRGreen

ABBREVIATIONS:
 A/E - PUBLIC ACCESS EASEMENT
 COW A U E - PUBLIC ACCESS & COW UTILITY EASEMENT
 G.E. - GAS EASEMENT
 COW U.E. - COW UTILITY EASEMENT
 U.E. - UTILITY EASEMENT
 S.W. - SIDEWALK

PR - PRIVATE LIGHT POLE
 PR - PUBLIC LIGHT POLE PER ENG 22-2014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 14 OF 107



LEGEND:

- 1 PR FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGN TRIANGLE
- 6 STOP SIGN (R1-1)
- 7 NO PARKING
- 8 FIRE LANE SIGN
- 9 SCREEN WALL
- 10 ACCENT WALL
- 11 BIKE RACK
- 12 MAIL KIOSK
- 13 BENCH
- 14 UMBRELLA TABLE
- 15 SHADE PAVILION
- 16 PICNIC TABLE
- 17 OUTDOOR KITCHEN
- 18 PLAY STRUCTURE
- 19 ACCESSIBLE PARKING SYMBOL PER MUTD FIGURE 3B.22
- 20 ACCESSIBLE PARKING STRIPING (45' & YELLOW STRIPING @ 2' O.C.)
- 21 ACCESSIBLE PARKING SIGN
- 22 2x6' CROSSWALK STRIPING

KEYNOTE LEGEND:

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CURB
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL PAILING

NOTES:

1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' WIDE UNLESS OTHERWISE NOTED
2. ALL PRIVATE WALKING TO SPD AND SFA ARE 4'
3. ALL PROPOSED CURB & GUTTER IS 6" VERTICAL
4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
5. MAINTENANCE OF HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS
6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC EXPENSES MAY EXIST TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 50' IN HEIGHT

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|---|
| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |
| 14 OF 107 SITE PLAN |

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

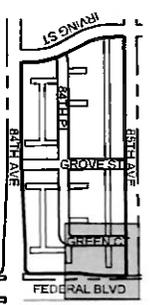
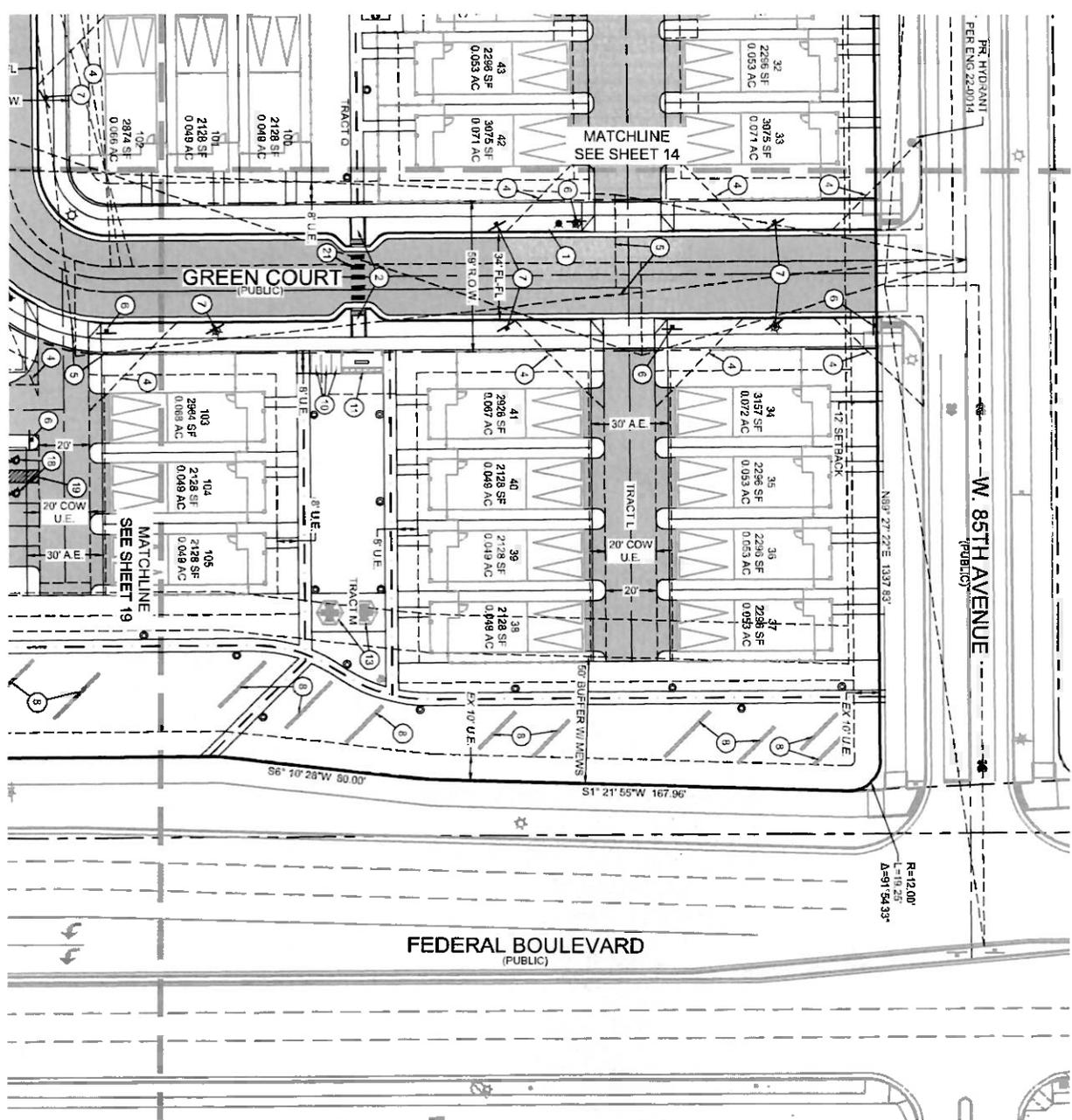
UPLANDS

DATE: 05.02.2024

HRGreen

- ABBREVIATIONS:**
- AE - PUBLIC ACCESS EASEMENT
 - COV AUE - PUBLIC ACCESS & COV UTILITY EASEMENT
 - GE - GAS EASEMENT
 - COV U.E. - COV UTILITY EASEMENT
 - U.E. - UTILITY EASEMENT
 - SW - SIDEWALK
 - PR - PRIVATE LIGHT POLE
 - PR - PUBLIC LIGHT POLE
 - PR - PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 15 OF 107



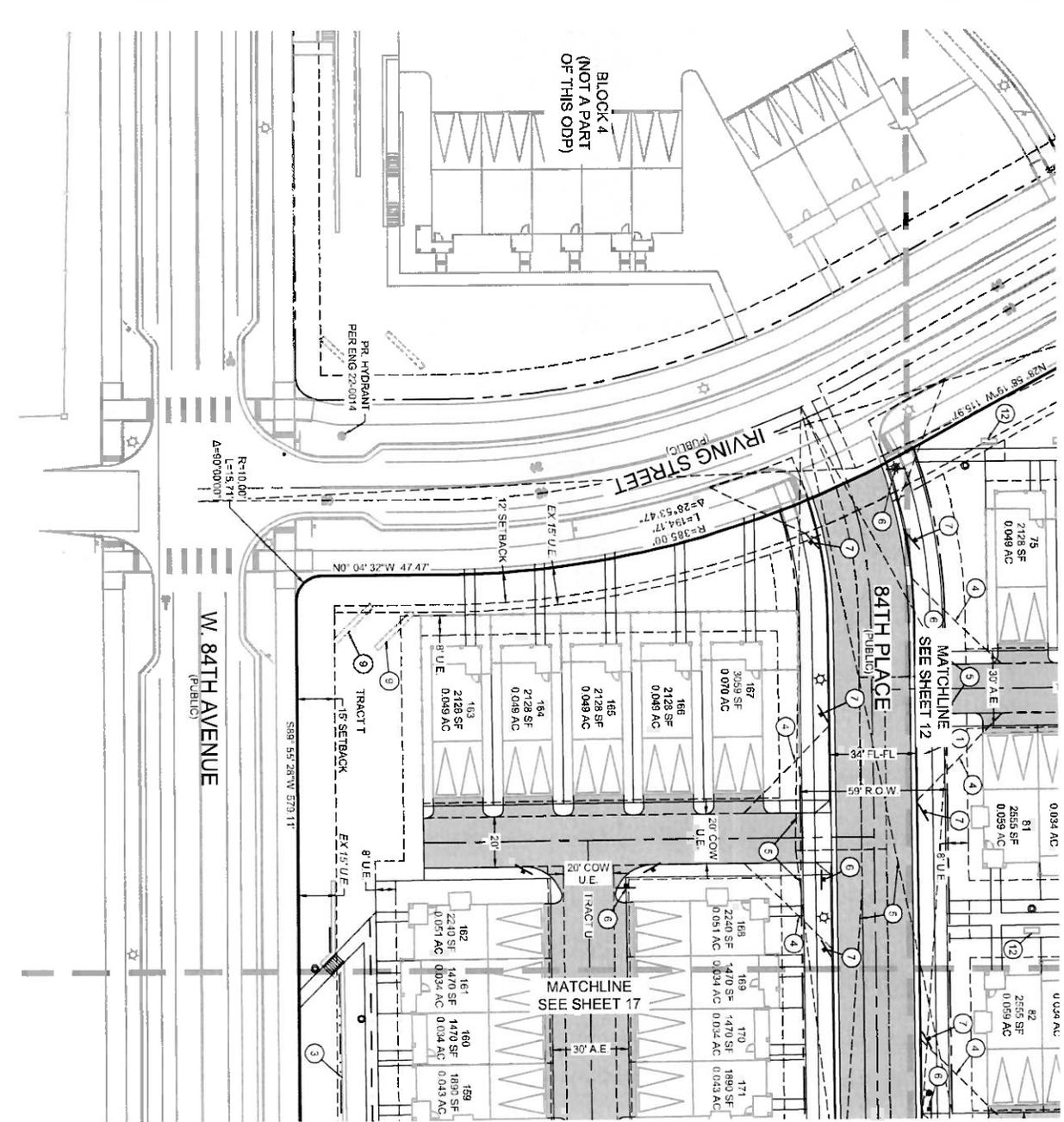
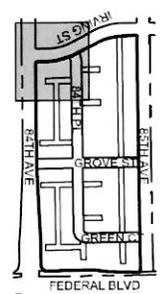
- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - RIGHT OF WAY
 - EASEMENT LINE
 - LOT LINE
 - ACCESSIBLE ROUTE
 - WALL RAILING
- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN (R1-1)
 - 7 NO PARKING/ FIRE LANE SIGN
 - 8 SCREEN WALL
 - 9 ACCENT WALL
 - 10 BIKE RACK
 - 11 MAIL BOX
 - 12 BENCH
 - 13 UMBRELLA TABLE
 - 14 SHADE PAVILION
 - 15 PONIC TABLE
 - 16 OUTDOOR KITCHEN
 - 17 PLAY STRUCTURE
 - 18 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 - 19 ACCESSIBLE PARKING STRIPING (45° 4" YELLOW STRIPING @ 2" O.C.)
 - 20 ACCESSIBLE PARKING SIGN
 - 21 2x5' CROSSWALK STRIPING

- NOTES:**
1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
 2. ALL PRIVATE WALKS TO SET AND STRAEN 4'
 3. ALL PROPOSED CURB & GUTTER IS 8" VERTICAL. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE FOOTPRINTS WILL BE ALLOWED PER THE FUTURE DESIGN DIVISION.
 4. MAINTENANCE OF PARKS
 5. UPLANDS HOA WILL BE RESPONSIBLE FOR ALL LIGHTS, LOCAL DAY ROW OR PUBLIC ACCESS EASEMENT AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

| | | | |
|--|--|---|--|
| <p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> <p align="center">REVISIONS</p> <p>SUB02: 03/07/24</p> <p>SUB03: 05/02/24</p> | <p>UPLANDS FILING NO. 1</p> <p>BLOCK 7</p> <p>OFFICIAL DEVELOPMENT PLAN</p> <p>WESTMINSTER, COLORADO</p> | <p>UPLANDS</p> <p>DATE: 05.02.2024</p> | |
| <p>15 OF 107</p> <p>SITE PLAN</p> | | | |

- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
 - COV. R.U.E. - PUBLIC ACCESS & COV. UTILITY EASEMENT
 - COV. U.E. - PUBLIC UTILITY EASEMENT
 - U.E. - UTILITY EASEMENT
 - SW - SIDEWALK
 - PR - PRIVATE LIGHT POLE
 - PR - PUBLIC LIGHT POLE
 - PR - PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 16 OF 107



- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - REQUIRED CONCRETE
 - RIGHT OF WAY
 - EASEMENT LINE
 - LOT LINE
 - ACCESSIBLE ROUTE
 - WALL RAILING
- KEYNOTE LEGEND:**
- 1 PR. FIRE HYDRANT
 - 2 CURB RAMP
 - 3 USE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
 - 4 LANDSCAPE TRIANGLE
 - 5 SIGHT TRIANGLE
 - 6 STOP SIGN (R+1)
 - 7 NO PARKING
 - 8 FIRE LANE SIGN
 - 9 SCREEN WALL
 - 10 ACCENT WALL
 - 11 BIKE RACK
 - 12 MAIL KIOSK
 - 13 BENCH
 - 14 UMBRELLA TABLE
 - 15 SHADE PAVILION
 - 16 PICNIC TABLE
 - 17 OUTDOOR KITCHEN
 - 18 PLAY STRUCTURE
 - 19 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
 - 20 ACCESSIBLE PARKING STRIPING (45° YELLOW STRIPING @ 2' O.C.)
 - 21 ACCESSIBLE PARKING SIGN
 - 22 2x6 CROSSWALK STRIPING

- NOTES:**
- 1 ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
 - 2 ALL PRIVATE WALKS TO SPD AND SEA ARE 4'
 - 3 ALL PROPOSED CURB & GUTTER IS 6" VERTICAL PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
 - 4 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS
 - 5 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC EXTENS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT

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|---|
| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |
| 16 OF 107 SITE PLAN |

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

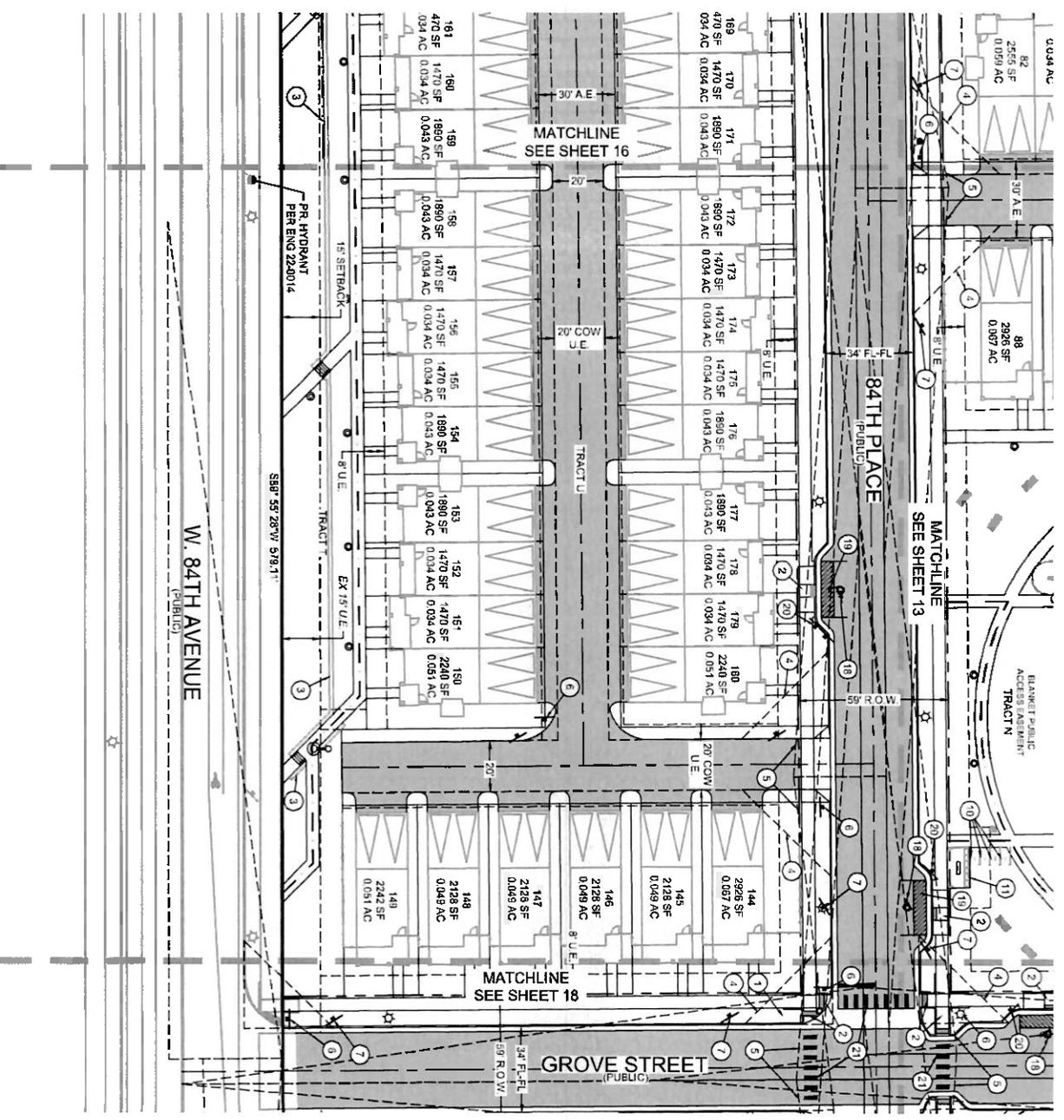
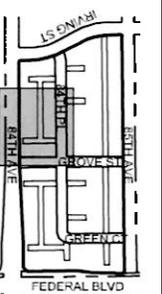
UPLANDS

DATE: 05.02.2024

HRGreen

- ABBREVIATIONS:**
 A.E. - PUBLIC ACCESS EASEMENT
 C.O.W.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 C.O.W.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 C.O.W.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 U.E. - UTILITY EASEMENT
 S.W. - SIDEWALK
 P.R. - PRIVATE LIGHT POLE
 P.P. - PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 17 OF 107



LEGEND:

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING

KEYNOTE LEGEND:

- 1 P.R. FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 RIGHT TRIANGLE
- 6 STOP SIGN (R-1)
- 7 NO PARKING
- 8 FIRE LANE SIGN
- 9 SCREEN WALL
- 10 ACCENT WALL
- 11 BIKE RACK
- 12 MAIL KIOSK
- 13 BENCH
- 14 UMBRELLA TABLE
- 15 SHADE PANLON
- 16 PICNIC TABLE
- 17 OUTDOOR KITCHEN
- 18 PLAY STRUCTURE
- 19 ACCESSIBLE PARKING SWINGOL PER MUTCO FIGURE 36.22
- 20 ACCESSIBLE PARKING STRIPING (45" x 9" YELLOW STRIPING @ 2' O.C.)
- 21 ACCESSIBLE PARKING SIGN
- 22 2x6 CROSSWALK STRIPING

NOTES:

- 1 ALL PROPOSED, PUBLIC SIDEWALKS ARE 5' MIN. WIDE.
- 2 ALL PRIVATE WALKS TO SPD AND SEA AREA.
- 3 ALL PROPOSED CURB & GUTTER IS 6" VERTICAL. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
- 4 UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
- 5 ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
- 6 EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 6' IN HEIGHT.

UPLANDS

DATE: 05.02.2024



UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

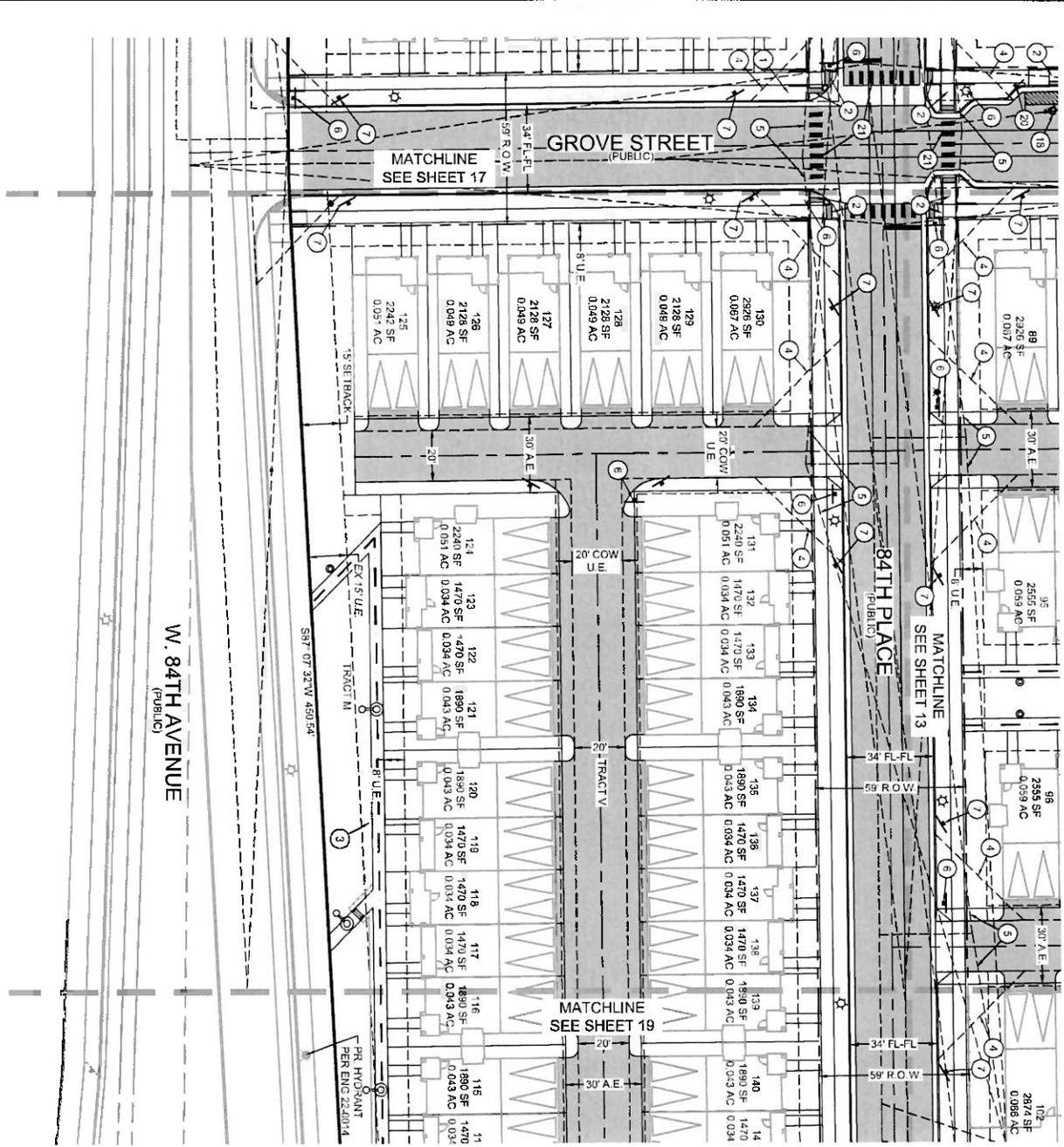
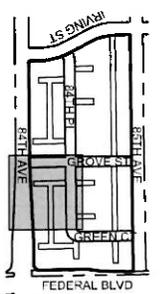
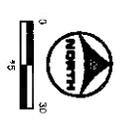
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| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

17 OF 107
 SITE PLAN

ABBREVIATIONS:
 A.E. - PUBLIC ACCESS EASEMENT
 C.O.W. A.U.E. - PUBLIC ACCESS & C.O.W. UTILITY EASEMENT
 G.E. - GAS EASEMENT
 C.O.W. U.E. - C.O.W. UTILITY EASEMENT
 U.E. - UTILITY EASEMENT
 S.W. - SIDEWALK

PR PRIVATE LIGHT POLE
 PR PUBLIC LIGHT POLE
 PR PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 18 OF 107



LEGEND:
 ——— PROPERTY LINE
 - - - - - REQUIRED SETBACK
 - - - - - EDGE OF CONCRETE
 - - - - - RIGHT OF WAY
 - - - - - EASEMENT LINE
 - - - - - LOT LINE
 - - - - - ACCESSIBLE ROUTE
 - - - - - WALL PAULING

KEYNOTE LEGEND:
 1 PR FIRE HYDRANT
 2 CURB RAMP
 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
 4 LANDSCAPE TRIANGLE
 5 SIGHT TRIANGLE
 6 STOP SIGN (R-1)
 7 NO PARKING / FIRE LANE SIGN
 8 SCREEN WALL
 9 ACCENT WALL
 10 BIKE RACK
 11 MAIL KIOSK
 12 BENCH
 13 UMBRELLA TABLE
 14 SHADE PAVILION
 15 PICNIC TABLE
 16 OUTDOOR KITCHEN
 17 PLAY STRUCTURE
 18 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 8E.22
 19 ACCESSIBLE PARKING STRIPING (45' + YELLOW STRIPING @ 2' O.C.)
 20 ACCESSIBLE PARKING SIGN
 21 2x6' CROSSWALK STRIPING

NOTES:
 1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
 2. ALL PRIVATE WALKS TO SPD AND SFA ARE 4'
 3. ALL PROPOSED CURB & BUILT TERRIS'S VERTICAL PLEASE SEE BUILDING AND LOT TERRAINS FOR FURTHER DETAILS AND CHANGES WITH THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
 4. MAINTENANCE OF PARKS
 5. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
 6. EXACT PAULING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.

UPLANDS
 HRGreen
 DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

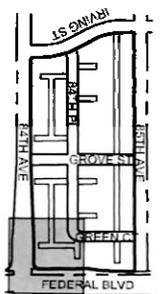
REVISIONS

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| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

18 OF 107
 SITE PLAN

- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
 - COW U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - COW UTILITY EASEMENT
 - SM - SIDEWALK
 - PS - PRIVATE LIGHT POLE
 - PL - PUBLIC LIGHT POLE
 - PR - PUBLIC LIGHT POLE PER ENG 22-00-14

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 19 OF 107

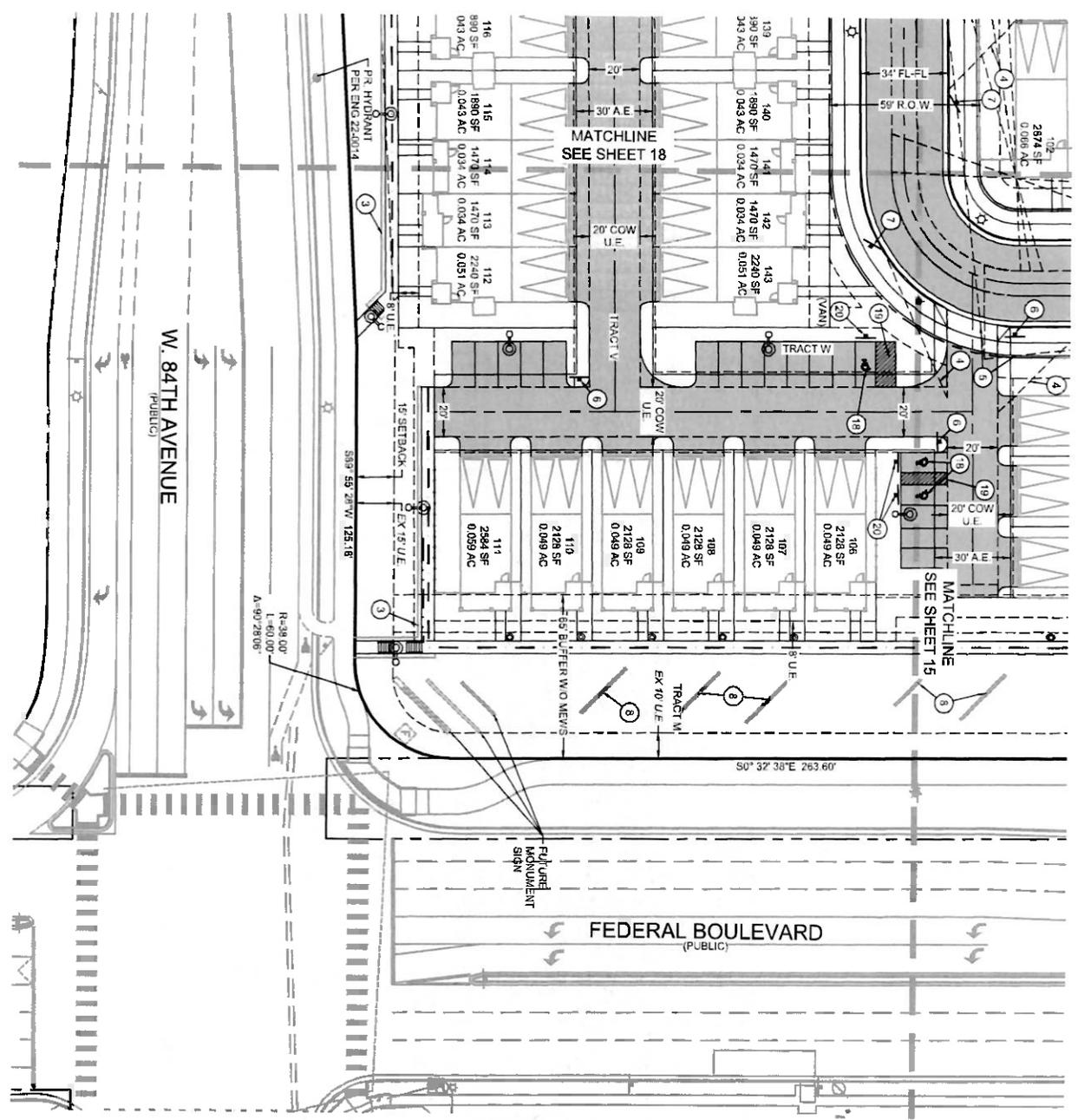


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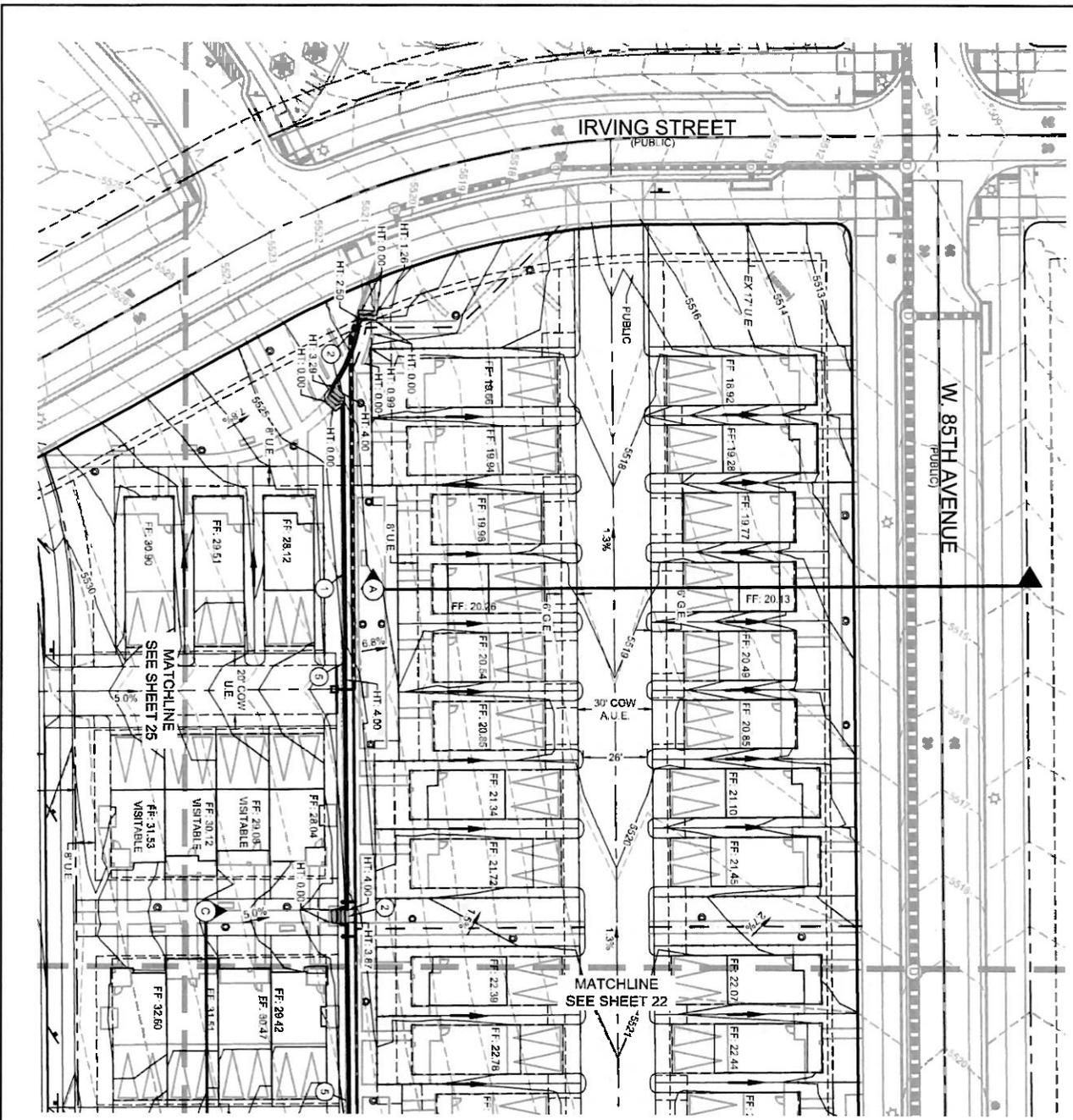
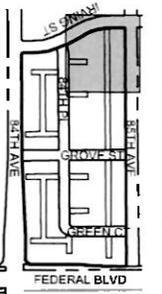
DATE: 05.02.2024

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 21 OF 107



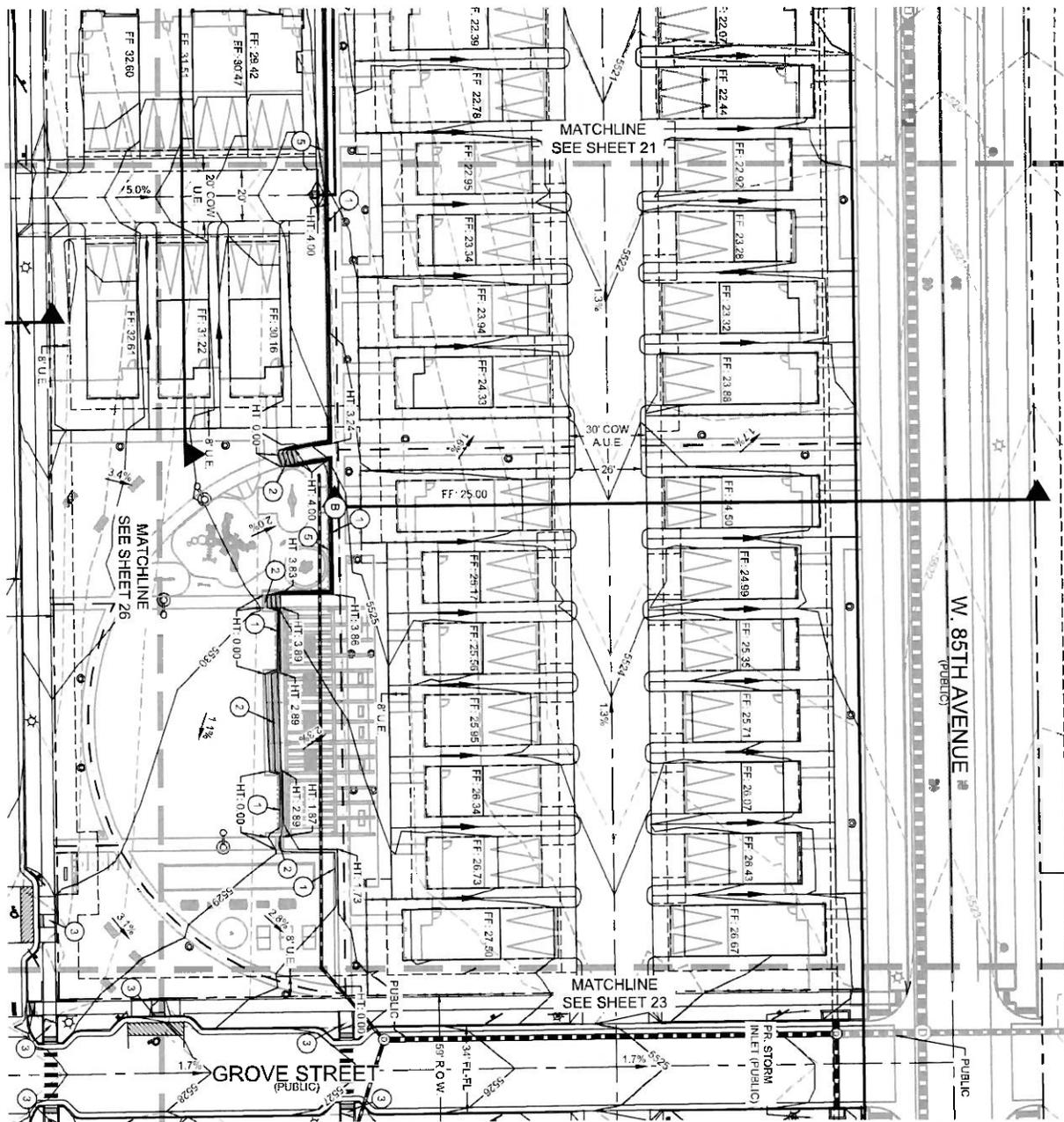
- LEGEND:**
- PROPERTY LINE
 - LOT BOUNDARY
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING
- ABBREVIATIONS:**
- HT - HEIGHT OF WALL FROM BOTTOM
 - AE - PUBLIC ACCESS EASEMENT
 - COV A - COMMON UTILITY EASEMENT
 - COV UE - COMMON UTILITY EASEMENT
 - GE - GAS EASEMENT
 - UE - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- 1 VARIABLE HEIGHT WISE WALL (SEE DETAIL ON SHEET 20)
 - 2 STAIRS
 - 3 SIDEWALK RAMPS
 - 4 SIDEWALK CHASE
 - 5 WALL RAILING

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE. UNLESS OTHERWISE NOTED, SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



| | | | | | | | |
|--|-----------------|--|-----------------|--|--|---|---------------------------------------|
| <p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">SUB02: 03/07/24</td> <td style="width: 50%;"></td> </tr> <tr> <td>SUB03: 05/02/24</td> <td></td> </tr> </table> | SUB02: 03/07/24 | | SUB03: 05/02/24 | | <p>UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p> | <p>UPLANDS</p> <p>DATE: 05.02.2024</p> | <p>H3 HRGreen</p> |
| SUB02: 03/07/24 | | | | | | | |
| SUB03: 05/02/24 | | | | | | | |
| <p>21 OF 107 GRADING PLAN</p> | | | | | | | |

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 22 OF 107



- LEGEND:**
- PROPERTY LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING
- ABBREVIATIONS:**
- HT - HEIGHT OF WALL FROM BOTTOM
 - AE - PUBLIC ACCESS EASEMENT
 - COV A - COV. UTILITY EASEMENT
 - COV U.E. - COV. UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- 1 VARIABLE HEIGHT MSE WALL (SEE DETAIL ON SHEET 20)
 - 2 STAIRS
 - 3 SIDEWALK RAMPS
 - 4 SIDEWALK CHASE
 - 5 WALL RAILING
- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXERT'S MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30\"/>

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

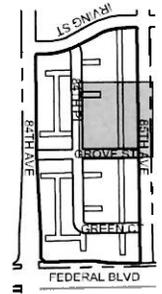
UPLANDS

DATE: 05.02.2024

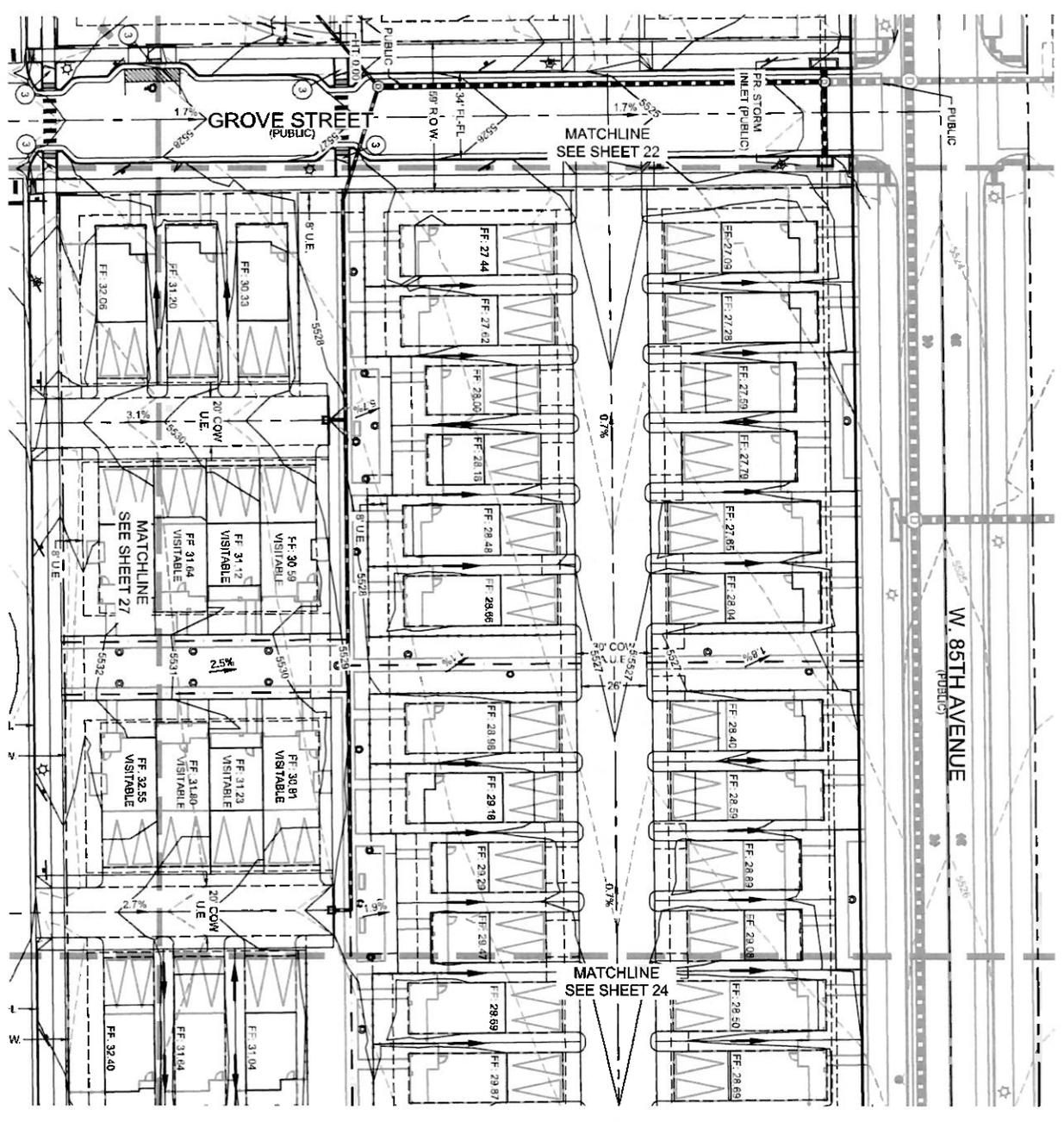
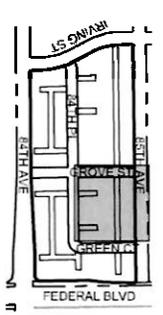
H3
 HRGreen

22 OF 107
 GRADING PLAN

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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 23 OF 107



LEGEND:

- PROPERTY LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:
 H1 - HEIGHT OF WALL FROM BOTTOM
 A.E. - PUBLIC ACCESS EASEMENT
 C.O.W. - CONVEYANCE
 C.O.W.U.E. - CONVEYANCE UTILITY EASEMENT
 U.E. - UTILITY EASEMENT

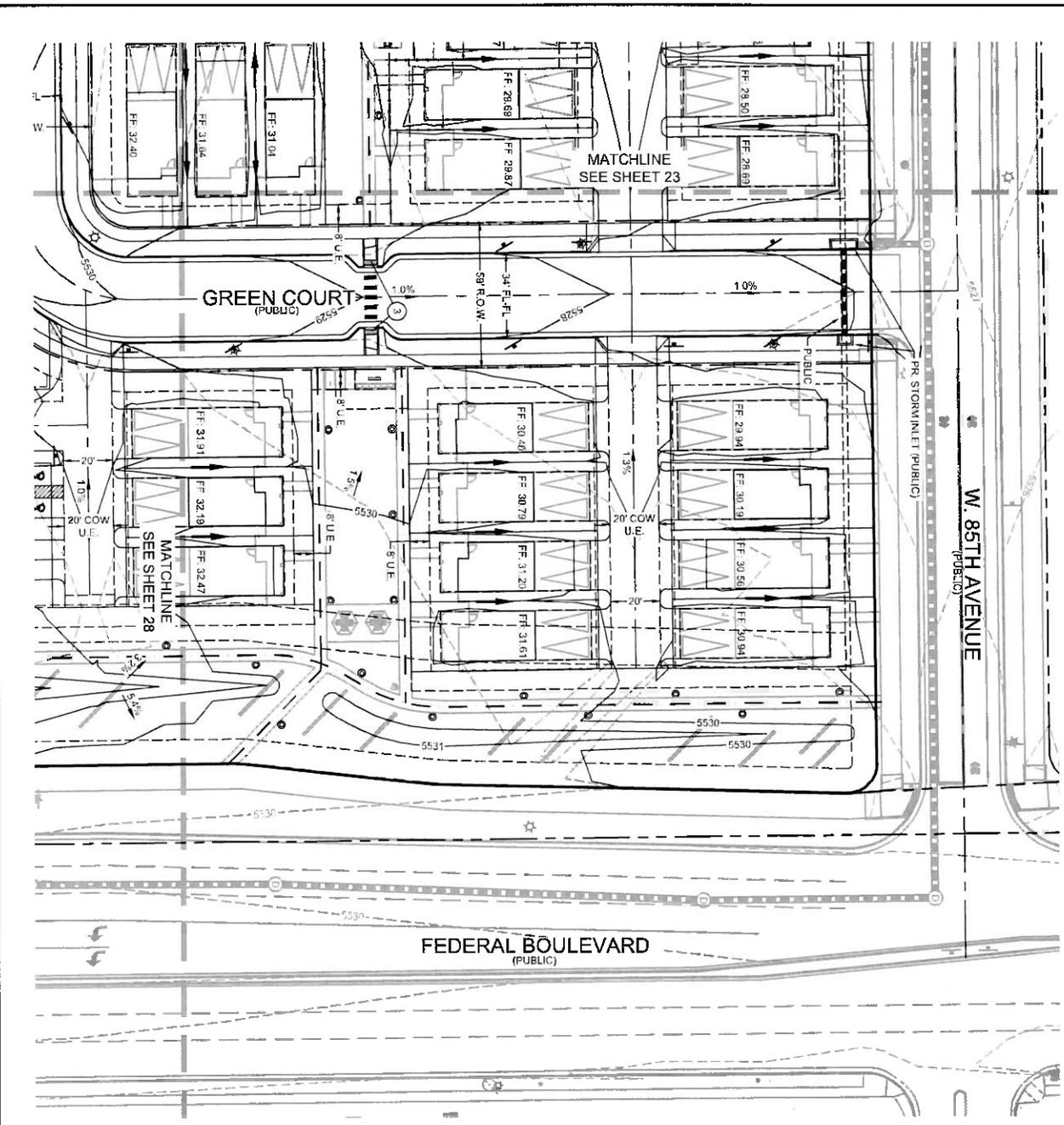
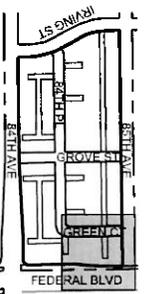
- KEYNOTE LEGEND:**
- 1 VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
 - 2 STAIRS
 - 3 SIDEWALK RAMP
 - 4 SIDEWALK CHASE
 - 5 WALL RAILING

NOTES:
 1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 2. ALL STORM SEWERS IN FRASER STRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED. SEE SHEET 28-31 FOR DETAILED PARK GRADING.



| | | | |
|--|--|---|-----------------------|
| <p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> <p>REVISIONS</p> <p>SUB02: 03/07/24</p> <p>SUB03: 05/02/24</p> | <p>UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p> | <p>UPLANDS</p> <p>DATE: 05.02.2024</p> | <p>H2Green</p> |
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 24 OF 107



LEGEND:

- PROPERTY LINE
- LOT LINE
- WALKWAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

- ABBREVIATIONS:**
- H1 - HEIGHT OF WALL FROM BOTTOM
 - A.E. - PUBLIC ACCESS EASEMENT
 - COV A - COM/UTILITY EASEMENT
 - COV U.E. - COM/UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

- 1 VARIABLE HEIGHT WISE WALL (SEE DETAIL, ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK/RAMPS
- 4 SIDEWALK CHASE
- 5 WALL RAILING

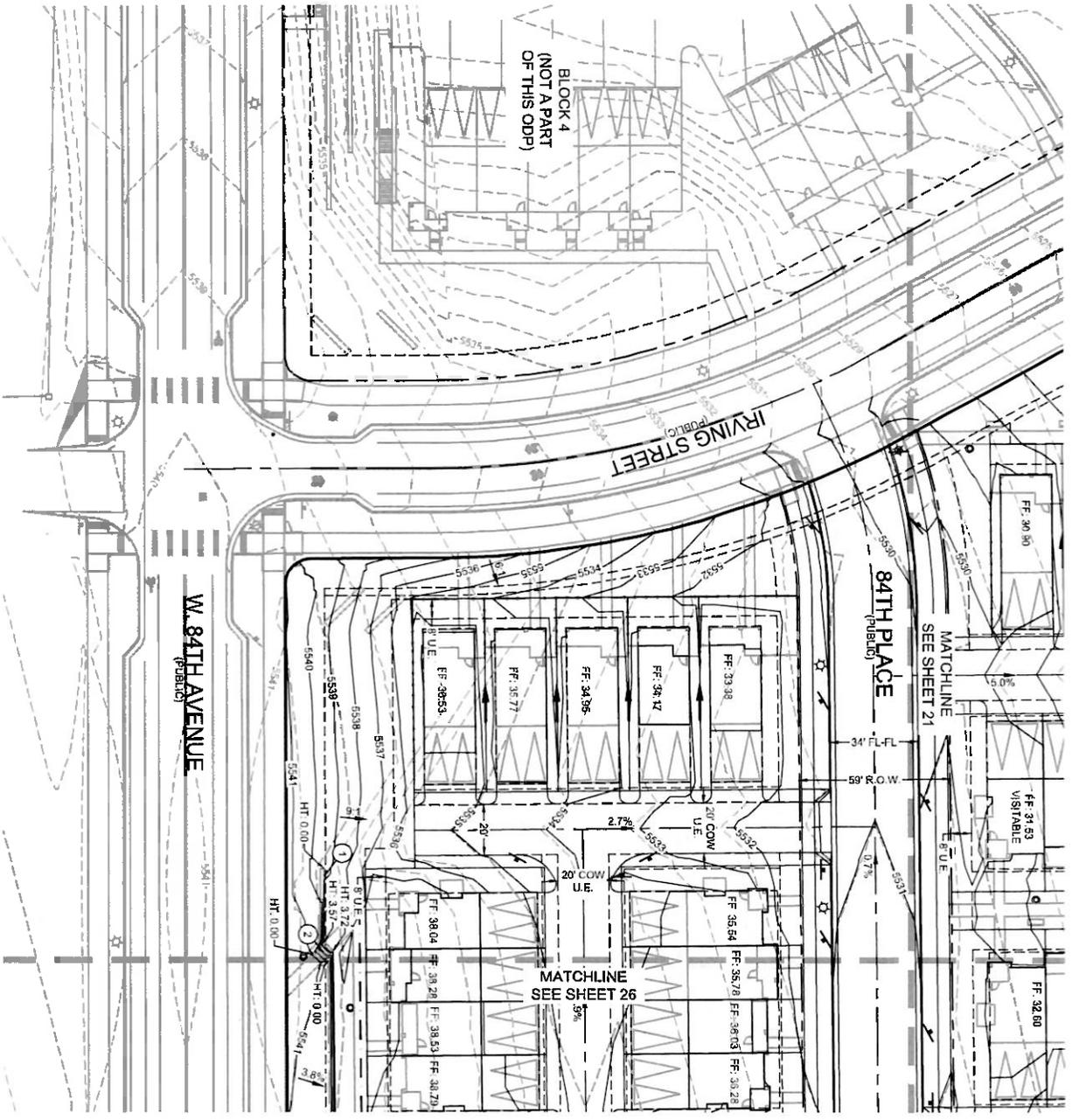
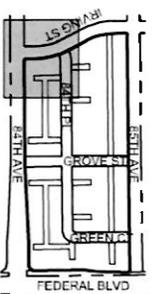
NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. HEIGHT OF RAMP SEWER INFRASTRUCTURE IS PRIVATE. UNLESS OTHERWISE NOTED, SEE SHEET 29-31 FOR DETAILED PARK GRADING.



| | | | | | | | |
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| <p>OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023</p> <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">SUB02: 03/07/24</td> <td style="width: 50%;"></td> </tr> <tr> <td>SUB03: 05/02/24</td> <td></td> </tr> </table> | SUB02: 03/07/24 | | SUB03: 05/02/24 | | <p>UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p> | <p>UPLANDS</p> <p>DATE: 05.02.2024</p> | |
| SUB02: 03/07/24 | | | | | | | |
| SUB03: 05/02/24 | | | | | | | |
| <p>24 OF 107 GRADING PLAN</p> | | | | | | | |

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 25 OF 107



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

- ABBREVIATIONS:**
- HT - HEIGHT
 - FL - FINISH FLOOR
 - U.E. - UTILITY EASEMENT
 - COV - COVERAGE
 - COV U.E. - COV. UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

KEYNOTE LEGEND:

- 1 VARIABLE HEIGHT INSE WALL (SEE DETAIL ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK RAMPS
- 4 SIDEWALK CHASE
- 5 WALL RAILING

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENSIONS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STAIRS SHALL BE IN A STRUCTURE IS POINT UNLESS OTHERWISE NOTED.
3. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



DATE: 05.02.2024

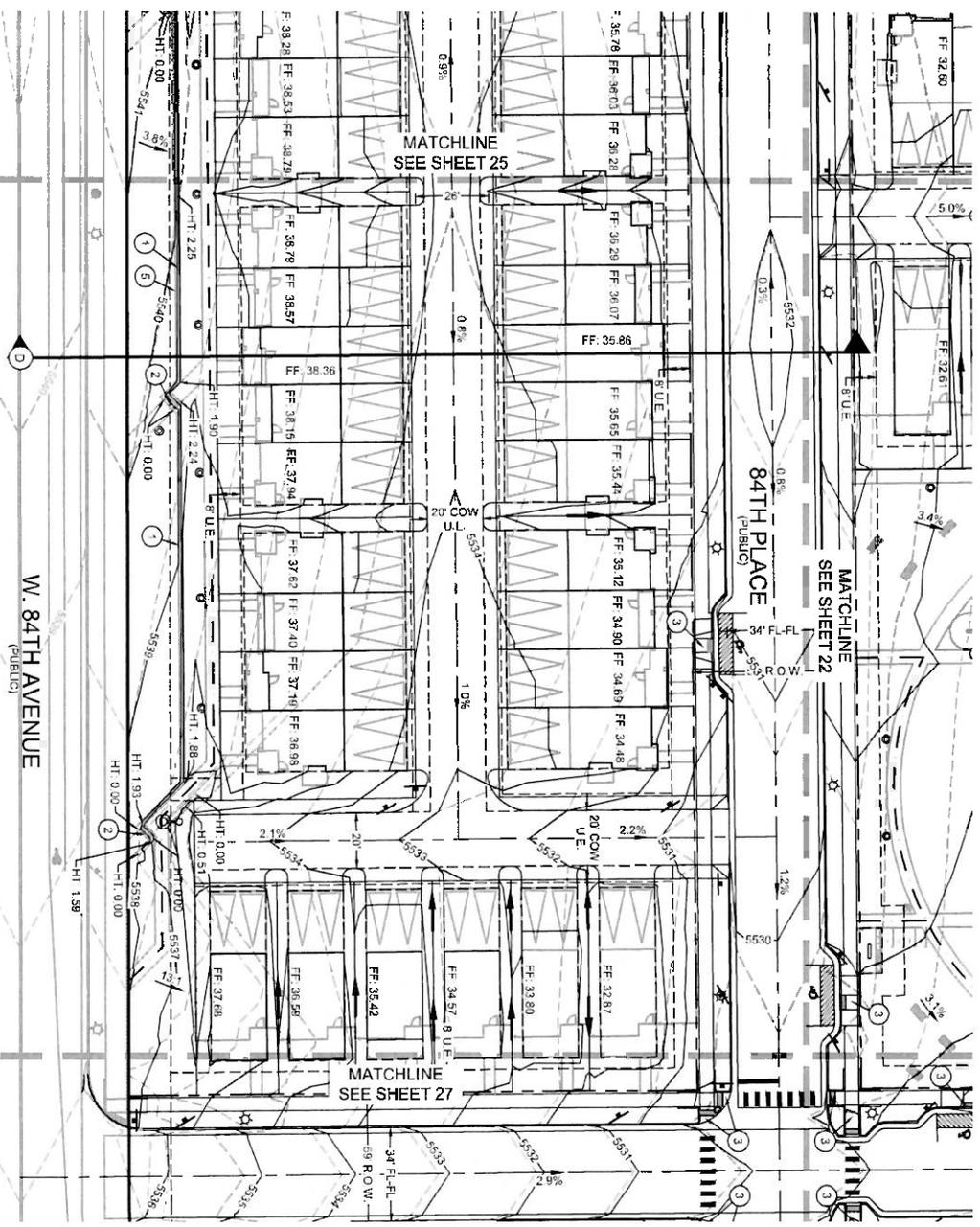
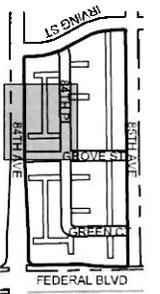


UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

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 GRADING PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 26 OF 107



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- 5500 PROPOSED MAJOR CONTOUR
- 5570 PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

ABBREVIATIONS:

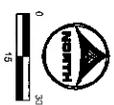
- HT - HEIGHT OF WALL FROM BOTTOM
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- GE - GAS EASEMENT
- UE - UTILITY EASEMENT

KEYNOTE LEGEND:

- 1 - VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
- 2 - STAIRS
- 3 - SIDEWALK RAMP
- 4 - SIDEWALK CHASE
- 5 - WALL RAILING

NOTES:

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENS. MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED. SEE SHEET 29-31 FOR DETAILED PARK GRADING.



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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
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| SUB03: 05/02/24 | |

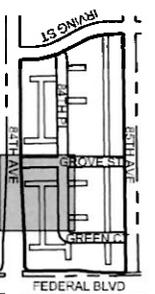
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS

DATE: 05.02.2024

H33
 HRGreen

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 27 OF 107



UPLANDS

DATE: 05.02.2024

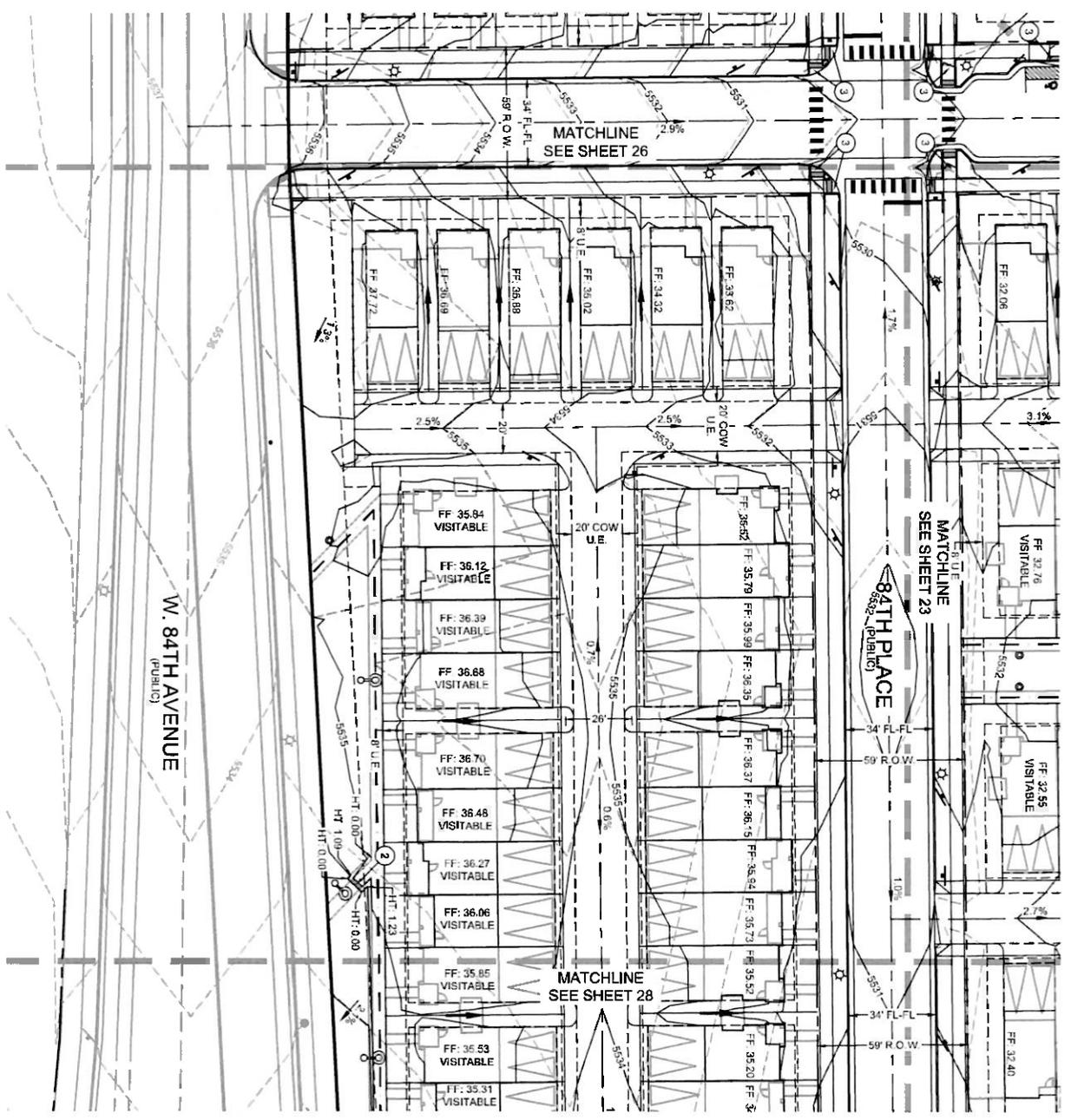
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

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27 OF 107
 GRADING PLAN



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SHALE
 - WALL RAILING

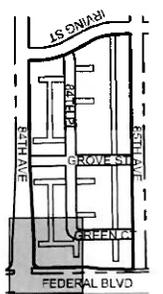
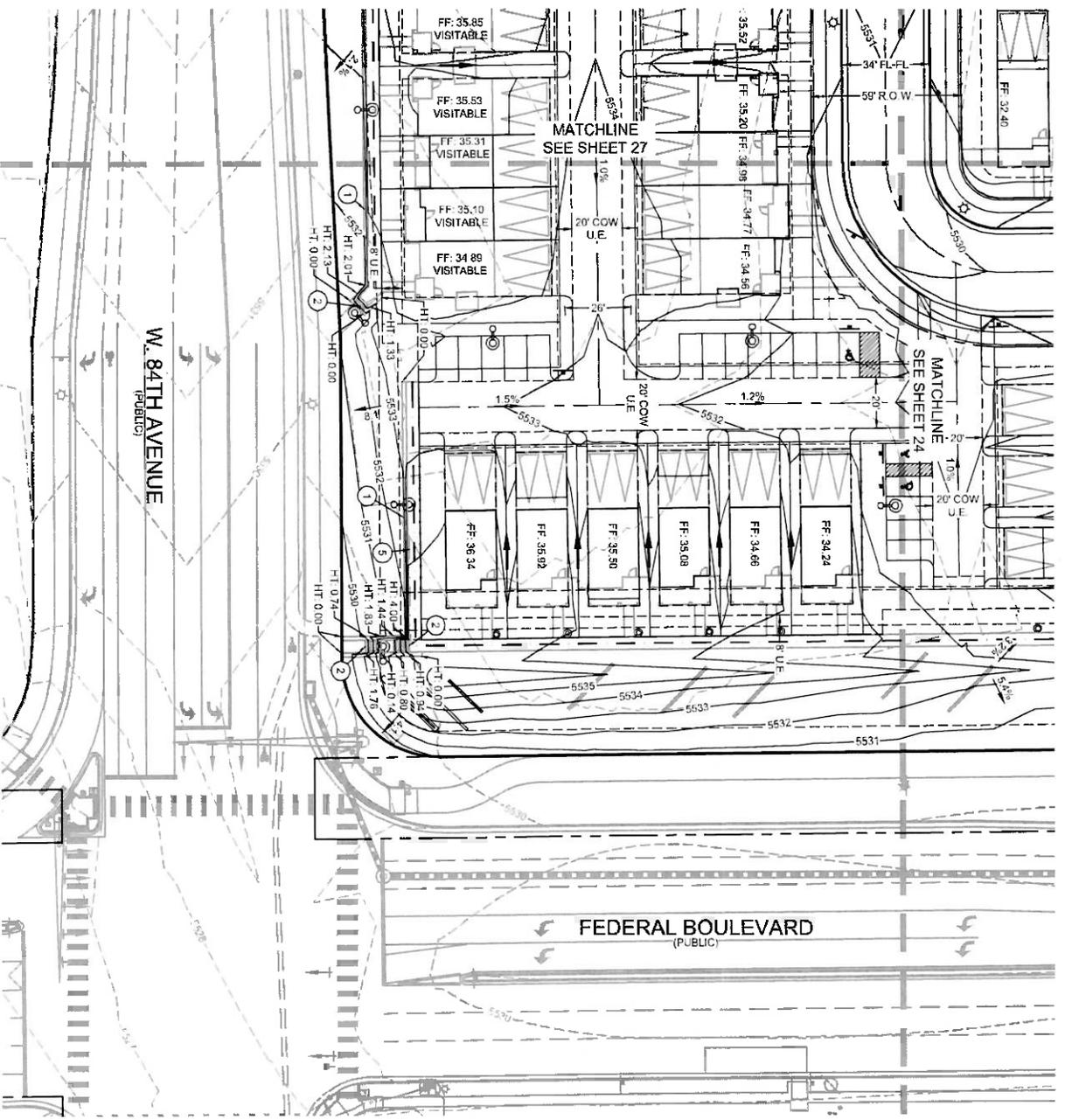
- ABBREVIATIONS:**
- HT - HEIGHT OF WALL FROM BOTTOM
 - A.E. - PUBLIC ACCESS EASEMENT
 - COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 - COW U.E. - COW UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

- KEYNOTE LEGEND:**
- 1 VARIABLE HEIGHT USE WALL (SEE DETAIL ON SHEET 20)
 - 2 STAIRS
 - 3 SIDEWALK RAMPS
 - 4 SIDEWALK CHASE
 - 5 WALL RAILING

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EASEMENTS MAY BE PROVIDED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 3' IN HEIGHT.
 2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 28 OF 107



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - SWALE
 - DRAINAGE ARROW
 - SWALE
 - WALL RAILING

- ABBREVIATIONS:**
- HT - HEIGHT OF WALL FROM BOTTOM
 - A.E. - PUBLIC ACCESS EASEMENT
 - COW & U.E. - PUBLIC ACCESS & COW/UTILITY EASEMENT
 - COW U.E. - COW/UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT
- KEYNOTE LEGEND:**
- ① VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
 - ② STAIRS
 - ③ SIDEWALK RAMP
 - ④ SIDEWALK CHASE
 - ⑤ WALL RAILING

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED. SEE SHEET 29-31 FOR DETAILED PARK GRADING.



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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
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| 28 OF 107 GRADING PLAN | |

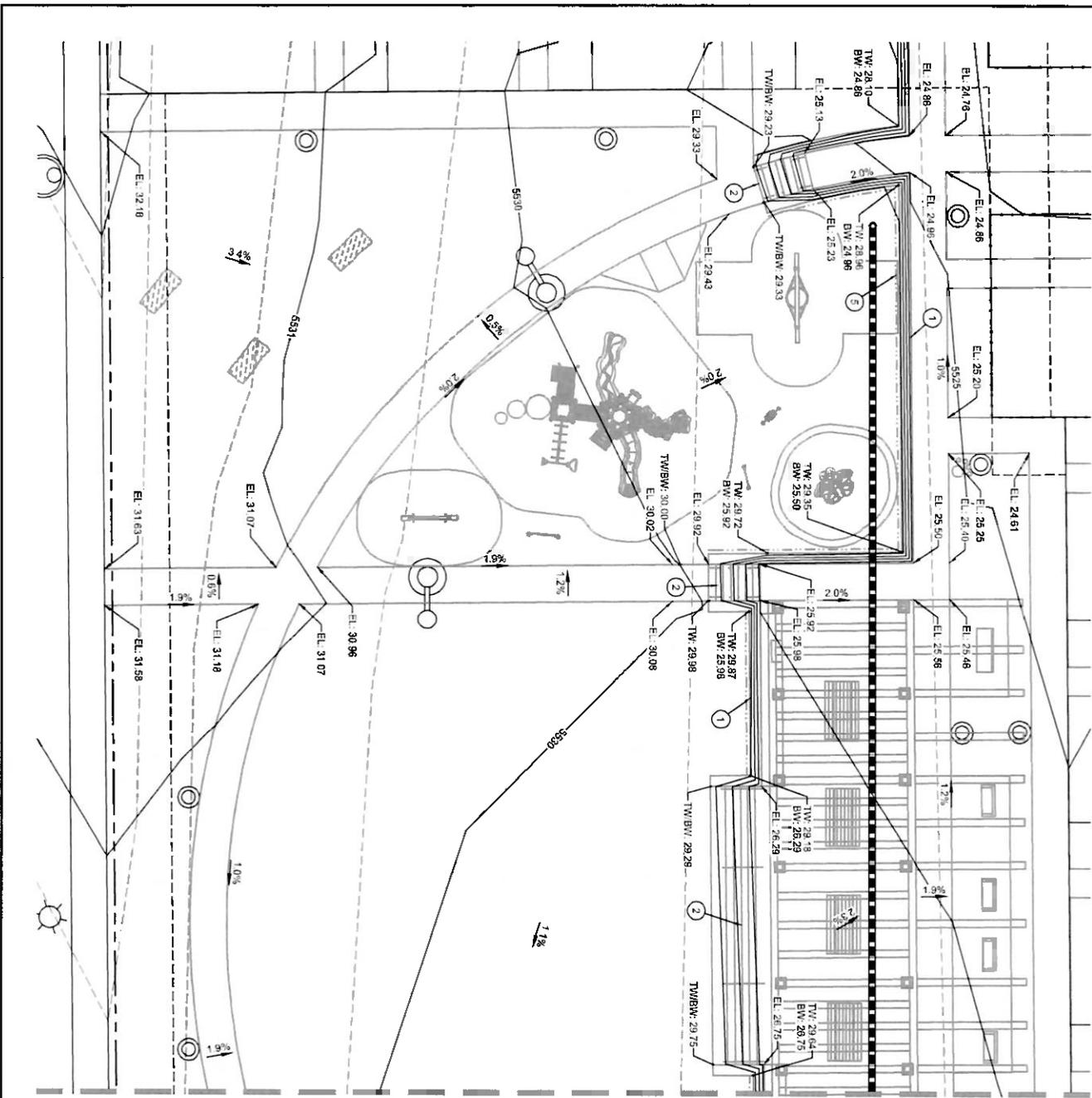
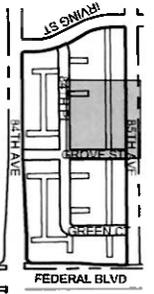
**UPLANDS FILING NO. 1
 BLOCK 7**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 29 OF 107



MATCHLINE
 SEE SHEET 30

LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE ARROW
- SWALE
- WALL RAILING

- ABBREVIATIONS:**
- HT - HEIGHT OF WALL FROM BOTTOM
 - AE - PUBLIC ACCESS EASEMENT
 - COV A/E - PUBLIC ACCESS & COV UTILITY EASEMENT
 - COV U/E - COV UTILITY EASEMENT
 - GE - GAS EASEMENT
 - U/E - UTILITY EASEMENT

KEYNOTE LEGEND:

- 1 VARIABLE HEIGHT MASE WALL (SEE DETAIL ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK RAMPS
- 4 SIDEWALK CHASE
- 5 WALL RAILING

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.
 - 3.



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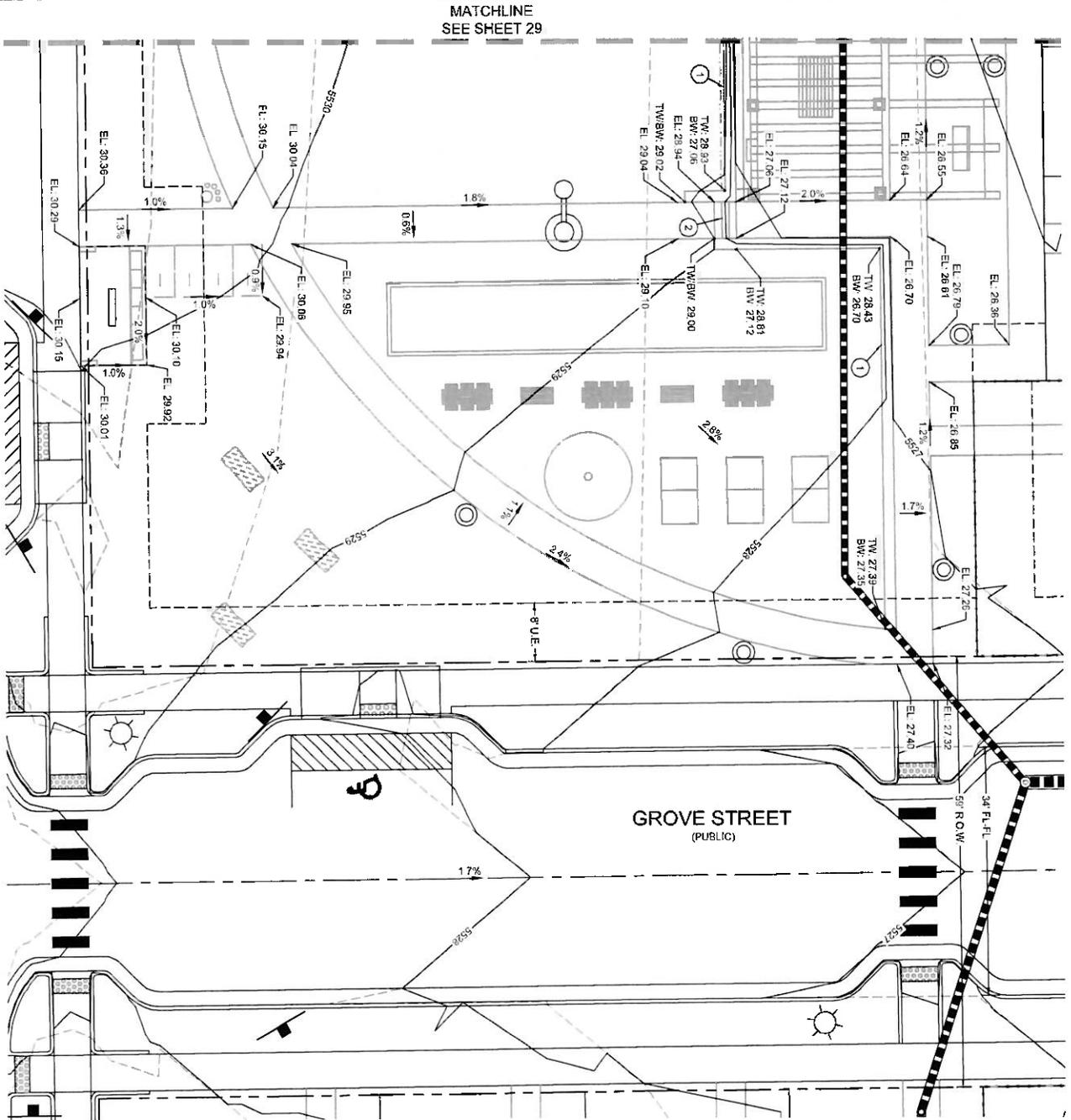
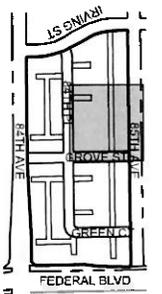
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS

DATE: 05.02.2024

H3
 HRgreen

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 30 OF 107



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - ACCESSIBLE ROUTE
 - DRAINAGE ARROW
 - SHALE
 - WALL PAULING

- ABBREVIATIONS:**
- HT - HEIGHT OF WALL FROM BOTTOM
 - A.E. - PUBLIC ACCESS EASEMENT
 - COV A.U.E. - PUBLIC ACCESS & COV UTILITY EASEMENT
 - COV U.L.E. - COV UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

- KEYNOTE LEGEND:**
- 1 VARIABLE HEIGHT WISE WALL (SEE DETAIL ON SHEET 20)
 - 2 STAIRS
 - 3 SIDEWALK & RAMPS
 - 4 SIDEWALK CHASE
 - 5 WALL PAULING

- NOTES:**
1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS SHALL BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
 2. ALL STORM SEWERS IN STRUCTURES IS PRIVATE UNLESS OTHERWISE NOTED. SEE SHEET 29 - 3' FOR DETAILED PARK GRADING.
 - 3.

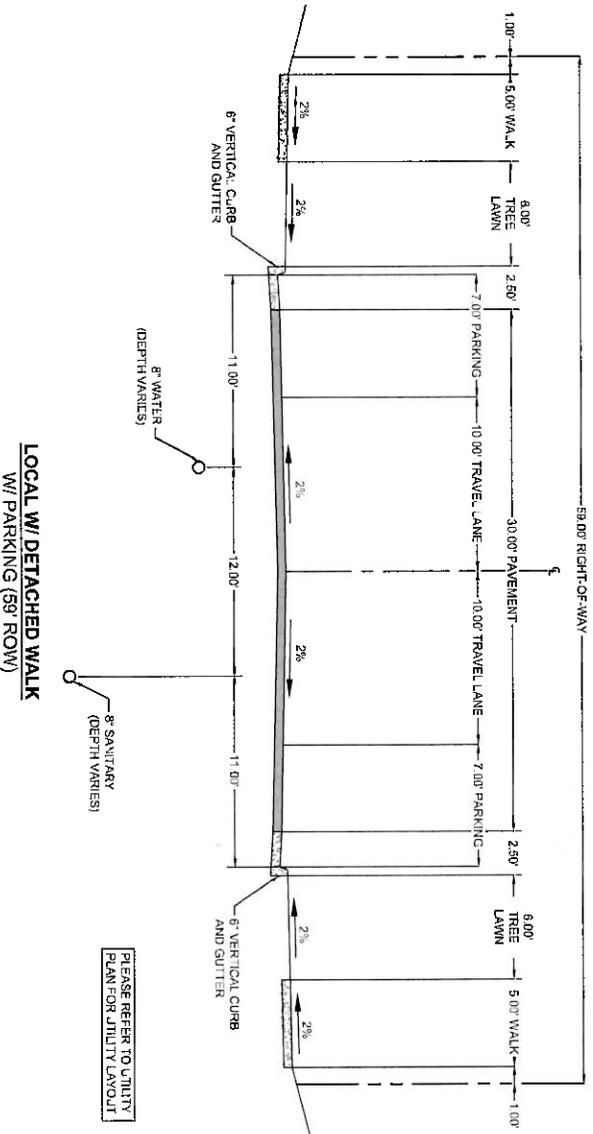
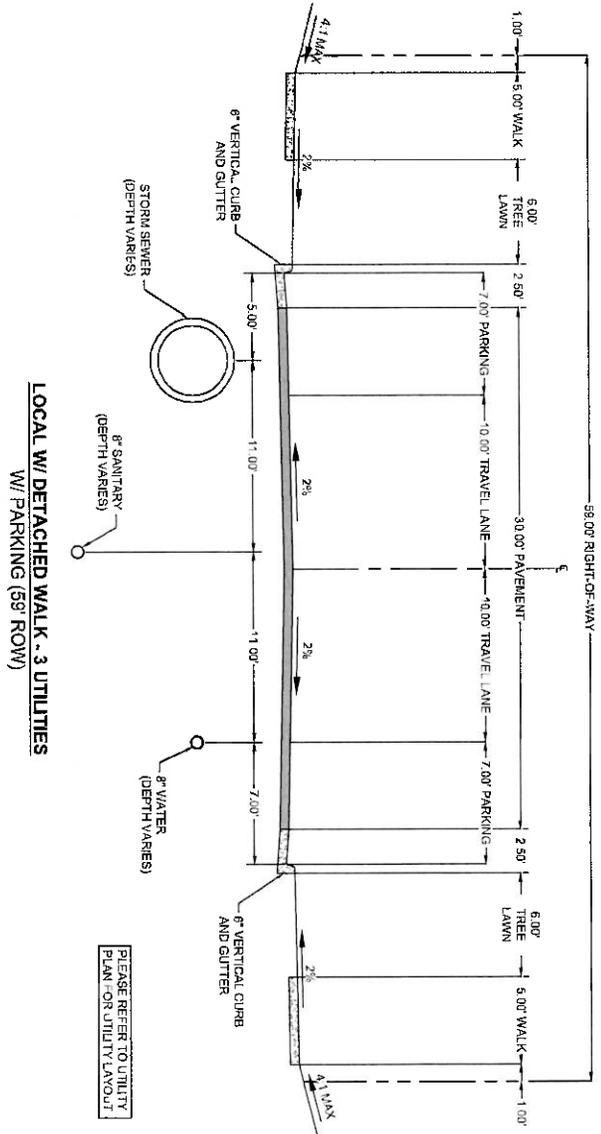


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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
| REVISIONS | |
| SUB02: 03/07/24 | |
| SUB03: 05/02/24 | |
| 30 OF 107 DETAILED GRADING PLAN | |

**UPLANDS FILING NO. 1
 BLOCK 7**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

DATE: 05.02.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 32 OF 107



UPLANDS

DATE: 05.02.2024

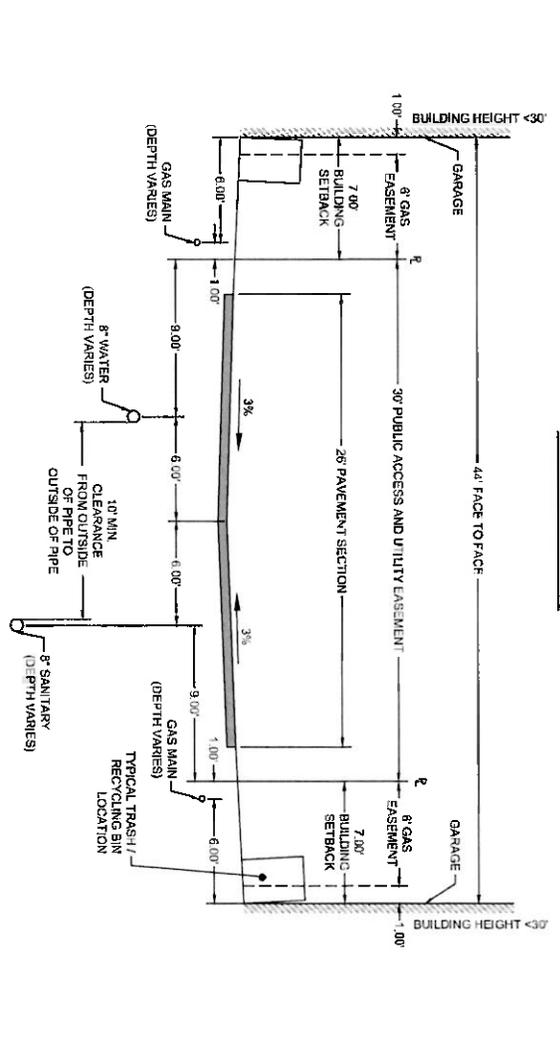
HPR
 HPRGreen

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

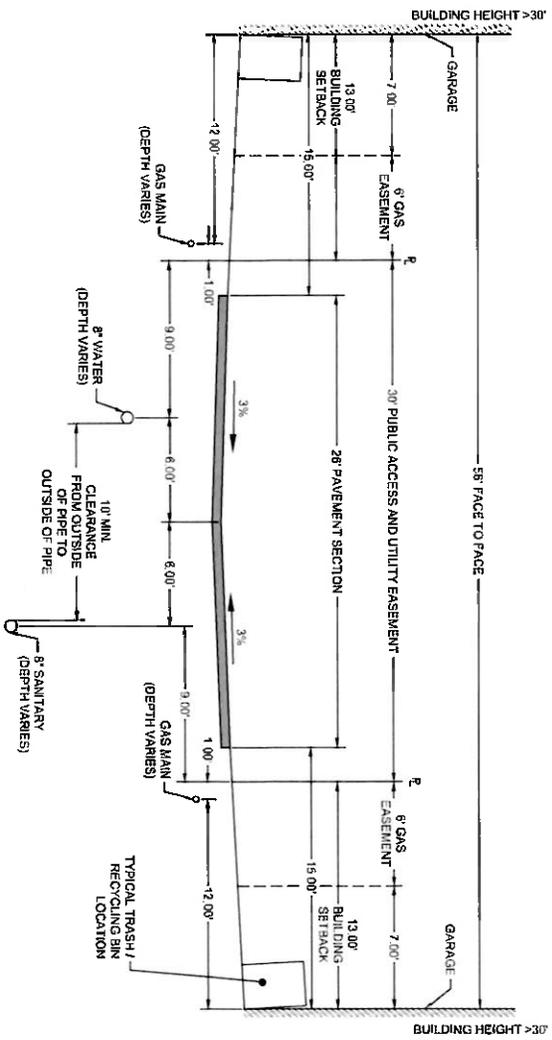
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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |
| 32 OF 107 TYPICAL STREET SECTIONS |

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 33 OF 107

TWO UTILITIES



30' ALLEY SECTION
 (NO PARKING, FIRE ACCESS)



30' ALLEY SECTION
 (NO PARKING, FIRE ACCESS)

| | |
|--------------------------------------|---|
| 33 OF 107 TYPICAL STREET SECTIONS | OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| | REVISIONS |
| | SUB02: 03/07/24 |
| | SUB03: 05/02/24 |

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

UPLANDS

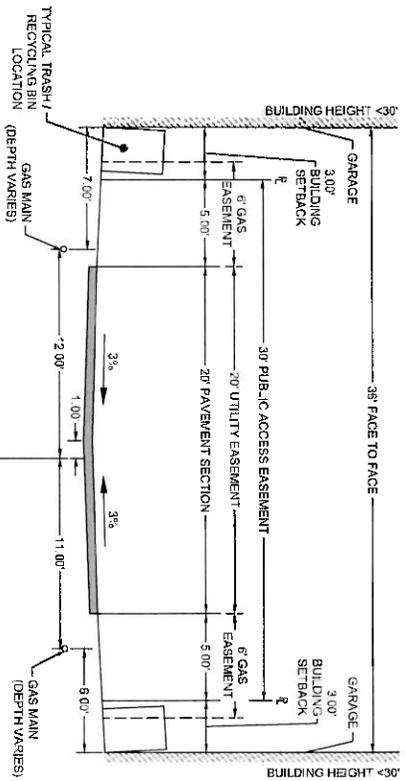
DATE: 05.02.2024

HRCgreen

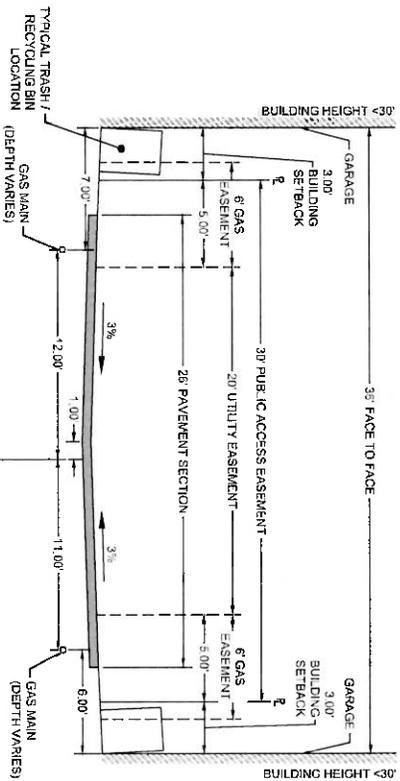
UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 34 OF 107

ONE UTILITY



**30' ALLEY SECTION
 (NO PARKING, NO FIRE ACCESS)**



**30' ALLEY SECTION
 (NO PARKING, FIRE ACCESS)**

PLEASE REFER TO UTILITY
 PLAN FOR UTILITY LAYOUT



UPLANDS

DATE: 05.02.2024

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

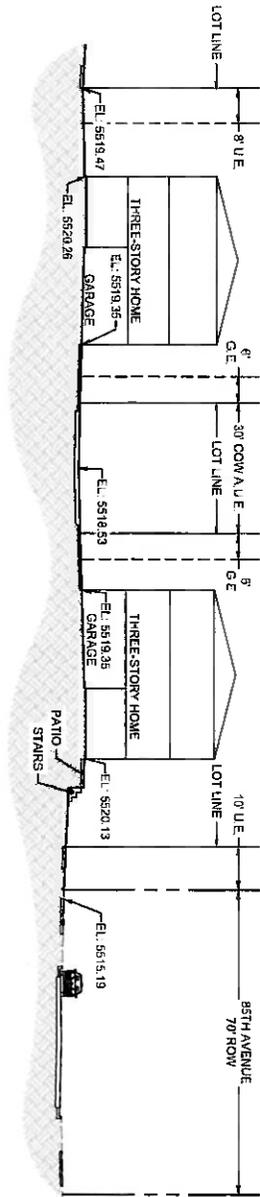
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

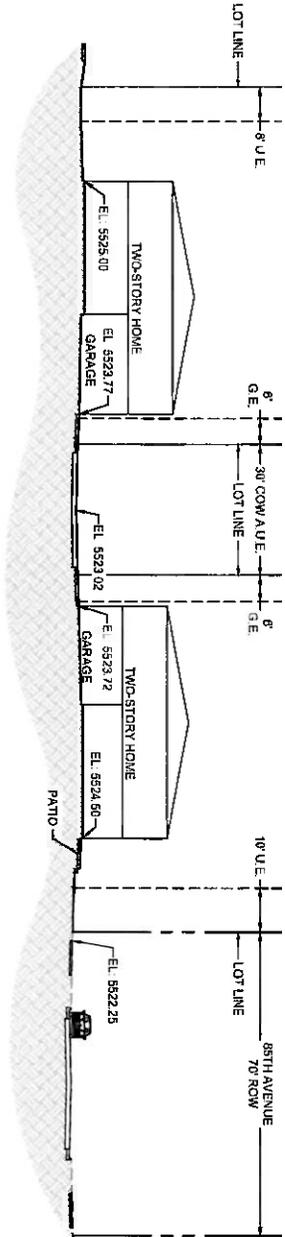
- SUB02: 03/07/24
- SUB03: 05/02/24

34 OF 107
 TYPICAL STREET SECTIONS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 35 OF 107



SECTION A-A
 SCALE: 1" = 20'



SECTION B-B
 SCALE: 1" = 20'



DATE: 05.02.2024



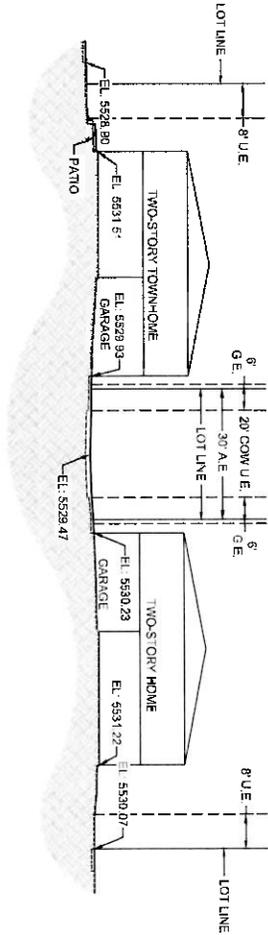
UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

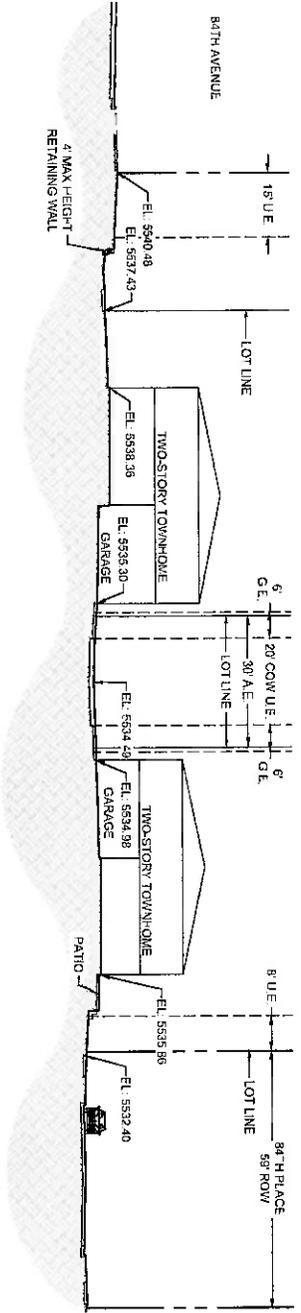
REVISIONS

- SUB02: 03/07/24
- SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 36 OF 107



SECTION C-C
 SCALE: 1" = 20'



SECTION D-D
 SCALE: 1" = 20'



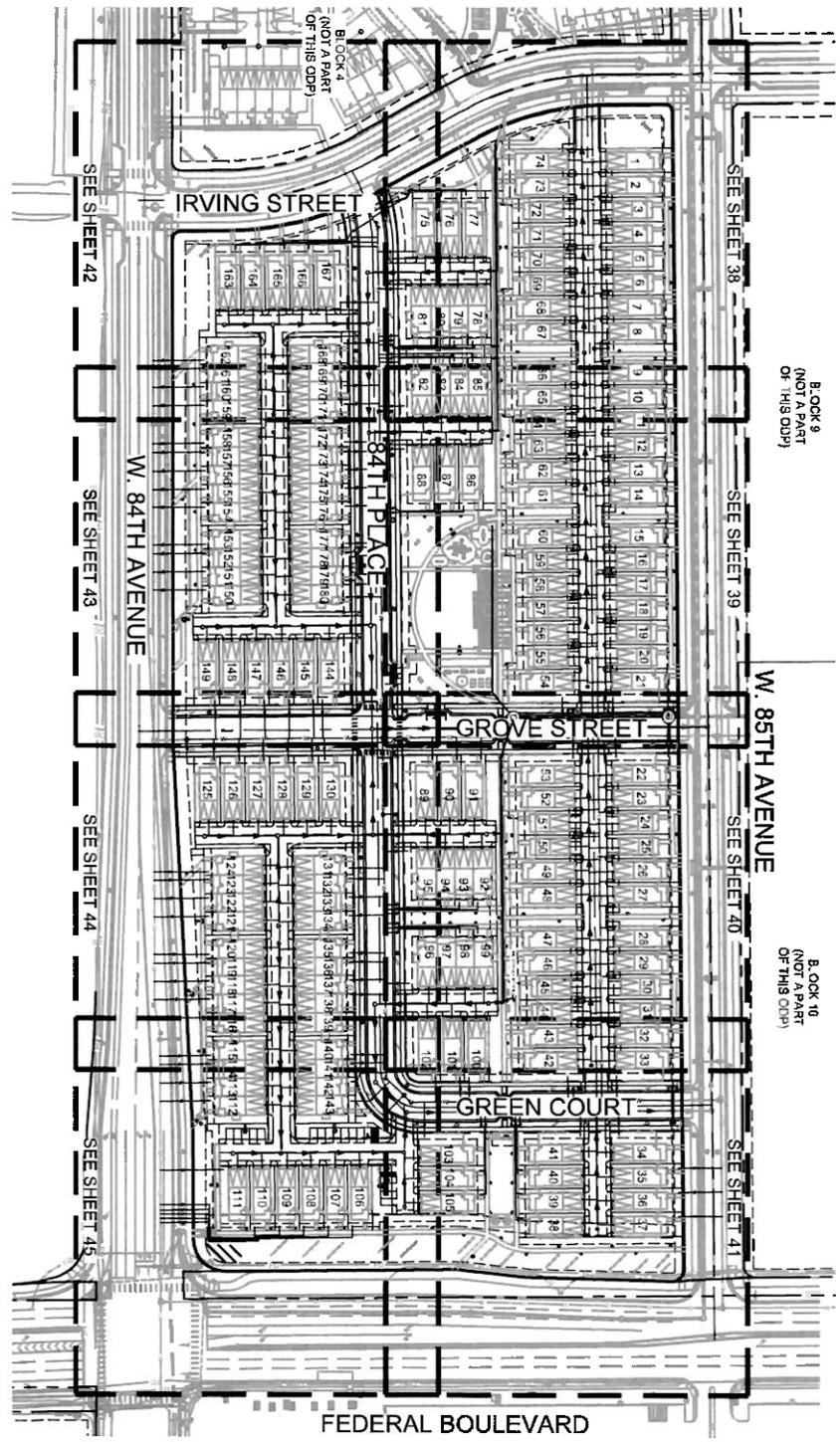
UPLANDS

DATE: 05.02.2024

**UPLANDS FILING NO. 1
 BLOCK 7**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

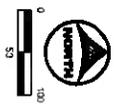
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 37 OF 107



BLOCK 9
 (NOT A PART
 OF THIS ODP)

BLOCK 10
 (NOT A PART
 OF THIS ODP)

BLOCK 4
 (NOT A PART
 OF THIS ODP)



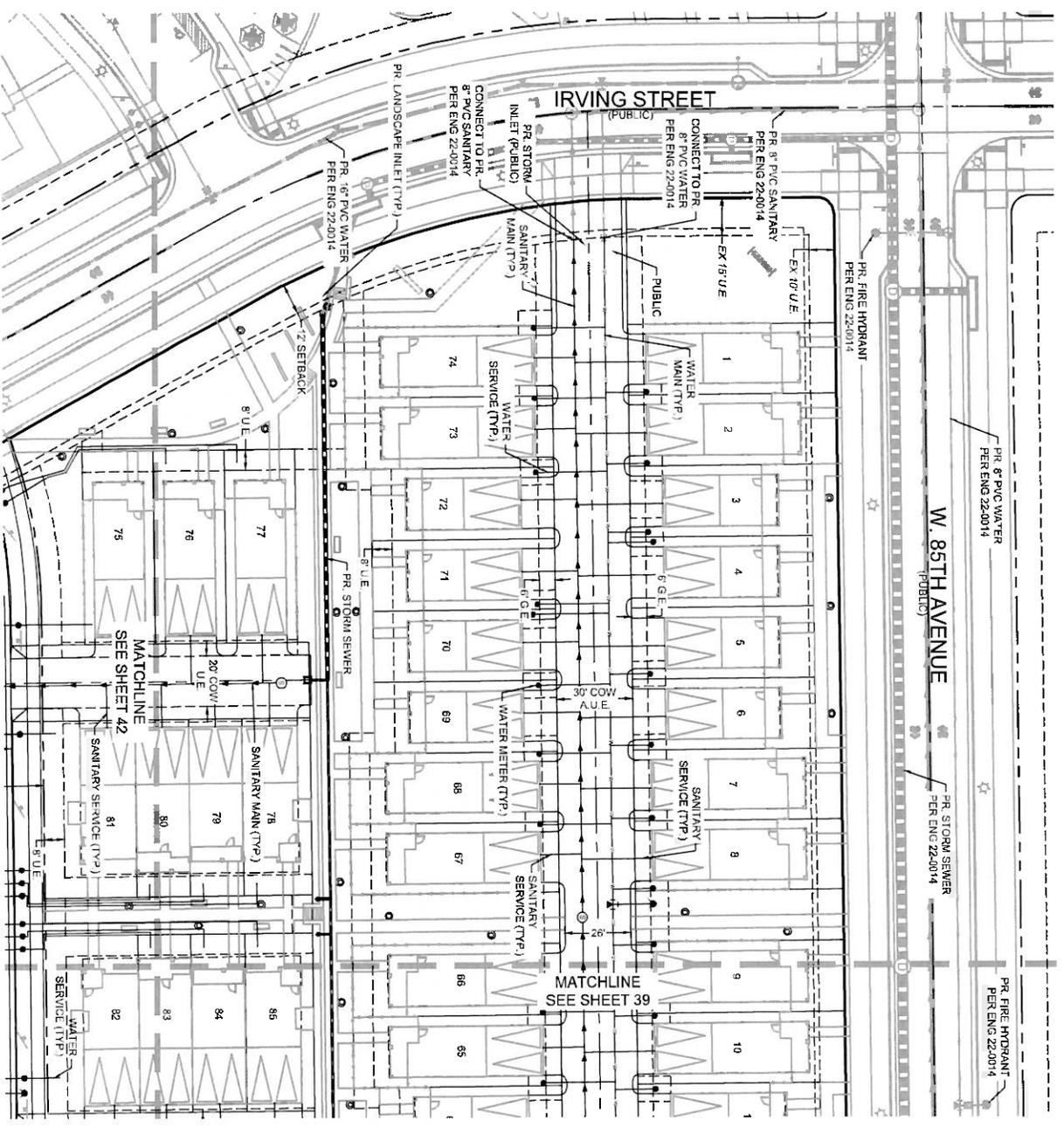
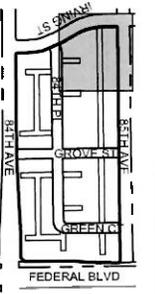
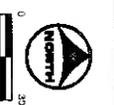
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| 37 OF 107 OVERALL UTILITY PLAN | OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| | REVISIONS |
| | SUB02: 03/07/24 |
| | SUB03: 05/02/24 |

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO


UPLANDS
 DATE: 05.02.2024


HRGreen

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 38 OF 107



LEGEND:

- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - EX SANITARY SEWER
 - EX SANITARY MANHOLE
 - PR WATER LINE
 - PR WATER SERVICE & METER
 - PR FIRE HYDRANT
 - EX FIRE HYDRANT
 - PR STORM SEWER
 - PR STORM MANHOLE
 - PR STORM INLET
 - EX STORM SEWER
 - EX STORM MANHOLE
 - EX STORM INLET
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE
 - PR PUBLIC LIGHT POLE PER ENG 22-0014
- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
 - C.O.W. A.U.E. - CONDUIT UNDER EASEMENT
 - C.O.W. U.E. - CONDUIT UNDER EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT
- NOTES:**
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
 2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED



DATE: 05.02.2024



UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

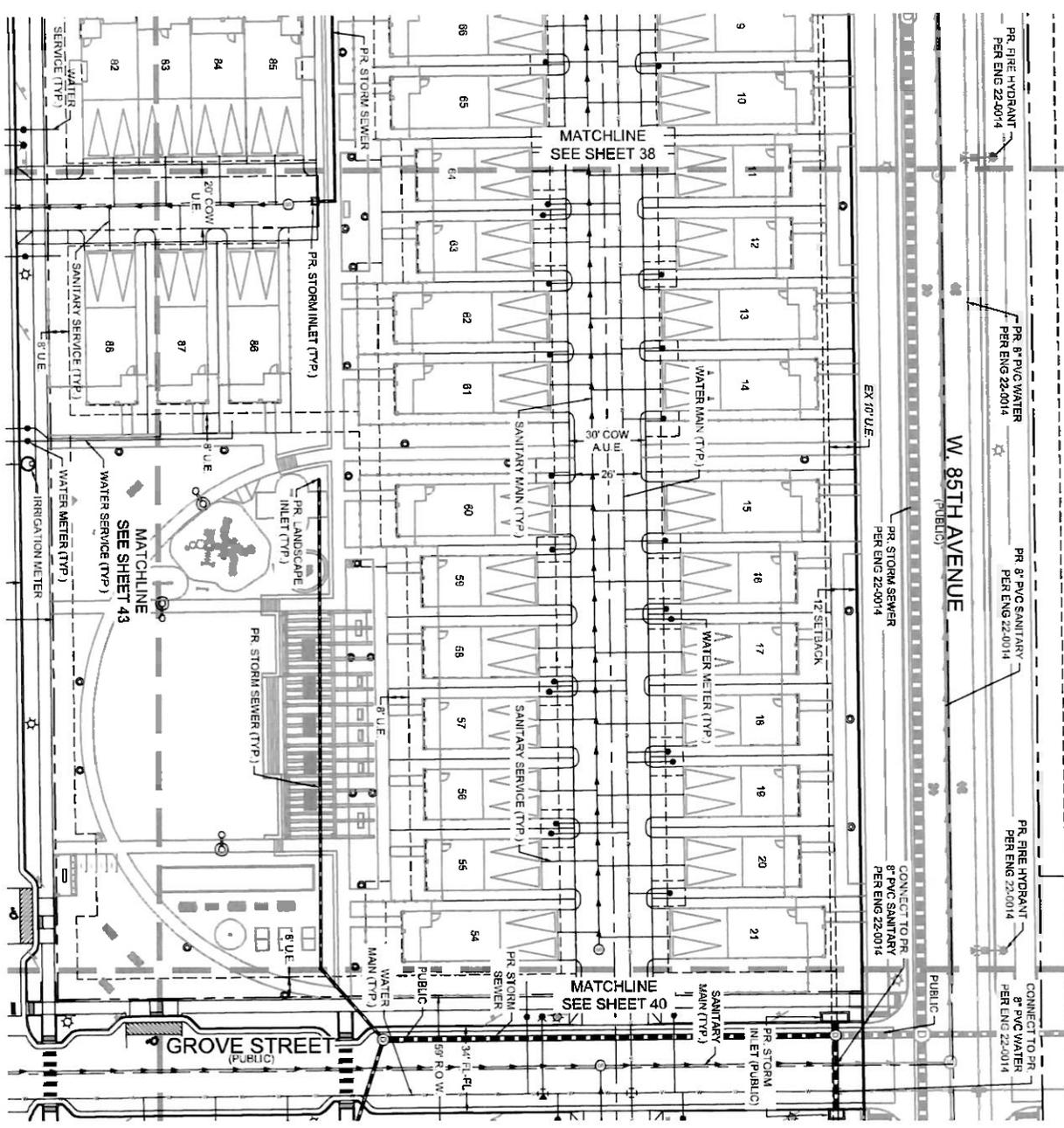
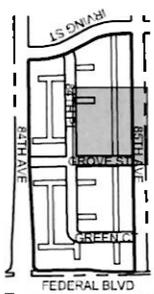
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

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| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

38 OF 107
 UTILITY PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 39 OF 107



LEGEND

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR SANITARY MAIN
- EX SANITARY MANHOLE
- PR SANITARY MANHOLE
- PR WATER MAIN
- PR WATER SERVICE & METER
- PR FIRE HYDRANT
- EX WATER LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- PR STORM INLET
- EX STORM MANHOLE
- EX STORM INLET
- PR PRIVATE LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR PUBLIC LIGHT POLE PER ENG 22-0014

- ABBREVIATIONS:**
- A/E - PUBLIC ACCESS EASEMENT
 - COV A.U.E. - PUBLIC ACCESS & COV UTILITY EASEMENT
 - COV U.E. - COV UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

- NOTES:**
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC ACCESS EASEMENT ARE
 2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.



DATE: 05.02.2024



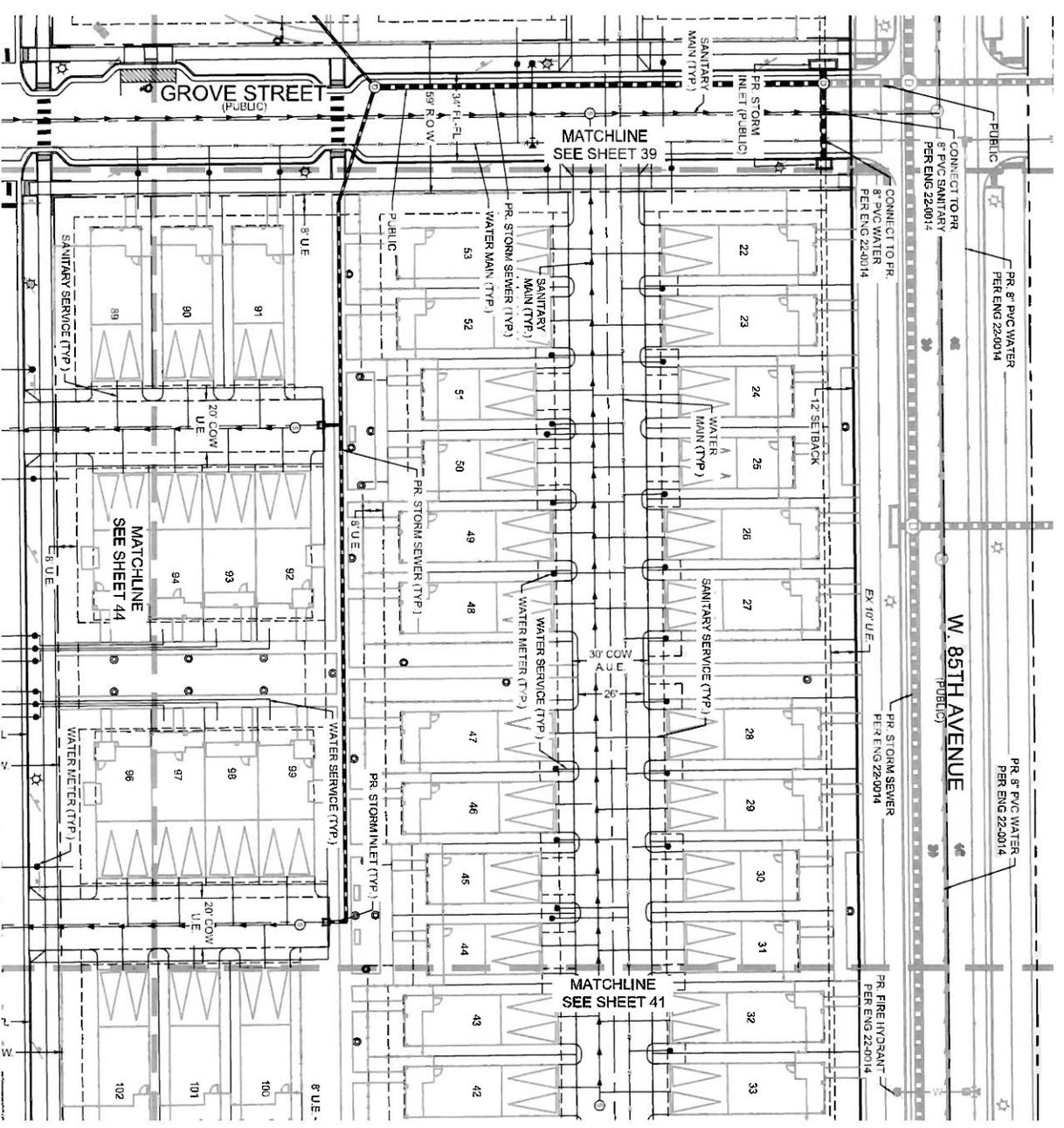
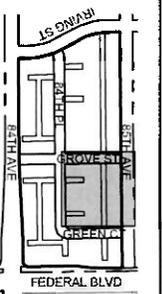
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

- SUB02: 03/07/24
- SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 40 OF 107



LEGEND:

- PROPERTY LINE
- LOT LINE
- PR SANITARY MAIN
- PR SANITARY MANHOLE
- PR SANITARY MANHOLE
- PR SANITARY MANHOLE
- PR SANITARY MANHOLE
- PR WATER SERVICE & METER
- PR FIRE HYDRANT
- EX WATER LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- PR STORM INLET
- EX STORM SEWER
- EX STORM MAN-OLE
- EX STORM INLET
- PR PRIVATE LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR ENG 22-0014

ABBREVIATIONS:

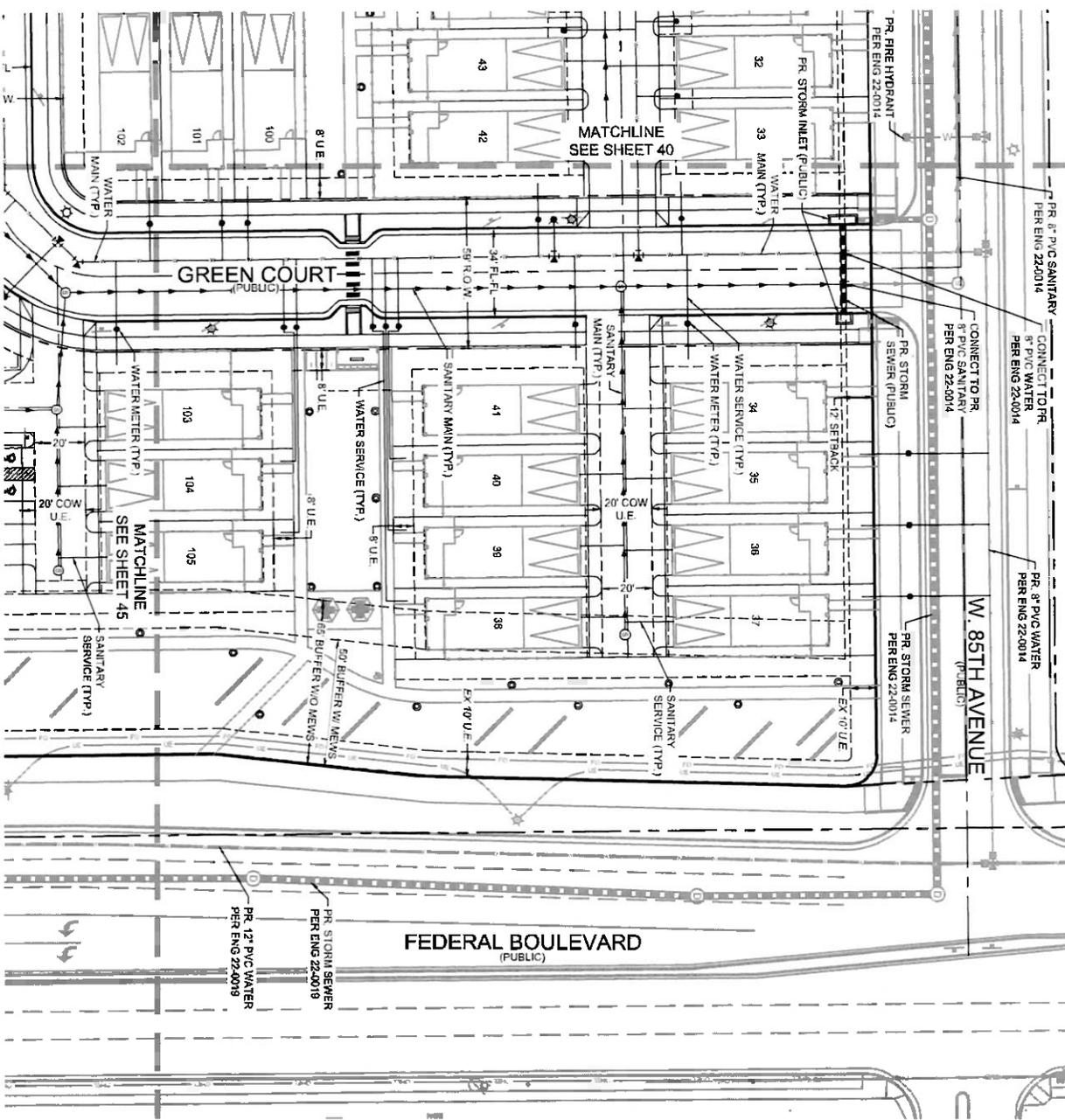
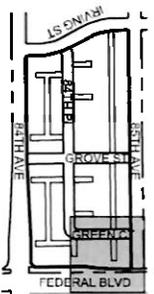
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.

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|--|--|-------------------------|--|
| 40 OF 107 UTILITY PLAN | UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO | | |
| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | | DATE: 05.02.2024 | |
| REVISIONS SUB02: 03/07/24 SUB03: 05/02/24 | | | |

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 41 OF 107



LEGEND:

- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - PR. SANITARY SEWER
 - EX. SANITARY SEWER
 - EX. SANITARY SEWER
 - EX. SANITARY MANHOLE
 - PR. WATER SERVICE & METER
 - PR. FIRE HYDRANT
 - EX. WATER LINE
 - EX. FIRE HYDRANT
 - PR. STORM SEWER
 - PR. STORM MANHOLE
 - PR. STORM INLET
 - EX. STORM SEWER
 - EX. STORM MANHOLE
 - EX. STORM INLET
 - PR. PRIVATE LIGHT POLE
 - PR. PUBLIC LIGHT POLE
 - ☆ PR. PUBLIC LIGHT POLE PER ENG 22-0014
- ABBREVIATIONS:**
 A.E. - PUBLIC ACCESS EASEMENT
 COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 COW U.E. - COW UTILITY EASEMENT
 G.E. - GAS EASEMENT
 U.E. - UTILITY EASEMENT
- NOTES:**
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC ACCESS EASEMENT ARE
 2. OTHERWISE NOTED

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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
| REVISIONS | |
| SUB02: 03/07/24 | |
| SUB03: 05/02/24 | |

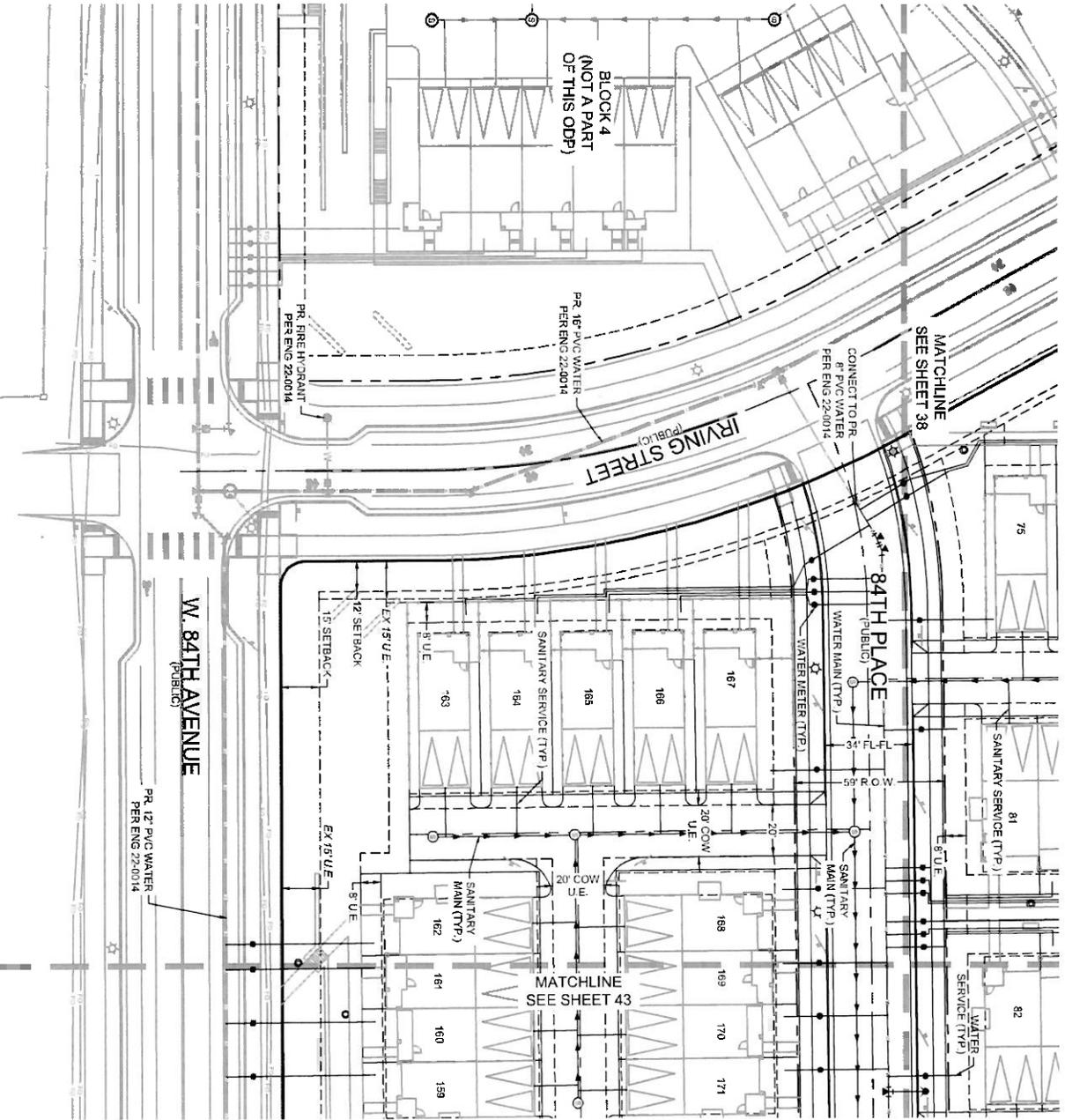
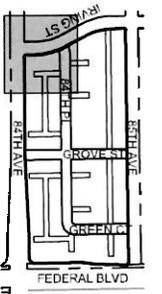
**UPLANDS FILING NO. 1
 BLOCK 7**
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



DATE: 05.02.2024

41 OF 107
 UTILITY PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 42 OF 107



LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- PR WATER LINE
- PR WATER SERVICE & METER
- PR WATERSHED LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- PR STORM INLET
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM INLET
- PR PRIVATE LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR PUBLIC LIGHT POLE PER ENG 22-0014

- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
 - CO/A.U.E. - PUBLIC ACCESS EASEMENT
 - CO/W.U.E. - CON/UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT

NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.

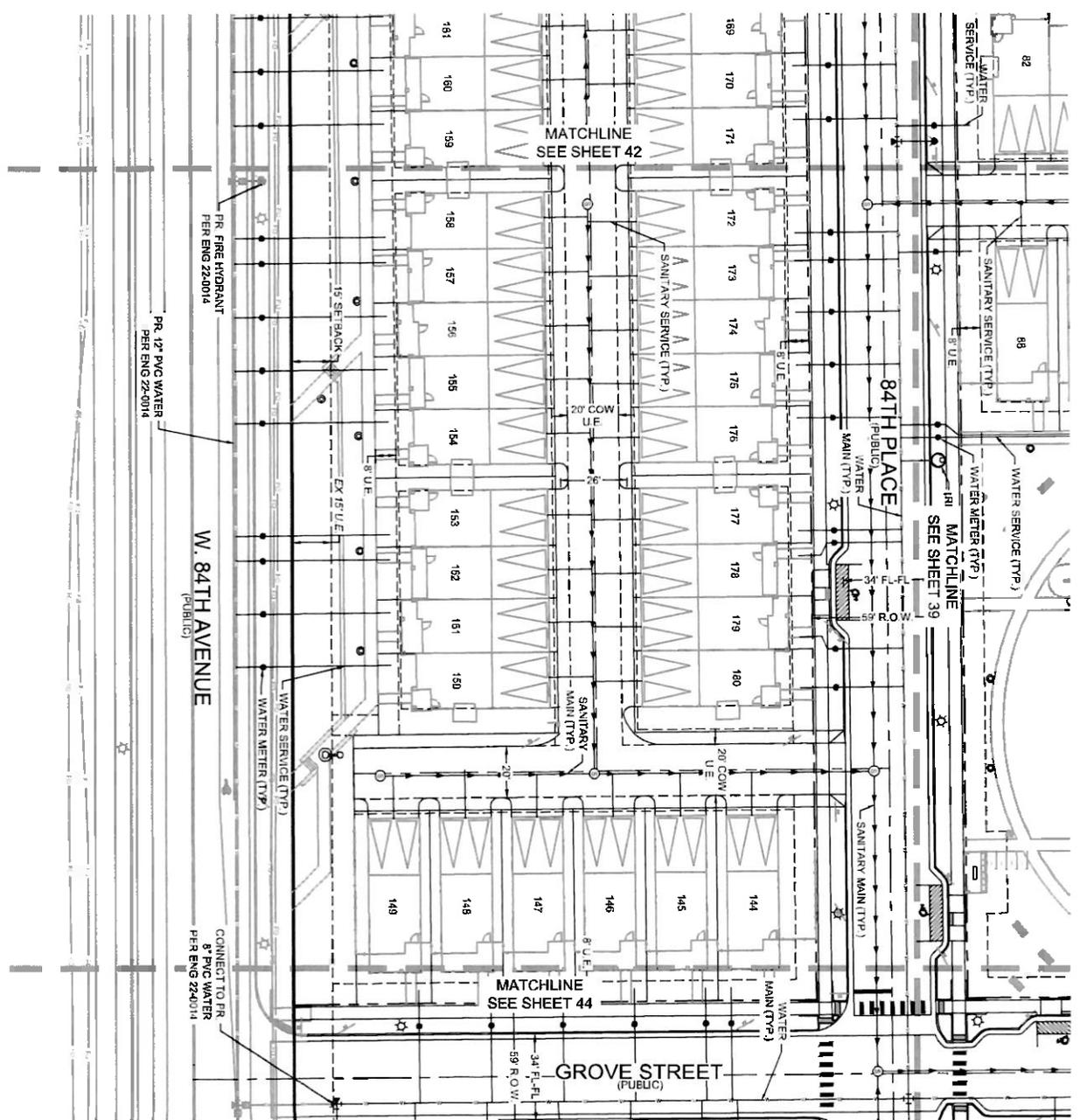
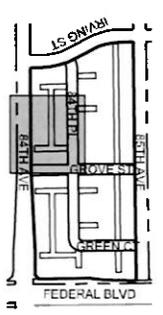
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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |
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UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 05.02.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 43 OF 107



LEGEND:

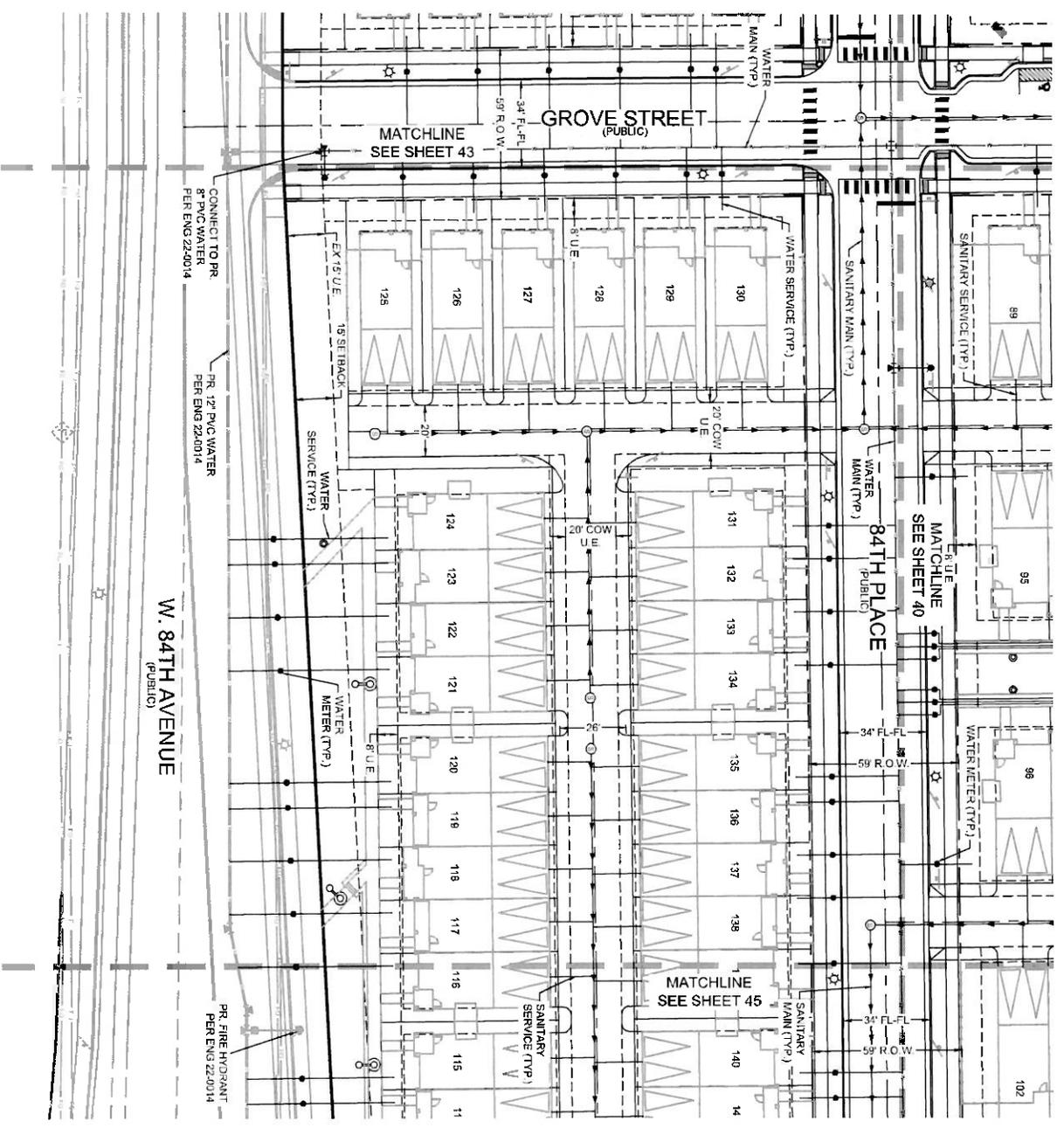
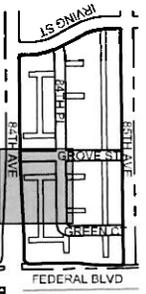
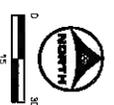
- PROPERTY LINE
 - RIGHT OF WAY
 - PR SANITARY SEWER
 - PR SANITARY MANHOLE
 - EX SANITARY SEWER
 - EX SANITARY MANHOLE
 - PR WATER LINE
 - PR WATER SERVICE & METER
 - PR FIRE HYDRANT
 - EX WATER LINE
 - EX FIRE HYDRANT
 - PR STORM SEWER
 - PR STORM MANHOLE
 - EX STORM MANHOLE
 - PR STORM INLET
 - EX STORM INLET
 - PR PRIVATE LIGHT POLE
 - PR PUBLIC LIGHT POLE
 - PR PUBLIC LIGHT POLE PER ENG 22-007-4
- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
 - COV A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 - COV U.E. - COW UTILITY EASEMENT
 - G.E. - GAS EASEMENT
 - U.E. - UTILITY EASEMENT
- NOTES:**
1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
 2. ALL STORM SEWERS PRIVATE UNLESS OTHERWISE NOTED.

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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
| REVISIONS | |
| SUB02: 03/07/24 | |
| SUB03: 05/02/24 | |

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

DATE: 05.02.2024

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 44 OF 107



LEGEND:

- PROPERTY LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- PR WATER LINE
- PR WATER SERVICE & METER
- PR FIRE HYDRANT
- EX WATER LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- PR STORM INLET
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM INLET
- EX STORM MANHOLE
- PR PRIVATE LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR PUBLIC LIGHT POLE PER ENG 22-0014

ABBREVIATIONS:

- A.E. - PUBLIC ACCESS EASTWENT
- COW/A.U.E. - PUBLIC ACCESS & COW/UTILITY BASEMENT
- COW/UE - COW/UTILITY BASEMENT
- O.E. - GAS BASEMENT
- U.E. - UTILITY BASEMENT

NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC.
2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



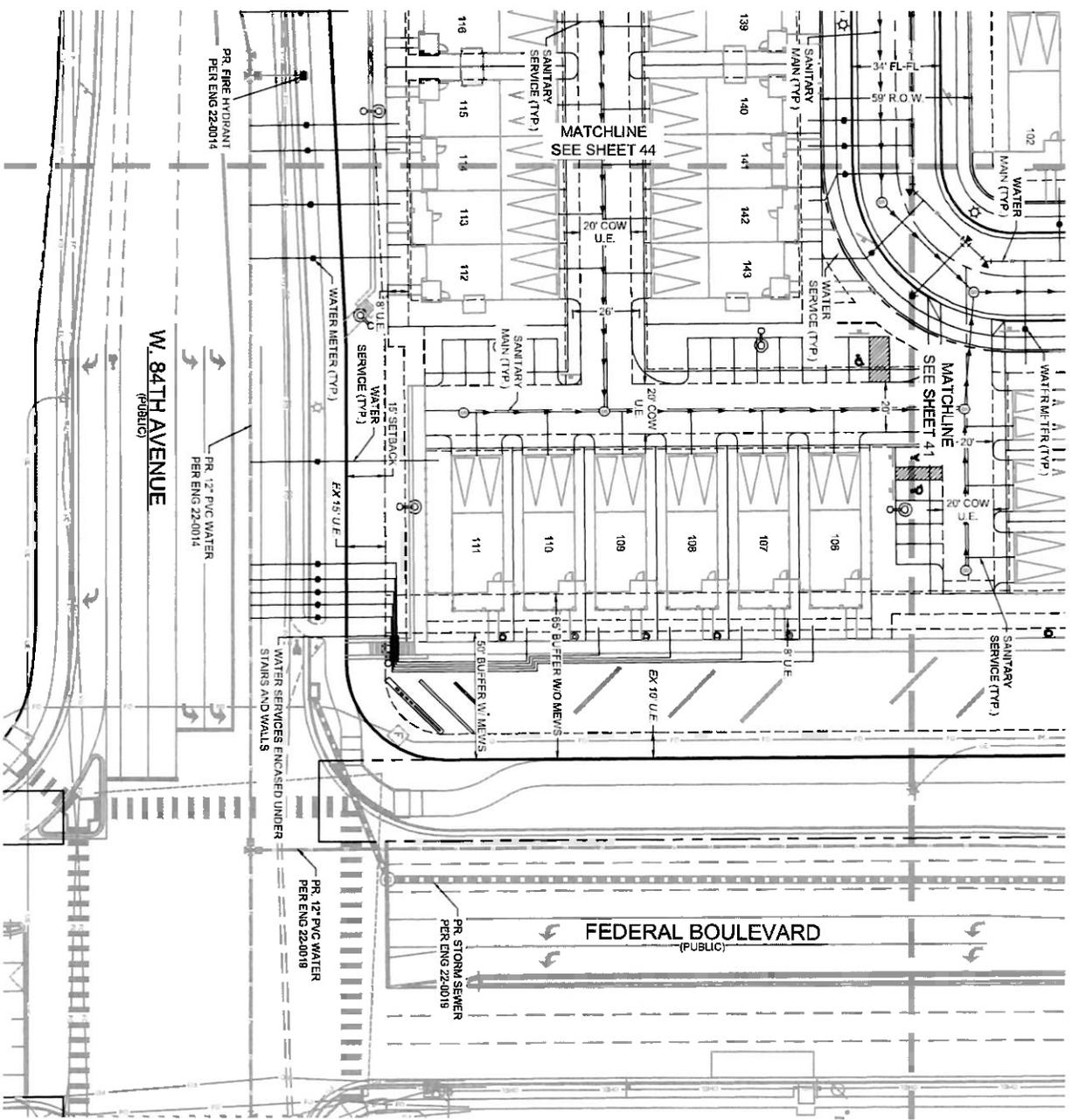
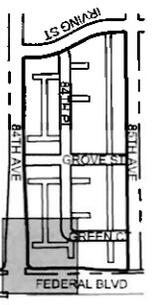
DATE: 05.02.2024



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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

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 UTILITY PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 45 OF 107



LEGEND:

- PROPERTY LINE
 - LOT LINE
 - RIGHT OF WAY
 - ⊙ PR. SANITARY SEWER
 - ⊙ PR. SANITARY MANHOLE
 - ⊙ EX. SANITARY SEWER
 - ⊙ PR. SANITARY MANHOLE
 - ⊙ PR. WATER SERVICE & METER
 - ⊙ PR. FIRE HYDRANT
 - ⊙ EX. WATER LINE
 - ⊙ EX. FIRE HYDRANT
 - ⊙ PR. STORM SEWER
 - ⊙ PR. STORM MANHOLE
 - ⊙ PR. STORM INLET
 - ⊙ EX. STORM MANHOLE
 - ⊙ EX. STORM SEWER
 - ⊙ EX. STORM INLET
 - ⊙ PR. PRIVATE LIGHT POLE
 - ☆ PR. PUBLIC LIGHT POLE
 - ☆ PR. PUBLIC LIGHT POLE
- ABBREVIATIONS:**
 A/E - PUBLIC ACCESS EASEMENT
 COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
 COW U.E. - COW UTILITY EASEMENT
 G.E. - GAS EASEMENT
 U.E. - UTILITY EASEMENT
- NOTES:**
 1 ALL LIGHTS LOCATED IN ROW OR PUBLIC.
 2 ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

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|-----------------|
| SUB02: 03/07/24 |
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 UTILITY PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 46 OF 106

PA-A(7)

| COMMON AREA LANDSCAPE (120,531) SF | LANDSCAPE AREA (FROM EXCLUDED) * (211,869 SF = 29.0%) | | RIGHT-OF-WAY LANDSCAPE AREA (48,222 SF) | | TOTAL COMMON AREA LANDSCAPE (COMMON AREA AND RIGHT-OF-WAY LANDSCAPE) (ON-LOT EXCLUDED) (168,753 SF) | | PUBLICLY ACCESSIBLE PRIVATE PARK (32,912 SF = 4.1%) (19,164 SF LANDSCAPE AREA) | | |
|--------------------------------------|---|------------------------------|---|-----------------|---|------------|--|------------|------------|
| | LANDSCAPE RATIO | # REQUIRED | # PROVIDED | LANDSCAPE RATIO | # REQUIRED | # PROVIDED | LANDSCAPE RATIO | # REQUIRED | # PROVIDED |
| TREES | 1 / 550 SF | 219 | 226 | 1 / 550 SF | 88 | 144 | 1 / 550 SF | 307 | 370 |
| SHRUBS | 3 / 550 SF | 657 | 1,272 | 3 / 550 SF | 263 | 916 | 3 / 550 SF | 920 | 2,188 |
| TREES | 1 / 550 SF | 166 | 0** | | | | | | |
| ON-LOT LANDSCAPE (91,338 SF)** | TREE EQUIVALENT (TE) SHRUBS | 1 TREE = 10 SHRUBS (166 TES) | 1,660 SHRUBS (166 TES) | | | | | | |
| TREES | 3 / 550 SF | 498 | 498 | | | | | | |
| TOTAL LANDSCAPE AREA (ROW EXCLUDED)* | TREES | 1 / 550 SF | 219** | 226* | | | | | |
| | SHRUBS | 3 / 550 SF | 2,815 | 3,430* | | | | | |

- NOTES:
- *INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE, PARK, AND ALL NON-ROW LANDSCAPE AREA.
 - **ON LOT LANDSCAPE THROUGHOUT PA-A(7) INCLUDES 1 TREE EQUIVALENT (IN THE FORM OF 10 SHRUBS AND 3 ADDITIONAL SHRUBS PER 550 SF) FOR ALL FRONT YARD LANDSCAPES. AN EXCEPTION HAS BEEN REQUESTED FOR THE REPLACEMENT OF REQUIRED ON LOT TREES WITH TREE EQUIVALENTS DUE TO SITE CONSTRAINTS. PLEASE SEE LOT AND LANDSCAPE TYPICALS FOR CRITICAL PARAMETERS OF LANDSCAPE PLANS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PENDING FINAL PRODUCT CONFIGURATION.
 - ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES UNLESS OTHERWISE NOTED.

WESTMINSTER STANDARD STATEMENTS

- ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133 SERIES OF 2004.
- THE TOTAL WATER BUDGET SHALL NOT EXCEED 16 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENT MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY) SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENT MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOP-SOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE APPLIED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS EXCEPT THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 8 P.M. IN ORDER TO REDUCE EVAPORATION, EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY. (IS NOT PERMITTED).
- NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOIL AREAS BY EDGING MATERIAL. ROCK MULCH SHALL BE PLACED UNDER A SUITABLE WEED BARRIER FABRIC. NO WEED FABRIC IS REQUIRED UNDER WOOD MULCH.
- FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAN.
- DEVELOPERS SHALL ENSURE THAT THE LANDSCAPE PLANS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

PA-A(7)

LANDSCAPE QUANTITIES: HIGH WATER TURF AREA

| LANDSCAPE AREA | MAX HIGH WATER TURF AREA (LESS THAN 20%) | PROVIDED HIGH WATER TURF AREA |
|----------------------|--|-------------------------------|
| TOTAL LANDSCAPE AREA | 260,091 SF | 12,540 SF (4.8%) |

PA-A(7)

SOIL AMENDMENT REQUIRED

| LANDSCAPE AREA (ROW EXCLUDED) | RIGHT-OF-WAY AREA | TOTAL: 260,091 SF | X 5 YDS/1000 SF = | X 5 YDS/1000 SF = | CU YDS. | CU YDS. |
|-------------------------------|-------------------|-------------------|-------------------|-------------------|---------|---------|
| 211,869 | 48,222 | | | | 1,059 | 241 |
| | | | | | | 1,300 |

PA-A(7)

LANDSCAPE WATER BUDGET

| LANDSCAPE HYDROZONE | COVERAGE (%) | AREA (SF) | TOTAL WATER USE (GAL) | TOTAL ALL HYDROZONES: |
|-------------------------------------|--------------|-----------|-----------------------|-----------------------|
| HIGH | 7.7 | 12,540 | X 18 GAL = 226,720 | |
| MEDIUM | 92.3 | 151,043 | X 10 GAL = 1,510,430 | |
| TOTAL ALL HYDROZONES: | | 163,583 | TOTAL GAL: 1,736,150 | |
| TOTAL GAL / TOTAL LANDSCAPED AREA = | | 10.6 | GAL / SF | |
| MEDIUM (PRIVATELY IRRIGATED AREA)* | 100% | 91,338 | X 10 GAL = 913,380 | |

NOTES:
 *PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEET 9 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

| |
|-----------------|
| SUB02: 03/01/24 |
| SUB03: 05/02/24 |

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 LANDSCAPE NOTES
 AND SCHEDULES

UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

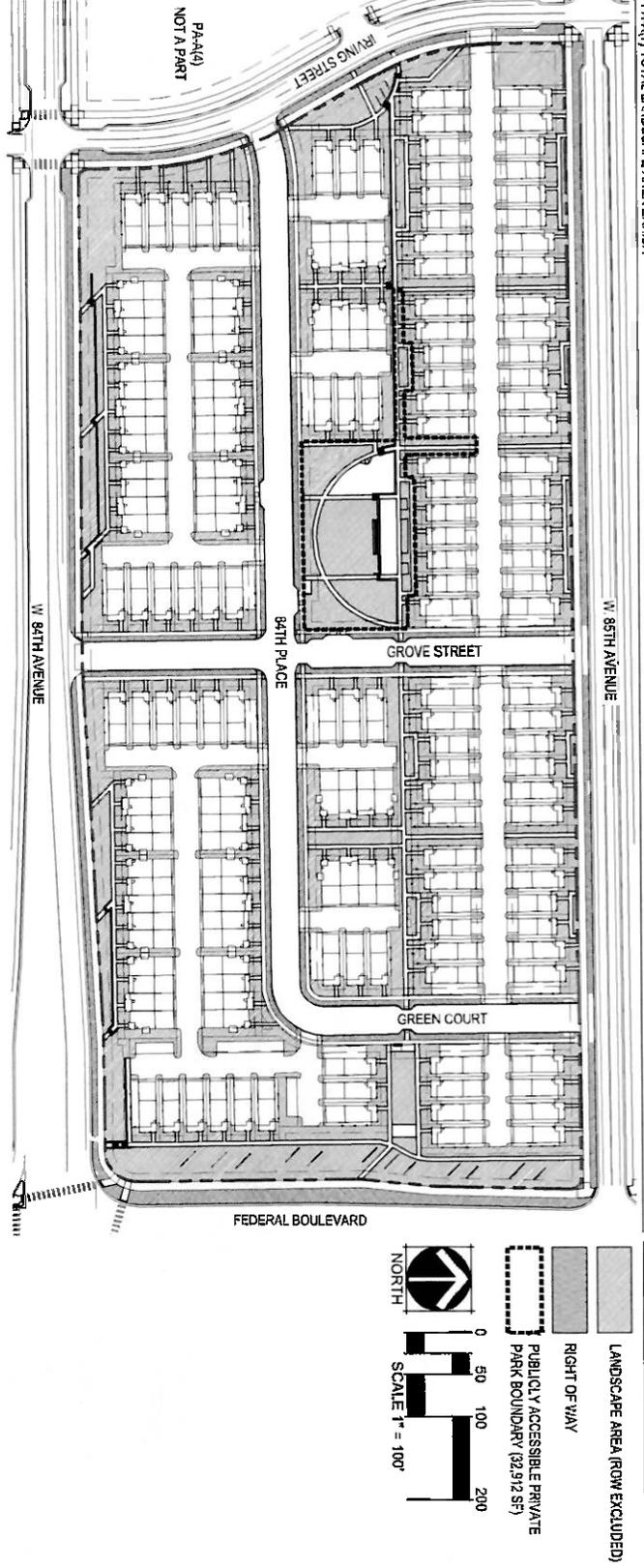
DATE: 05.02.2024

NORRIS DESIGN

1310 W. 227TH STREET
 SUITE 100
 WESTMINSTER, CO 80057
 303.426.1111
 WWW.NORRISDESIGN.COM

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 47 OF 106

PA-A(7) TOTAL LANDSCAPE AREA EXHIBIT



LANDSCAPE MATERIAL SCHEDULE PA-A(7)

| CODE | DESCRIPTION | PRODUCT NAME | MANUFACTURER | COLOR / FINISH | SIZE / DIMENSIONS | NOTES |
|------|----------------------------|----------------------------------|---|---|--|---|
| M-01 | ROCK MULCH | 3/4" BRECKEN GOLD LANDSCAPE ROCK | PIONEER SAND OR APPROVED EQUAL | BRECKEN GOLD | 3" DEPTH | REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. |
| M-03 | CRUSHER FINES | CRUSHER FINES | PIONEER SAND COMPANY OR APPROVED EQUAL | TAN OR APPROVED EQUAL | LESS THAN 3/8" | SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH. |
| M-05 | PLAY SAFETY SURFACING | ENGINEERED WOOD FIBER | RECREATION PLUS, LTD. OR APPROVED EQUAL | NATURAL | SEE PLAN FOR DIMENSIONS | REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. |
| M-06 | STEEL EDGING | INTERLOCKING ROLLED TOP EDGER | RYERSON OR APPROVED EQUAL | BLACK | 6" X 14" GAUGE | REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. |
| M-07 | RETAINING WALL STONE | AS ASPHLAR PATTERN WITH CAP | ALL ANI BLOCK OR APPROVED EQUAL | TAN BLEND | 8" H X 12" D X 18" L | REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. |
| M-08 | ENHANCED CONCRETE | CONCRETE COLOR PIGMENT | DAVIS COLORS OR APPROVED EQUAL | PEWTER 860 / SANDSCAPE FINISH OR APPROVED EQUAL | SCORING PER PLAN | MIX AND INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 5"x5"X8" MOCKUP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. |
| M-10 | LANDSCAPE BOULDER - SIZE A | LANDSCAPE BOULDER | LOCAL SUPPLIER OR APPROVED EQUAL | SANDSTONE | REFER TO DETAIL FOR SIZING INFORMATION | SEE DETAIL FOR INSTALLATION INSTRUCTIONS. |
| M-11 | LANDSCAPE BOULDER - SIZE B | LANDSCAPE BOULDER | LOCAL SUPPLIER OR APPROVED EQUAL | SANDSTONE | REFER TO DETAIL FOR SIZING INFORMATION | REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS. |
| M-12 | LANDSCAPE BOULDER - SIZE C | LANDSCAPE BOULDER | LOCAL SUPPLIER OR APPROVED EQUAL | SANDSTONE | REFER TO DETAIL FOR SIZING INFORMATION | SEE DETAIL FOR INSTALLATION INSTRUCTIONS. |
| M-13 | ARTIFICIAL TURF | SYNBOCCE ARTIFICIAL GRASS | SYNLAWN OR APPROVED EQUAL | NYLON / VERDE | 7/8" PILE HEIGHT | INSTALL PER MANUFACTURER SPECIFICATIONS. |
| M-14 | WOOD MULCH | GONILLA HAIR CEDAR WOOD MULCH | PIONEER SAND OR APPROVED EQUAL | GONILLA HAIR CEDAR MULCH | 3" DEPTH | REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. |



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|----------------------------------|---|
| 47 OF 106 LANDSCAPE SCHEDULES | OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| | REVISIONS |
| | SUB02: 03/07/24 SUB03: 05/02/24 |

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



DATE: 05.02.2024

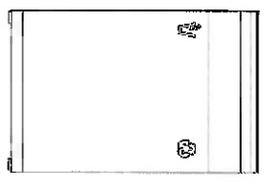


OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 48 OF 106

SITE AMENITY SCHEDULE



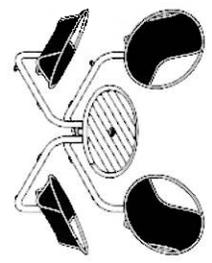
S-01 DESCRIPTION: BIKE RACK
 MANUFACTURER: SITE PIECES
 MODEL: MONOLINE DUO BIKE RACK
 OR APPROVED EQUAL
 COLOR / FINISH: CAMPFIRE
 EMBERS POWDER COAT
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.



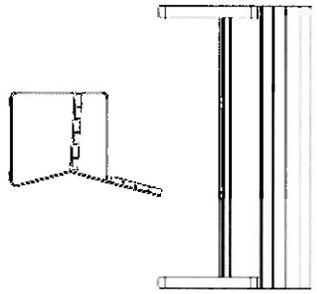
S-02 DESCRIPTION: COMMON AREA LITTER RECEPTACLE
 MANUFACTURER: SITE PIECES
 MODEL: MONOLINE EDGE LITTER BIN
 (#ML-LGITTER-01) OR APPROVED EQUAL
 COLOR / FINISH: MIDNIGHT POWDER COAT
 EXTERIOR, CAMPFIRE EMBERS SYMBOLS
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.



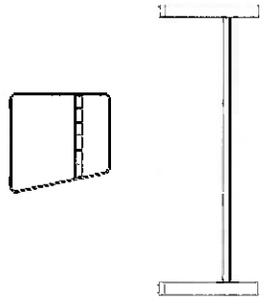
S-03 DESCRIPTION: PET WASTE STATION
 MANUFACTURER: BARCO PRODUCTS.COM
 MODEL: HEADER BAG PET WASTE STATION
 OR APPROVED EQUAL
 COLOR / FINISH: BROWN OR APPROVED EQUAL
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.



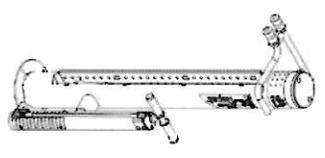
S-04 DESCRIPTION: 4 TOP TABLE
 MANUFACTURER: LANDSCAPE FORMS
 MODEL: 4 SEATS HOOP AND 3 SEATS HOOP ADA VERSION OR APPROVED EQUAL
 COLOR / FINISH: WHITE FRAME, STEEL HEAD WOOD TABLE TOP HOOP SEAT CASUAL HEIGHT
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
 ACCESSIBILITY: MINIMUM OF ONE (1) TABLE PER GROUPING OF TABLES TO BE ADA VERSION. REFER TO PLAN FOR LOCATION.



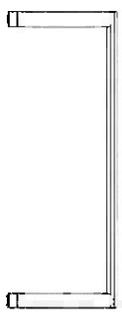
S-05 DESCRIPTION: BACKED BENCH
 MANUFACTURER: SITE PIECES
 MODEL: MONOLINE BACKED BENCH
 #ML-BENCH-22 OR APPROVED EQUAL
 COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / MIDNIGHT POWDER COAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
 ACCESSIBILITY: LENGTHENED CONCRETE BENCH PADS ARE PROVIDED ALONG ACCESSIBLE ROUTES TO ALLOW SPACE FOR MOBILITY DEVICE ADJACENT TO BENCH SEATING.



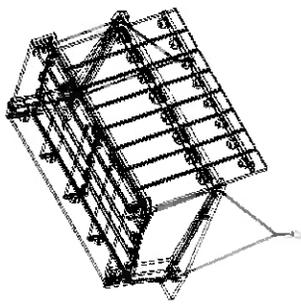
S-06 DESCRIPTION: BACKLESS BENCH
 MANUFACTURER: SITE PIECES
 MODEL: MONOLINE FLAT BENCH
 #ML-FLAT-12 OR APPROVED EQUAL
 COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / MIDNIGHT POWDER COAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
 ACCESSIBILITY: LENGTHENED CONCRETE BENCH PADS ARE PROVIDED ALONG ACCESSIBLE ROUTES TO ALLOW SPACE FOR MOBILITY DEVICE ADJACENT TO BENCH SEATING.



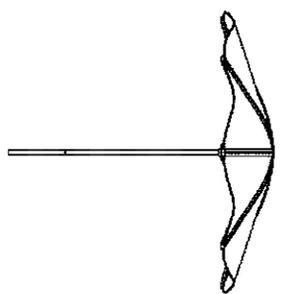
S-07 DESCRIPTION: BIKE REPAIR STAND
 MANUFACTURER: THE PARK CATALOG
 MODEL: BIKE REPAIR STAND WITH AIR PUMP OR APPROVED EQUAL
 COLOR / FINISH: POWDERCOATED BLACK
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS.



S-08 DESCRIPTION: FARM TABLE
 MANUFACTURER: SITE PIECES
 MODEL: MONOLINE COMMUNITY TABLE (#ML-COMT-02) AND ADA VERSION (#ML-COMT-02-ADA) OR APPROVED EQUAL
 COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / MIDNIGHT POWDER COAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
 ACCESSIBILITY: MINIMUM OF ONE (1) TABLE PER GROUPING OF TABLES TO BE ADA VERSION. REFER TO PLAN FOR LOCATION.



S-09 DESCRIPTION: PORCH SWING
 MANUFACTURER: LOLL DESIGNS
 MODEL: ADRONBACK PORCH SWING OR APPROVED EQUAL
 COLOR / FINISH: LEAF GREEN
 NOTES: REFERENCE METAL FOR INSTALLATION INSTRUCTIONS.



S-10 DESCRIPTION: UMBRELLA
 MANUFACTURER: LANDSCAPE FORMS
 MODEL: CYGNUS SOLstice UMBRELLA OR APPROVED EQUAL
 COLOR / FINISH: BUTTERCUP POWDER COATED METAL
 NOTES: SECURE TO TABLE PER MANUFACTURER'S SPECIFICATIONS. NO SURFACE MOUNT STAND REQUIRED.



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|---------------------|--|
| 48 OF 106 | OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| LANDSCAPE SCHEDULES | REVISIONS |
| | SUB02: 03/07/24 |
| | SUB03: 05/02/24 |

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

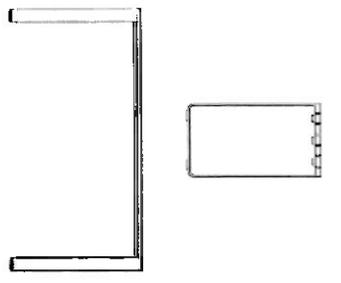


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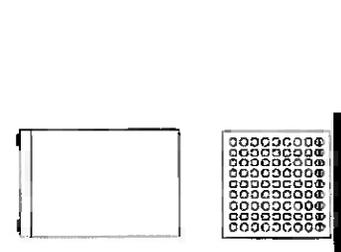


OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 49 OF 106

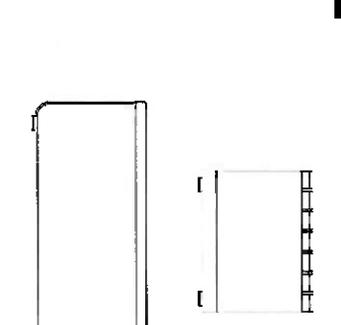
SITE AMENTY SCHEDULE CONT.



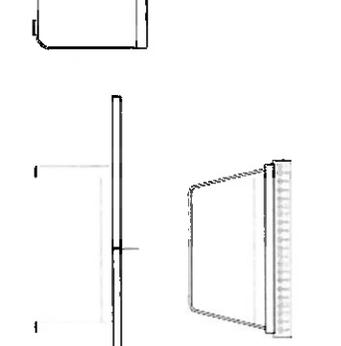
S-25 DESCRIPTION: HIGH TOP TABLE
 MANUFACTURER: SITE PIECES OR APPROVED EQUIV.
 MODEL: MONOLINE HIGH TOP TABLE
 #ML-HIGHTL-82
 COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / ORANGE POWDERCOAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURERS SPECIFICATIONS.



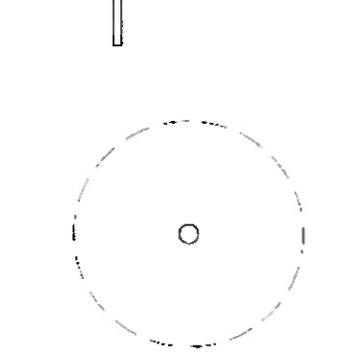
S-26 DESCRIPTION: PERFORATED OPEN STOOL
 MANUFACTURER: SITE PIECES OR APPROVED EQUIV.
 MODEL: MONOLINE OPEN STOOL 20 X 20 (PERFORATED) #ML-OST020AP1
 COLOR / FINISH: MIDNIGHT POWDERCOAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURERS SPECIFICATIONS.



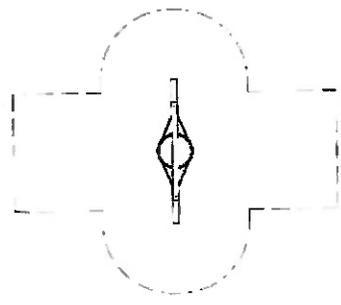
S-27 DESCRIPTION: OPEN STOOL
 MANUFACTURER: SITE PIECES OR APPROVED EQUIV.
 MODEL: MONOLINE OPEN STOOL 40 X 20 #ML-OST-RECT4018
 COLOR / FINISH: DARK CHERRY ALUMINUM SLATS / CAMPERE EMBERS POWDERCOAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURERS SPECIFICATIONS.



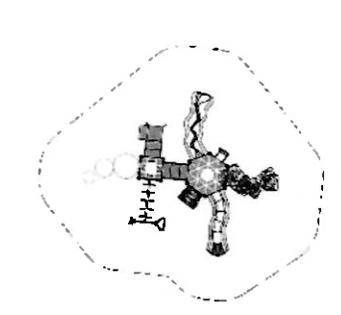
S-28 DESCRIPTION: PING PONG TABLE
 MANUFACTURER: SITE PIECES OR APPROVED EQUIV.
 MODEL: MONOLINE PING PONG TABLE #ML-PONG
 COLOR / FINISH: TABLE TOP: MIDNIGHT POWDER COAT FINISH / LEGS AND NET: WHITE POWDER COAT FINISH
 NOTES: SURFACE MOUNT PER MANUFACTURERS SPECIFICATIONS.



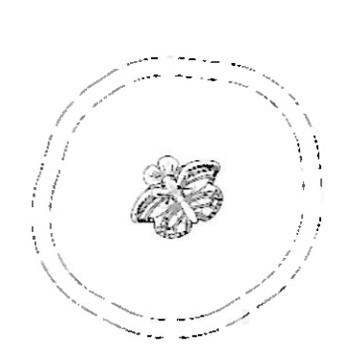
S-29 DESCRIPTION: PLAY STRUCTURE - TETHERBALL
 MANUFACTURER: PLAYWORLD OR APPROVED EQUIV.
 MODEL: TETHERBALL #ZZXX1079
 COLOR / FINISH: STEEL POST, YELLOW BALL
 NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS.



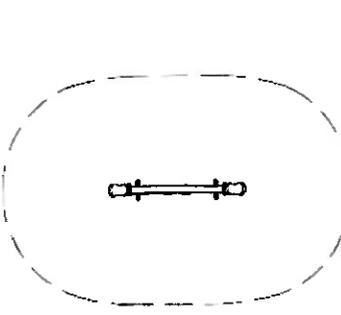
S-30 DESCRIPTION: PLAY STRUCTURE - BIGGO SWING
 MANUFACTURER: DYNAMO PLAYGROUNDS OR APPROVED EQUIV.
 MODEL: BIGGO SQ.O SWING #D3-3100
 COLOR / FINISH: POST COLOR: YELLOW / GREEN, SWING COLOR: RED
 NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 PRODUCT MEETS ADAAG GUIDELINES FOR ACCESSIBILITY WHERE PROPER SURFACING IS USED.



S-31 DESCRIPTION: PLAY STRUCTURE - JUNGLE EXCURSION
 MANUFACTURER: PLAYWORLD OR APPROVED EQUIV.
 MODEL: JUNGLE EXCURSION #456-2203
 COLOR / FINISH: POST COLOR: BROWN, SLIDE AND HANDLE COLORS: GREEN, MUSHROOM COLOR: RED
 NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 STRUCTURE IS ADA ACCESSIBLE 7 ACCESSIBLE ELEVATED PLAY ACTIVITIES PROVIDED, 2 ACCESSIBLE GROUNDLEVEL PLAY ACTIVITIES PROVIDED.



S-32 DESCRIPTION: PLAY STRUCTURE - BUTTERFLY CLIMBER
 MANUFACTURER: PLAYWORLD OR APPROVED EQUIV.
 MODEL: BLUE BUTTERFLY CLIMBER #ZZ1P2004M
 COLOR / FINISH: BLUE
 NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 ADA ACCESSIBLE WHERE PROPER SURFACING IS USED.



S-33 DESCRIPTION: PLAY STRUCTURE - DUO SEESAW
 MANUFACTURER: PLAYWORLD OR APPROVED EQUIV.
 MODEL: DUO SEESAW #ZZXX0596
 COLOR / FINISH: BLUE & YELLOW
 NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 ADA ACCESSIBLE WHERE PROPER SURFACING IS USED. EQUIPMENT HAS BACKED SEATS AND PLATFORM AT TRANSFER HEIGHT.



S-34 DESCRIPTION: PLAY STRUCTURE - GARDEN PANEL
 MANUFACTURER: PLAYWORLD OR APPROVED EQUIV.
 MODEL: GARDEN PANEL #ZZCH4528
 COLOR / FINISH: PLASTIC 1: LIME GREEN, PLASTIC 2: FOREST GREEN, COMPONENTS PURPLE
 NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS.
 ADA ACCESSIBLE WHERE PROPER SURFACING IS USED.

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|--|--|
| | OFFICIAL DEVELOPMENT PLAN PREPARED 12.07.2023 |
| | REVISIONS |
| | SUB02: 03/07/24 SUB03: 05/02/24 |

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

DATE: 05.02.2024

NORRIS DESIGN
 1700 W. 10TH AVE. SUITE 100
 WESTMINSTER, CO 80057
 303.440.1111

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
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 SHEET 50 OF 106



DATE: 05.02.2024

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 LANDSCAPE SCHEDULES

REVISIONS
 SUB02: 03/07/24
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OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

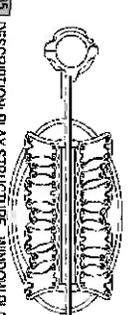
50 OF 106
 LANDSCAPE SCHEDULES

MORRIS DESIGN
 LANDSCAPE ARCHITECTURE
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 (303) 733-1111

S-35 DESCRIPTION: PLAY STRUCTURE - WINDOW PLANTER PANEL MANUFACTURER: PLAYWORLD OR APPROVED EQUAL MODEL: WINDOW PLANTER PANEL #ZZ1H4626

COLOR: FINISH: POST COLOR: BROWN, PLASTIC COLOR: BROWN AND BEIGE, PLANTER PLASTIC COLOR: GREEN

NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS ACCESSIBILITY: ADA ACCESSIBLE WHERE PROPER SURFACING IS USED



S-36 DESCRIPTION: PLAY STRUCTURE - BUSS HALF PANEL MANUFACTURER: PLAYWORLD OR APPROVED EQUAL MODEL: BUSS HALF PANEL #Z2M406

COLOR: FINISH: FOREST GREEN/BEEGE

NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS ACCESSIBILITY: ADA ACCESSIBLE WHERE PROPER SURFACING IS USED. HALF PANEL PROVIDES MOBILITY DEVICE WITH CLOSER ACCESS THAN FULL PANEL.



IRRIGATED TURF - SOD: VO/TEX TEXAS HYBRID BLEND BY KORBAY SOD, LLC

NATURES PRAIRIE TURF BLEND

NATIVE GRASS - SOD: NATURES PRAIRIE TURF BY TURF MASTER SOD, LLC

VO/TEX TEXAS HYBRID BLUEGRASS BLEND

| CODE | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE | WATER USE | HEIGHT | SPEED |
|------------------------|-----|------------------------------------|-------------------------------------|-------|-----------|-----------|--------|--------|
| DECIDUOUS TREES | | | | | | | | |
| AC SE | 19 | ACER NEGUNDO 'SENSATION' | SENSATION BOX ELDER MAPLE | B & B | 2' CAL | LOW | 25-30' | 20-25' |
| AC PS | 14 | ACER PSEUDOPLATANUS | SYCAMORE MAPLE | B & B | 2' CAL | MOD | 40-50' | 30-40' |
| AC GM | 8 | ACER SACCHARUM 'GREEN MOUNTAIN' TM | GREEN MOUNTAIN SUGAR MAPLE | B & B | 3' CAL | MOD | 40-50' | 25-30' |
| CA SP | 12 | CATALPA SPECIOSA | NORTHERN CATALPA | B & B | 2' CAL | LOW | 40-50' | 25-30' |
| CE OC | 23 | CELTIS OCCIDENTALIS | COMMON HACKBERRY | B & B | 2' CAL | VERY LOW | 50-60' | 30-40' |
| GY DI | 26 | GYNOCLADUS DIOICA ESPRESSO | KENTUCKY COFFEE TREE | B & B | 2' CAL | VERY LOW | 40-50' | 30-40' |
| QU WA | 10 | QUERCUS MACROCARPA | BURR OAK | B & B | 2' CAL | VERY LOW | 50-60' | 40-60' |
| QU WU | 4 | QUERCUS MUEHLERBERGII | CHINKAPIN OAK | B & B | 2' CAL | LOW | 40-50' | 40-60' |
| UL PR | 24 | ULMUS AMERICANA 'PRINCETON' | AMERICAN ELM | B & B | 3' CAL | MOD | 50-60' | 40-60' |
| UL AL | 14 | ULMUS PARVIFOLIA ALLEE | ALLEE LACEBARK ELM | B & B | 2' CAL | MOD | 40-50' | 30-40' |
| UL MG | 2 | ULMUS X 'MORTON GLOSSY' TM | TRUMPET ELM | B & B | 2' CAL | MOD | 40-50' | 30-40' |
| TOTAL | 156 | | | | | | | |
| EVERGREEN TREES | | | | | | | | |
| JU SP | 9 | JUNIPERUS CHINENSIS 'SPARTAN' | SPARTAN JUNIPER | B & B | 6' HEIGHT | LOW | 15-20' | 4-6' |
| JU RM | 15 | JUNIPERUS SCOPULORUM | ROCKY MOUNTAIN JUNIPER | B & B | 6' HEIGHT | VERY LOW | 25-30' | 8-10' |
| JU ME | 8 | JUNIPERUS SCOPULORUM 'MEDORA' | MEDORA JUNIPER | B & B | 6' HEIGHT | VERY LOW | 15-20' | 4-6' |
| JU SK | 18 | JUNIPERUS SCOPULORUM 'SWEETCOT' | SWEETCOT JUNIPER | B & B | 5-20' | LOW | 15-20' | 4-6' |
| PI UV | 9 | PICEA PUNGENS 'BABY BLUE EYES' | BABY BLUE EYES COLORADO BLUE SPRUCE | B & B | 6' HEIGHT | MOD | 20-25' | 8-10' |
| PI BA | 8 | PICEA PUNGENS 'GLAUCA BAKER' | BAKER BLUE SPRUCE | B & B | 8' HEIGHT | MOD | 25-30' | 8-10' |
| PI AR | 5 | PINUS ARISTATA | BRISTLECON ENE | B & B | 8' HEIGHT | LOW | 20-25' | 10-15' |
| PI ED | 7 | PINUS EDULIS | PINON PINE | B & B | 6' HEIGHT | VERY LOW | 20-25' | 10-15' |
| PI HE | 21 | PINUS HEIDREICHLII | BOSNAIN PINE | B & B | 5' HEIGHT | MOD | 25-30' | 10-15' |
| PS ME | 11 | PSEUDOTSUGA MENZIESII | DOUGLAS FIR | B & B | 8' HEIGHT | MOD | 50-80' | 20-25' |
| TOTAL | 111 | | | | | | | |

NOTE:
 20% MIN. SHADE TREES ARE INCREASED TO 3' CAL. AND 20% MIN OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT.

| CODE | QTY | BOTANICAL NAME | COMMON NAME | ROOT | SIZE | WATER USE | HEIGHT | SPEED |
|---------------------------------|-----|---|--------------------------------|-------|----------|-----------|--------|--------|
| HOT WINGS TATARIAN MAPLE | | | | | | | | |
| AM AB | 12 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE SERVICEBERRY | B & B | 2' CAL | LOW | 20-25' | 15-20' |
| CE CA | 10 | CERCIS CANADENSIS | EASTERN REBUD | B & B | 6' CLUMP | MOD | 20-25' | 15-20' |
| CR IN | 6 | CORTEAEGUS CRUSGALLI 'NEBAMIS' | THORNLESS COCKSPUR HAWTHORN | B & B | 2' CAL | LOW | 20-25' | 25-30' |
| KO PA | 3 | KOELERUTERIA PANICULATA | GOLDENROD TREE | B & B | 2' CAL | VERY LOW | 25-30' | 25-30' |
| MA TH | 5 | MALUS X 'THUNDERCHILD' | THUNDERCHILD CRAB APPLE | B & B | 2' CAL | LOW | 15-20' | 10-15' |
| MA PR | 14 | MALUS X 'PARADISE' | PARADISE CRABAPPLE | B & B | 2' CAL | MOD | 15-20' | 15-20' |
| PR MO | 11 | PRUNUS AMERICANA 'MOORPARK' | MOORPARK APRICOT | B & B | 2' CAL | MOD | 20-25' | 20-25' |
| PR IT | 15 | PRUNUS PERSICA 'ELBERIA' | ELBERIA PEACH | B & B | 2' CAL | MOD | 15-20' | 10-15' |
| SV RE | 18 | SYRINGA RETICULATA | JAPANESE TREE LILAC | B & B | 2' CAL | MOD | 20-25' | 15-20' |
| TOTAL | 103 | | | | | | | |
| DECIDUOUS SHRUBS | | | | | | | | |
| AR ER | 20 | ARONIA ARBUTIFOLIA 'ERECTA' | UPRIGHT RED CHOKEBERRY | CONT. | #5 | LOW | 6-7' | 3-4' |
| BE TA | 21 | BERBERIS X 'TARA' | EMERALD CAROUSEL BARBERRY | CONT. | #5 | LOW | 5-6' | 5-6' |
| CA BM | 11 | CARYOPTERIS X CLANDONENSIS 'BLUE MIST' | BLUE MIST BLUEBARD | CONT. | #5 | LOW | 3-4' | 2-3' |
| CH MI | 77 | CHAMAENATHARIA MILLEROLIVU' | SEMPERBUSH | CONT. | #5 | VERY LOW | 4-5' | 5-6' |
| CO AF | 120 | CORNUS SERICEA 'ARCTIC FIRE' | ARCTIC FIRE DOGWOOD | CONT. | #5 | MOD | 3-4' | 3-4' |
| CO IS | 52 | CORNUS SERICEA 'ISANTI' | ISANTI DOGWOOD | CONT. | #5 | MOD | 4-5' | 5-6' |
| CO KE | 47 | CORNUS SERICEA 'KEISEV' | KEISEY DOGWOOD | CONT. | #5 | MOD | 2-3' | 2-3' |
| ER VA | 35 | ERICAMERIA MAUSCOSA | RUBBER RAABITBUSH | CONT. | #6 | VERY LOW | 5-6' | 4-5' |

REQUIRED EVERGREEN TOTALS

| | |
|--|-----|
| TOTAL TREES | 370 |
| ROW TREES | 144 |
| COMMON ARE A (NON ROW) TREES | 226 |
| TOTAL EVERGREEN TREES | 111 |
| TOTAL PERCENTAGE OF EVERGREEN TREES (MINIMUM AT LEAST 33%) | 30% |
| PERCENTAGE OF EVERGREEN TREES (EXCLUDING ROW TREES) | 49% |

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

DATE: 05.02.2024

50 OF 106
 LANDSCAPE SCHEDULES



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO

PLANT SCHEDULE CONT.

SHEET 51 OF 106



DATE: 05.02.2024

| CODE | QTY | BOJANICA NAME | COMMON NAME | ROOT | SIZE | WATER USE | HEIGHT | SPREAD | NOTE |
|---------------------------------|-------|--|---------------------------------|-------|------|-----------|--------|--------|---|
| ERR1 | 131 | ERICAMERIA NAUSEOSA NAUSEOSA | DWARF BLUE RABBITBRUSH | CONT. | #5 | VERY LOW | 2-3' | 2-3' | 20% MIN. SHADE TREES ARE INCREASED TO 3' CAL AND 20% MIN OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT. |
| ELCO | 102 | EUNOMIUS ALATUS COMPACTUS | COMPACT BURMING BUSH | CONT. | #5 | MOD | 5-6' | 5-6' | |
| FO AR | 12 | FORSYTHIA X ARNOLD'S DWARF | SPRING GLOVE FORSYTHIA | CONT. | #5 | LOW | 2-3' | 2-3' | |
| FO SP | 19 | FORSYTHIA X INTERMEDIA 'SPRING GLOVE' | SPRING GLOVE FORSYTHIA | CONT. | #5 | MOD | 7-8' | 4-5' | |
| HY AN | 67 | HYDRANGEA ARBORESCENS ANNABELLE | ANNABELLE HYDRANGEA | CONT. | #5 | MOD | 4-5' | 3-4' | |
| LLO | 52 | LIGUSTRUM VILGARE LODENSE | LODENSE PRINCE | CONT. | #5 | LOW | 2-3' | 3-4' | |
| PE AT | 108 | PEROVSKIA ATRIPLILOFOLIA | RUSSIAN SAGE | CONT. | #5 | VERY LOW | 3-4' | 3-4' | |
| PE LS | 261 | PEROVSKIA ATRIPLILOFOLIA 'LITTLE SPHERE' | LITTLE SPHERE RUSSIAN SAGE | CONT. | #5 | VERY LOW | 2-3' | 2-3' | |
| PY MI | 45 | PHYSCARPUS OPHILOPOLIS 'MINDA' | COPPERTINA NINEBARB | CONT. | #5 | LOW | 9-12' | 9-10' | |
| PO DR | 172 | POTENTILLA FRUTICOSA GOLD DROP | GOLD DROP BUSH CINQUEFOIL | CONT. | #5 | LOW | 2-3' | 2-3' | |
| PO MC | 88 | POTENTILLA FRUTICOSA 'MCKAY'S WHITE' | MCKAY'S WHITE BUSH CINQUEFOIL | CONT. | #5 | LOW | 2-3' | 2-3' | |
| PO PB | 44 | POTENTILLA FRUTICOSA 'PINK BEAUTY' | PINK BEAUTY POTENTILLA | CONT. | #5 | LOW | 2-3' | 2-3' | |
| PR BS | 56 | PRUNUS BESSEYI | WESTERN SAND CHERRY | CONT. | #5 | VERY LOW | 5-6' | 5-6' | |
| PR PB | 141 | PRUNUS BESSEYI 'PAINNEE BUTTES' | PAINNEE BUTTES SAND CHERRY | CONT. | #5 | VERY LOW | 1-2' | 5-6' | |
| RH GR | 143 | RHUS AROMATICA 'GRO-LOW' | GRO-LOW FRAGRANT SUMAC | CONT. | #5 | LOW | 2-3' | 7-8' | |
| RO FL | 179 | ROSA X 'NEARLY WILD' | NEARLY WILD FLORIBUNDA ROSE | CONT. | #5 | MOD | 2-3' | 3-4' | |
| RO MD | 6 | STRENGA PATULA 'WISSKIM' | MISS KIM KOREAN LILAC | CONT. | #5 | VERY LOW | 4-5' | 4-5' | |
| SY MI | 8 | VIBURNUM CARLESI | KOREANSPICE VIBURNUM | CONT. | #5 | MOD | 5-6' | 7-8' | |
| VICA | 22 | VIBURNUM CARLESI | KOREANSPICE VIBURNUM | CONT. | #5 | MOD | 5-6' | 7-8' | |
| TOTAL | 1916 | | | | | | | | |
| EVERGREEN SHRUBS | | | | | | | | | |
| BUGN | 63 | BILVUS X 'GREEN MOUNTAIN' | GREEN MOUNTAIN BOXWOOD | CONT. | #5 | LOW | 4-5' | 3-4' | |
| HE PA | 56 | HESPERALOE PARVIFLORA | RED YUCCA | CONT. | #5 | VERY LOW | 3-4' | 3-4' | |
| JL BH | 12 | JUNIPERUS HORIZONTALIS 'BAR HARBOR' | BAR HARBOR CREEPING JUNIPER | CONT. | #5 | LOW | 1-2' | 7-8' | |
| JL BR | 27 | JUNIPERUS SABINA 'BROADMOOR' | BROADMOOR JUNIPER | CONT. | #5 | LOW | 1-2' | 7-8' | |
| JU CC | 36 | JUNIPERUS SABINA 'CALGARY CARPET' | CALGARY CARPET JUNIPER | CONT. | #5 | LOW | 1-2' | 7-8' | |
| MA CO | 43 | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE | CONT. | #5 | LOW | 2-3' | 2-3' | |
| PI MO | 35 | PINUS MUGO 'MOPS' | MOPS MUGO PINE | CONT. | #5 | LOW | 3-4' | 2-3' | |
| PI SL | 6 | PINUS MUGO 'SLOWMOUND' | SLOWMOUND MUGO PINE | CONT. | #5 | LOW | 4-5' | 2-3' | |
| TOTAL | 278 | | | | | | | | |
| TOTAL SHRUBS: 2,188 | | | | | | | | | |
| GRASSES | | | | | | | | | |
| AN WI | 117 | ANDROPOGON GERARDII 'WINDWALKER' | WINDWALKER BIG BLUE STEM | CONT. | #1 | LOW | 5-6' | 2-3' | |
| AN SC | 78 | ANDROPOGON SCOPARIUS | LITTLE BLUESTEM | CONT. | #1 | VERY LOW | 2-3' | 1-2' | |
| BO BA | 986 | BOUTELOUA GRACILIS 'BLOODE AMBITON' | BLOODE AMBITON BLUE GRAMA GRASS | CONT. | #1 | VERY LOW | 1-2' | 1-2' | |
| CA BR | 30 | CALAMAGROSTIS BRACHYTRICHA | KOREAN FEATHER REED GRASS | CONT. | #1 | LOW | 3-4' | 2-3' | |
| CA KF | 383 | CALAMAGROSTIS X ACUTIFLORA 'VARL FOSTER' | VARL FOSTER FEATHER REED GRASS | CONT. | #1 | LOW | 4-5' | 2-3' | |
| EI BA | 48 | ERIANTHUS RAVENNAE | RAVENNA GRASS | CONT. | #1 | MOD | 9-12' | 3-4' | |
| HA AU | 297 | HAKONECHLOA MACRA 'AUREOLA' | GOLDEN VARIEGATED FOREST GRASS | CONT. | #1 | HIGH | 1-2' | 1-2' | |
| HE SE | 126 | HELICTRICHON SEMPERVIRENS | BLUE OAT GRASS | CONT. | #1 | LOW | 2-3' | 1-2' | |
| MI ML | 198 | MISCANTHUS SINENSIS 'MORNING LIGHT' | MORNING LIGHT MAIDEN GRASS | CONT. | #1 | MOD | 4-5' | 2-3' | |
| MI VA | 46 | MISCANTHUS SINENSIS 'VAREGATUS' | VAREGATED MAIDEN GRASS | CONT. | #1 | MOD | 4-5' | 2-3' | |
| PN SH | 245 | PANICUM VIRGATUM 'SHEWANDA' | SHEWANDA SWITCH GRASS | CONT. | #1 | LOW | 3-4' | 2-3' | |
| SC SC | 210 | SCHIZACHYRIUM SCOPARIUM 'BLAZE' | BLAZE LITTLE BLUESTEM | CONT. | #1 | LOW | 3-4' | 2-3' | |
| SP HE | 510 | SPOROBOLUS HETEROLENS | PRAIRIE DROPSEED | CONT. | #1 | LOW | 2-3' | 1-2' | |
| TOTAL | 3,368 | | | | | | | | |
| TOTAL ORNAMENTAL GRASSES: 3,368 | | | | | | | | | |
| PERENNIALS | | | | | | | | | |
| AC MD | 257 | ACHILLEA X 'MOONSHINE' | MOONSHINE YARROW | CONT. | #1 | VERY LOW | 2-3' | 1-2' | |
| AA AP | 154 | AGASTACHE RUPESTRIS 'APACHE SUNSET' | APACHE SUNSET THERACLEAF HYSSOP | CONT. | #1 | LOW | 1-2' | 1-2' | |
| AN SR | 10 | ANEMONE X HYBRIDA 'SERENADE' | SERENADE JAPANESE ANEMONE | CONT. | #1 | MOD | 1-2' | 1-2' | |
| CA RA | 16 | CAMPIS RADICANS | TRUMPET CREEPER | CONT. | #1 | LOW | 13-16' | 3-4' | |
| EC PU | 131 | ECHINACEA PURPUREA | PURPLE CONEFLOWER | CONT. | #1 | LOW | 1-2' | 1-2' | |
| EN PE | 18 | ENGELMANNIA PERISTEMIA | ENGELMANN'S DAISY | CONT. | #1 | LOW | 1-2' | 2-3' | |
| GL OD | 68 | GALUIM ODO RATUM | SWEET WOODRUPE | CONT. | #1 | MOD | <1' | 1-2' | |
| GE RZ | 77 | GERANIUM X GERVAT | KOZANNE GERANIUM | CONT. | #1 | MOD | 1-2' | 1-2' | |
| HE PP | 222 | HELIOPHILA MICRANTHA 'PURPLE PALACE' | PURPLE PALACE CORAL BELLS | CONT. | #1 | MOD | 1-2' | 1-2' | |
| HE SA | 55 | HELIOPHILA X 'SNOW ANGEL' | SNOW ANGEL CORAL BELLS | CONT. | #1 | MOD | 1-2' | 1-2' | |
| HO PA | 58 | HOSTA FORTUNEI 'PATRIOT' | PATRIOT HOSTA | CONT. | #1 | MOD | 1-2' | 2-3' | |
| HO KR | 29 | HOSTA X 'KROSSA REGAL' | KROSSA REGAL HOSTA | CONT. | #1 | MOD | 2-3' | 3-4' | |
| LA AN | 80 | LAVANDULA ANGSTUFOLIA 'MUNSTEAD' | MUNSTEAD ENGLISH LAVENDER | CONT. | #1 | LOW | 1-2' | 1-2' | |
| LY AU | 132 | LYSIACHIA NUMMULARIA 'AUREA' | GOLDEN CREEPING JEWEL | CONT. | #1 | MOD | 3-4' | 1-2' | |
| NE WL | 477 | NETETIA X 'WALKER'S TOW' | WALKER'S LOW CANTINANT | CONT. | #1 | LOW | 2-3' | 2-3' | |
| RU FU | 92 | RUBROCKIA FULGIDA 'GO-DUSTRUM' | BLACK-EYED SUSAN | CONT. | #1 | LOW | 2-3' | 1-2' | |
| VI BV | 186 | VINCA MINOR 'BOWLES' | BOWLES COMMON PERIWINKLE | CONT. | #1 | LOW | <1' | 1-2' | |
| TOTAL | 3,361 | | | | | | | | |
| TOTAL PERENNIALS: 2,141 | | | | | | | | | |

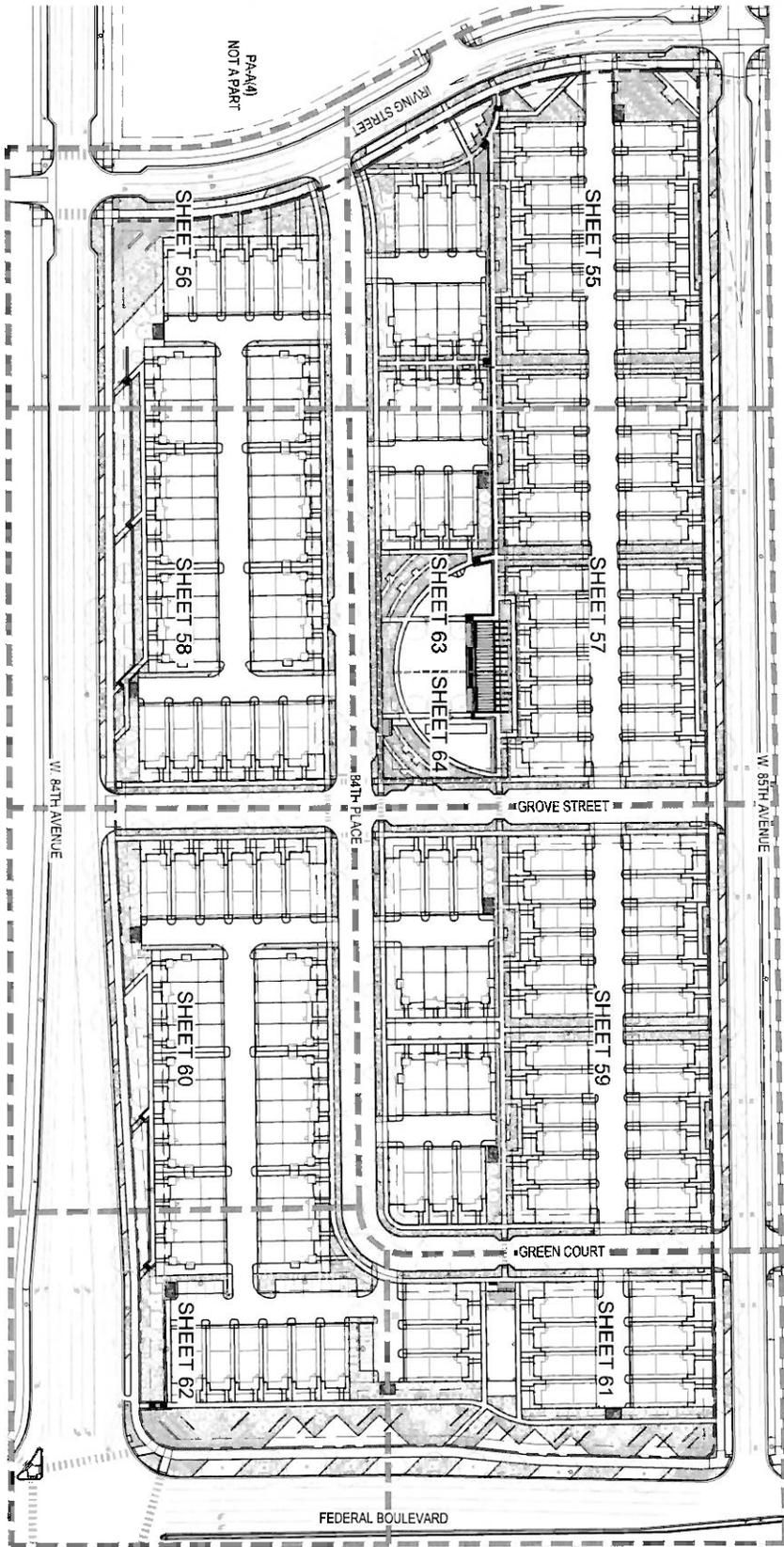
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|-----|--|
| 51 | OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| OF | REVISIONS |
| 106 | SUB02: 03/07/24 |
| | SUB03: 05/02/24 |
| | |
| | |

UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



LANDSCAPE SCHEDULES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 52 OF 106



- LEGEND
- SNOW STORAGE LOCATIONS
 - - - MATCH LINE
 - - - SITE BOUNDARY

NOTE
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



52 OF 106
 OVERALL
 LANSCHPE PLAN

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24
 SUB03: 05/02/24

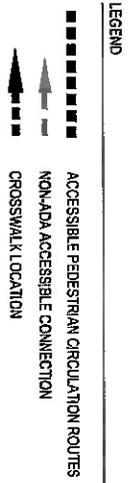
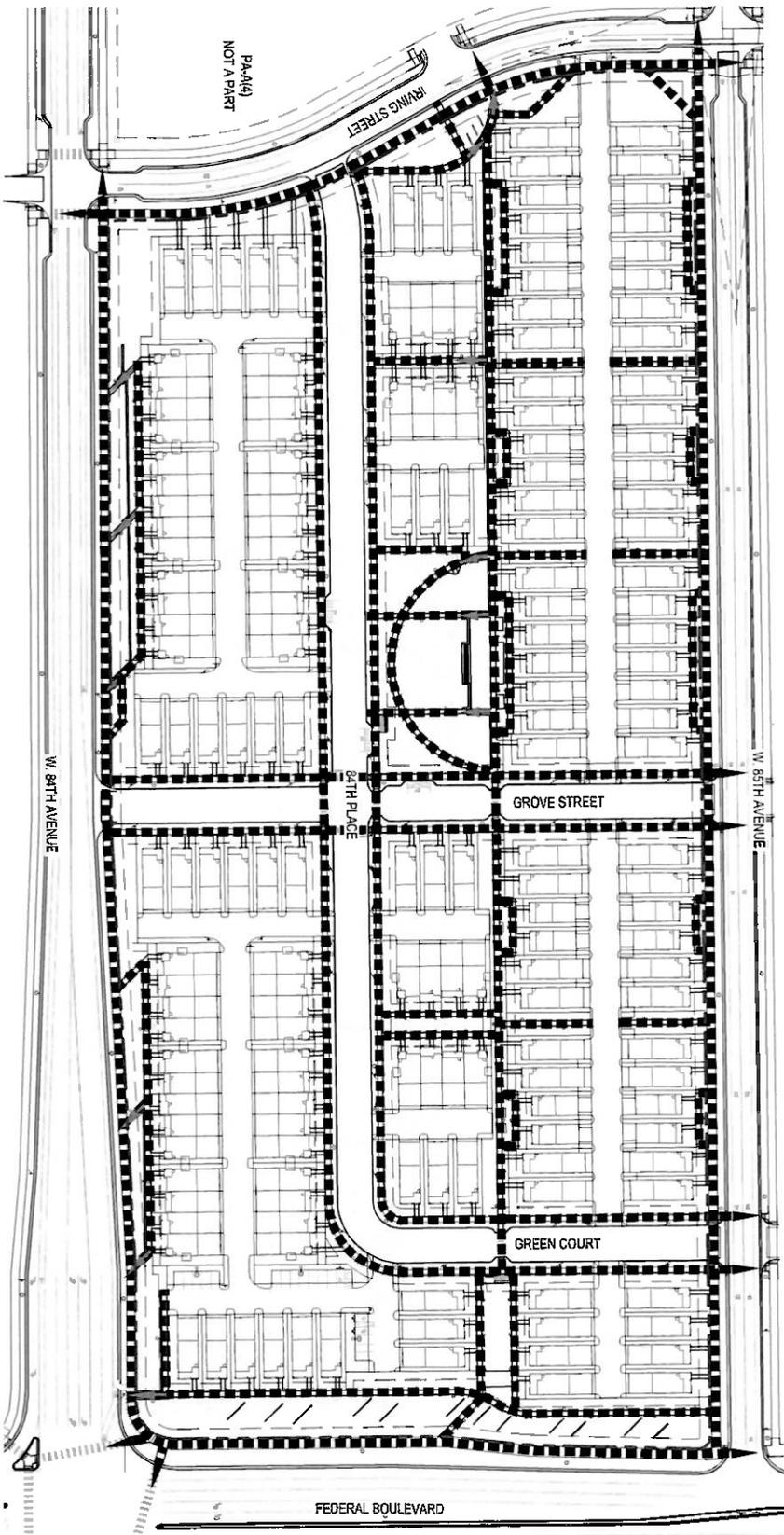
UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



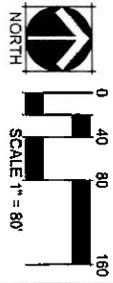
DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 53 OF 108



NOTE:
 1. TO PROMOTE SAFE PEDESTRIAN CROSSING, ADDITIONAL CROSSINGS MAY BE PROVIDED ONCE ADJACENT NEIGHBORHOOD LAYOUTS ARE DETERMINED.



| | |
|---|--|
| 53 OF 108 PEDESTRIAN CIRCULATION PLAN | OFFICIAL DEVELOPMENT PLAN PREPARED 12.07.2023 |
| | REVISIONS |
| | SUB02: 03/07/24 |
| | SUB03: 05/02/24 |

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

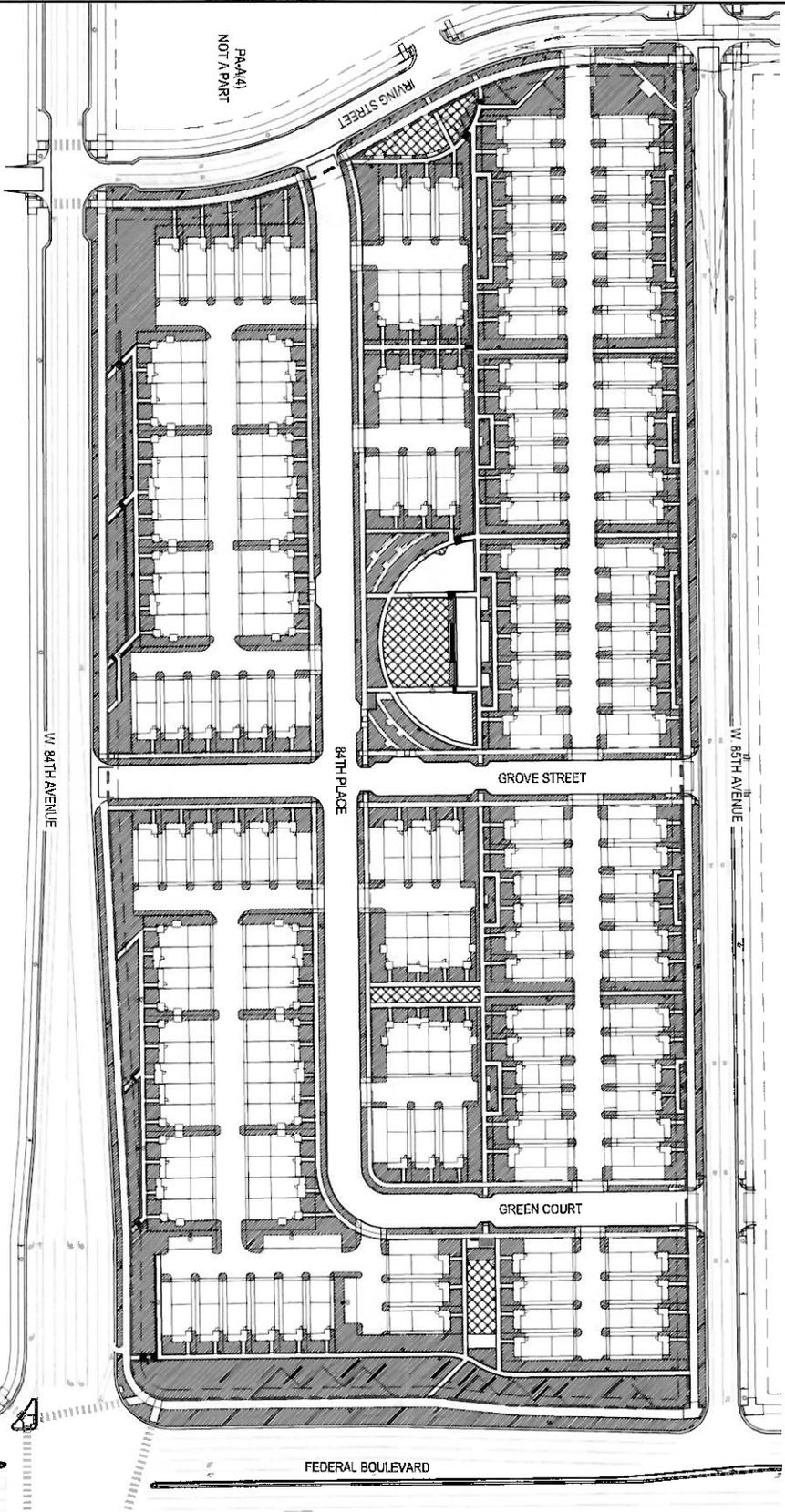


DATE: 05.02.2024

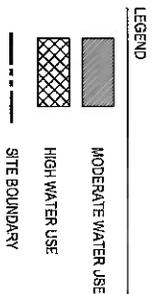


PLAN NUMBER 17

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 54 OF 106



| LANDSCAPE WATER BUDGET | LANDSCAPE HYDROZONE | COVERAGE (%) | AREA (SF) | TOTAL WATER USE (GAL) | TOTAL GAL / SF | |
|-------------------------------------|---------------------|--------------|-----------|-----------------------|----------------|---------|
| HIGH | | 7.7 | 12,540 | X 18 GAL = | 225,720 | |
| MEDIUM | | 92.3 | 151,043 | X 10 GAL = | 1,510,430 | |
| TOTAL ALL HYDROZONES: | | 100 | 163,583 | TOTAL GAL. | 1,736,150 | |
| TOTAL GAL / TOTAL LANDSCAPED AREA = | | | | 10.6 | GAL / SF | |
| MEDIUM (PRIVATELY IRRIGATED AREA)* | | | | 91,338 | X 10 GAL = | 913,380 |



- NOTES:
1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.
 2. TOTAL LANDSCAPE AREA EXCLUDES SFD HOMES.
 3. ALL IRRIGATION USES A PORTABLE WATER SOURCE.
 4. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.
 5. HOSE BIBS WILL BE PROVIDED FOR INDIVIDUAL HOMEOWNER USE ON ALL SFD AND PAIRED HOMES.

NOTES:
 * PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEET 9 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.



| |
|---|
| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |
| 54 OF 106 HYDROZONE PLAN |

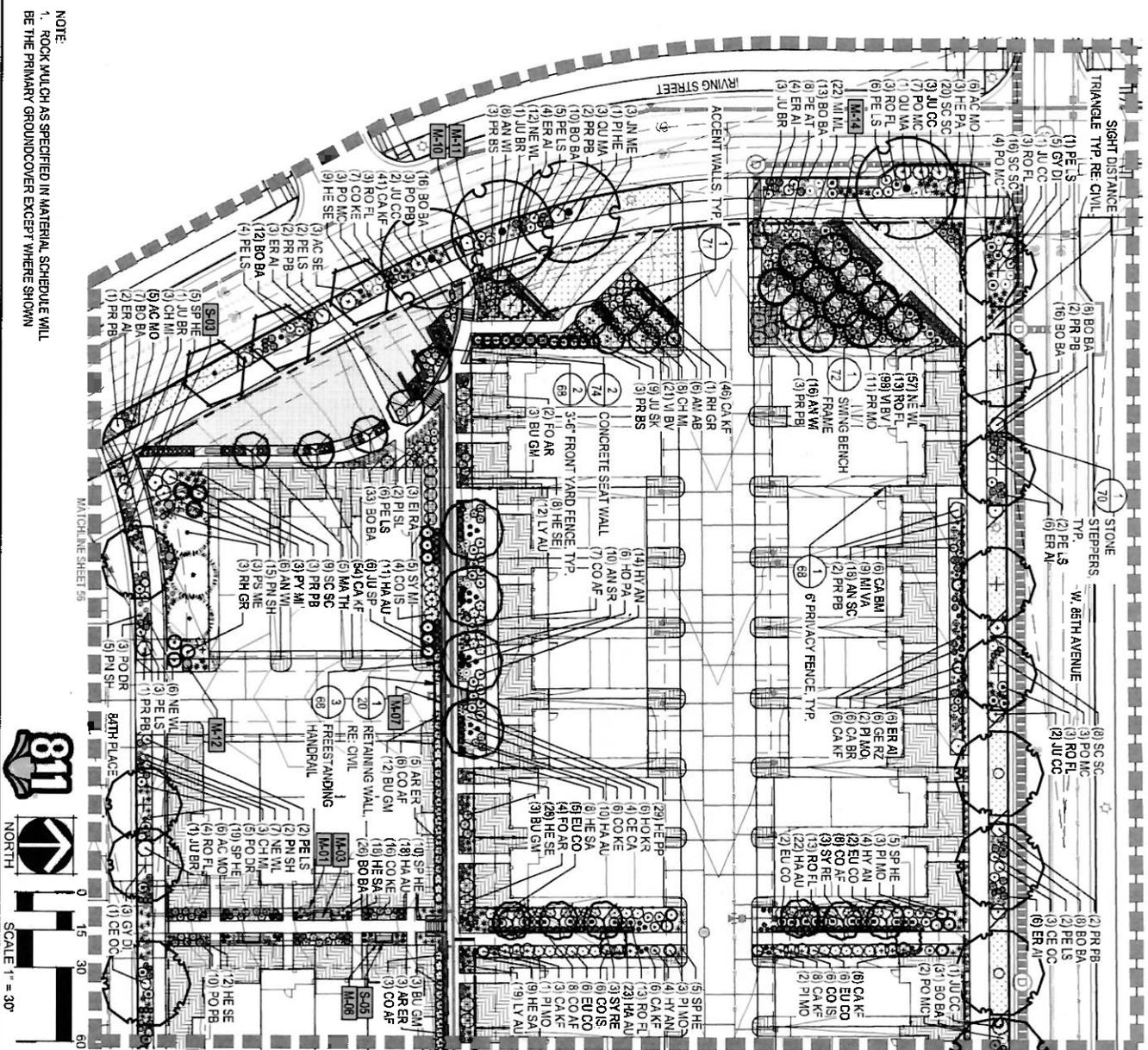
UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 55 OF 106



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUNDCOVER EXCEPT WHERE SHOWN



KEY MAP P(A)(7)

LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- BIRD STORAGE
- SNOW STORAGE
- BIKE RACK
- TRASH/RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BENCH REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6 PRIVACY FENCE
- 3-6 FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE - RE CIVIL
- SANITARY LINE - RE CIVIL
- GAS LINE - RE CIVIL
- JOINT TRENCH, RE CIVIL
- FIRE HYDRANT, RE CIVIL
- LIGHT POLE
- NATTOURLINE
- RELAXMENT LINE
- PARK BOUNDARY
- PLAYGROUND CL-ARB

55 OF 106
 LANDSCAPE PLAN

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

| |
|-----------------|
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

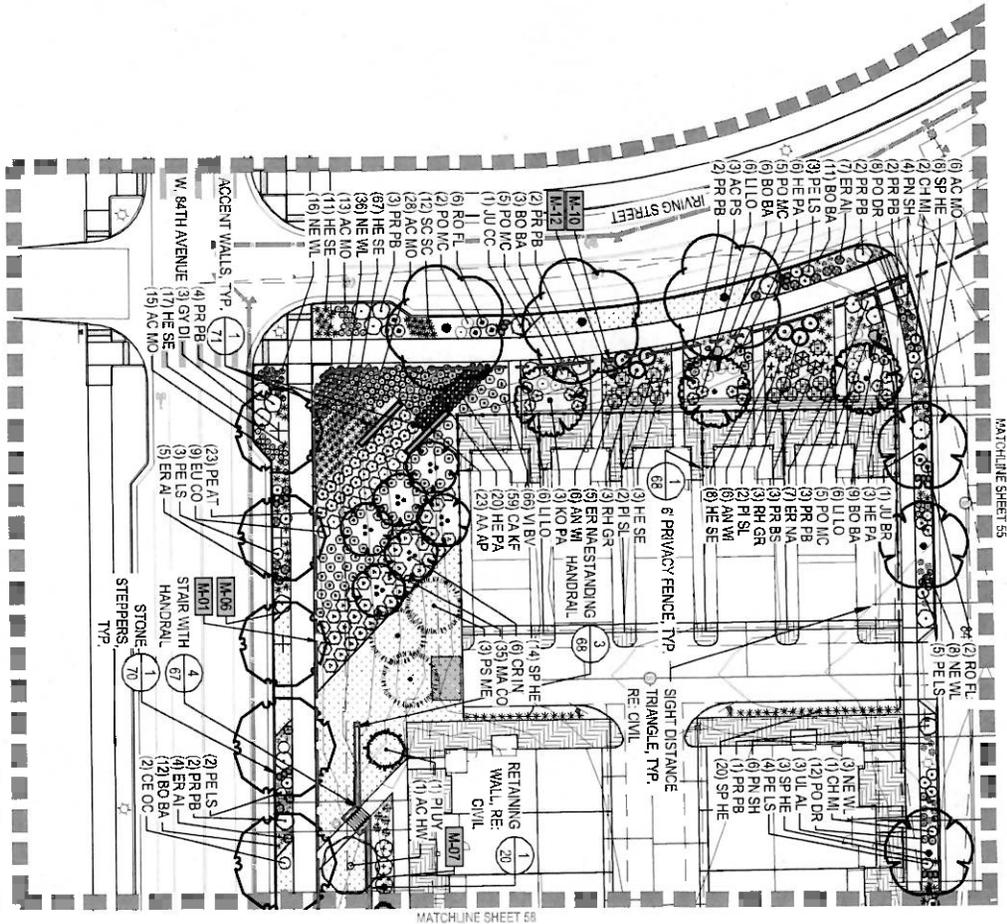
UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

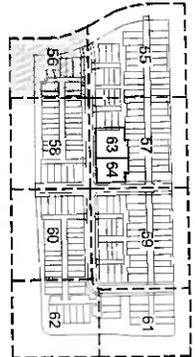
DATE: 05.02.2024

NORRIS DESIGN
 1701 W. 10TH AVE. SUITE 100
 WESTMINSTER, CO 80057
 (303) 440-1111
 www.norrisdesign.com

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 56 OF 106



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



| LEGEND | DESCRIPTION |
|--------|----------------------------|
| (+) | CANOPY TREE |
| (*) | ORNAMENTAL TREE |
| (*) | EVERGREEN TREE |
| (*) | DECIDUOUS SHRUB |
| (*) | EVERGREEN SHRUB |
| (*) | ORNAMENTAL GRASS |
| (*) | PERENNIAL |
| (*) | SNOW STORAGE |
| (*) | BIKE RACK |
| (*) | TRASH / RECYCLING |
| (*) | PET WASTE STATION |
| (*) | TABLE |
| (*) | BENCH BACKED |
| (*) | BENCH BACKLESS |
| (*) | BIKE REPAIR STAND |
| (*) | IRRIGATED TURF - SOD |
| (*) | NATIVE GRASS - SOD |
| (*) | ON LOT LANDSCAPE |
| (*) | LANDSCAPE BED - ROCK MULCH |
| (*) | CRUSHER FINES |
| (*) | PLAY SURFACE |
| (*) | ENHANCED PAVING |
| (*) | ARTIFICIAL TURF |
| (*) | LANDSCAPE BED - WOOD MULCH |
| (*) | MINOR CONTOUR |
| (*) | MAJOR CONTOUR |
| (*) | PROPERTY LINE |
| (*) | UTILITY EASEMENT |
| (*) | 6" PRIVACY FENCE |
| (*) | 3-4" FRONT FENCE |
| (*) | SIGHT TRIANGLE |
| (*) | STEEL EDGER |
| (*) | WATER LINE, RE: CIVIL |
| (*) | SEWERY LINE, RE: CIVIL |
| (*) | GAS LINE, RE: CIVIL |
| (*) | JOINT TRENCH, RE: CIVIL |
| (*) | FIRE HYDRANT, RE: CIVIL |
| (*) | LIGHT POLE |
| (*) | MATCHLINE |
| (*) | ENLARGEMENT LINE |
| (*) | PARK BOUNDARY |
| (*) | PLAYGROUND DL-RB |



DATE: 05.02.2024

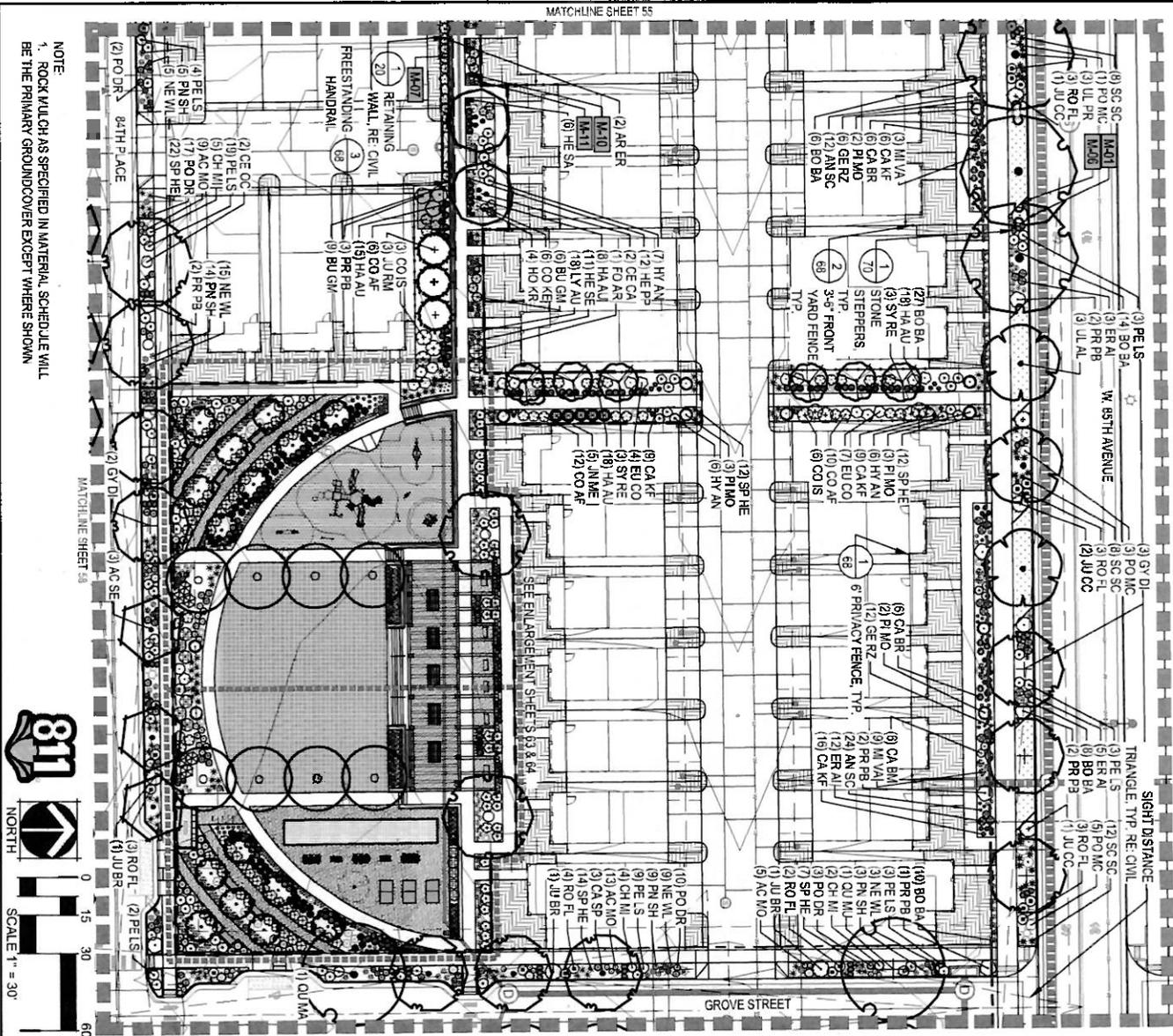
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

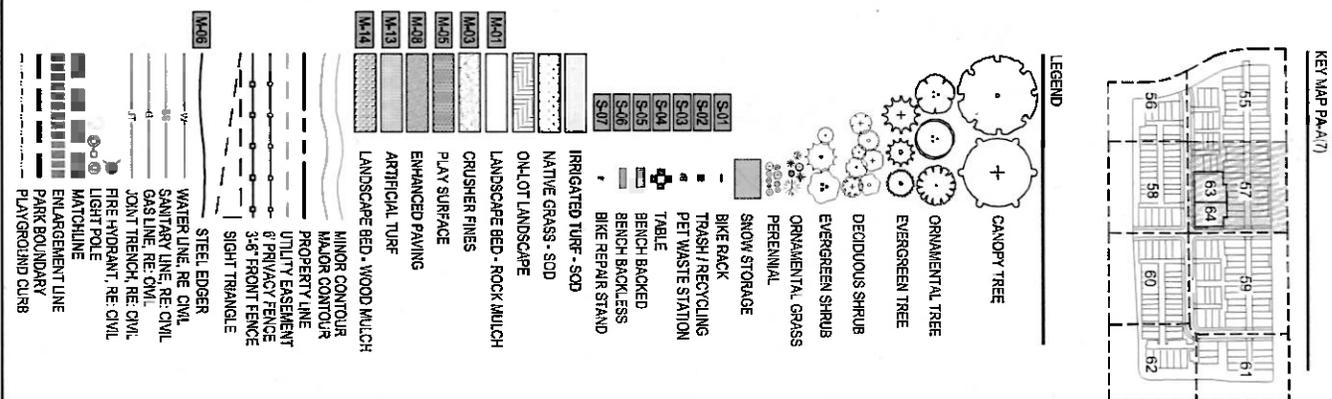
56 OF 106
 LANDSCAPE PLAN



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 57 OF 106



NOTE
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24

SUB03: 05/02/24

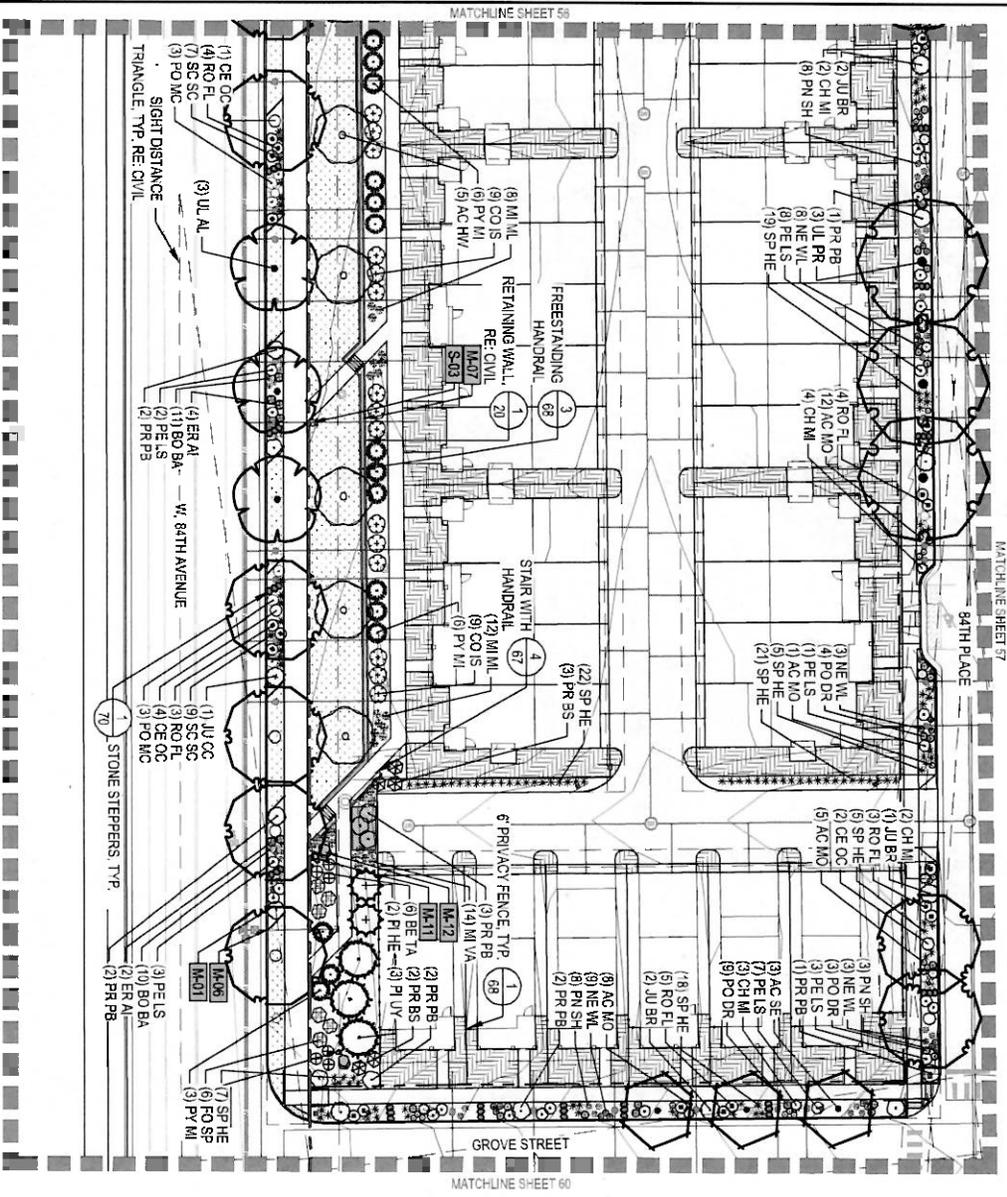
UPLANDS FILING NO. 1
BLOCK 7
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

UPLANDS

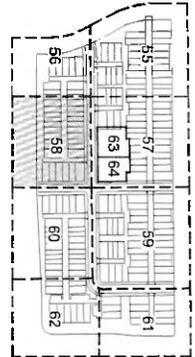
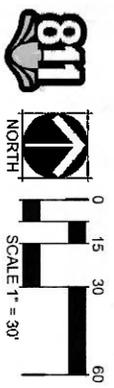
DATE: 05.02.2024

NORRIS DESIGN
 1735 S. W. 10TH AVE.
 WESTMINSTER, CO 80057
 303.426.1111
 WWW.NORRISDESIGN.COM

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 58 OF 108



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUNDCOVER EXCEPT WHERE SHOWN



LEGEND

| | |
|--|----------------------------|
| | CANOPY TREE |
| | ORNAMENTAL TREE |
| | EVERGREEN TREE |
| | DECIDUOUS SHRUB |
| | EVERGREEN SHRUB |
| | PERENNIAL |
| | ORNAMENTAL GRASS |
| | SNOW STORAGE |
| | BIKE RACK |
| | TRASH / RECYCLING |
| | PET WASTE STATION |
| | TABLE |
| | BENCH BACKED |
| | BIKE REPAIR STAND |
| | IRRIGATED TURF - SOD |
| | NATIVE GRASS - SOD |
| | ON-LOT LANDSCAPE |
| | LANDSCAPE BED - ROCK MULCH |
| | CRUSHER-FINES |
| | P-AV SURFACE |
| | ENHANCED PAVING |
| | ARTIFICIAL TURF |
| | LANDSCAPE BED - WOOD MULCH |
| | MINOR CONTOUR |
| | MAJOR CONTOUR |
| | PROPERTY LINE |
| | UTILITY EASEMENT |
| | 3-6' FRONT FENCE |
| | SIGHT TRIANGLE |
| | STEEL EDGER |
| | WATER LINE, RE CIVIL |
| | SANITARY LINE, RE CIVIL |
| | GAS LINE, RE CIVIL |
| | JOINT TRENCH, RE CIVIL |
| | FIRE HYDRANT, RE CIVIL |
| | LIGHT POLE |
| | KATCHLINE |
| | ENLARGEMENT LINE |
| | PARK BOUNDARY |
| | PLAYGROUND CLUB |

| | |
|---|----------------|
| 58 OF 106 | LANDSCAPE PLAN |
| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 | |
| REVISIONS | |
| SUB02: 03/07/24 | |
| SUB03: 05/02/24 | |

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

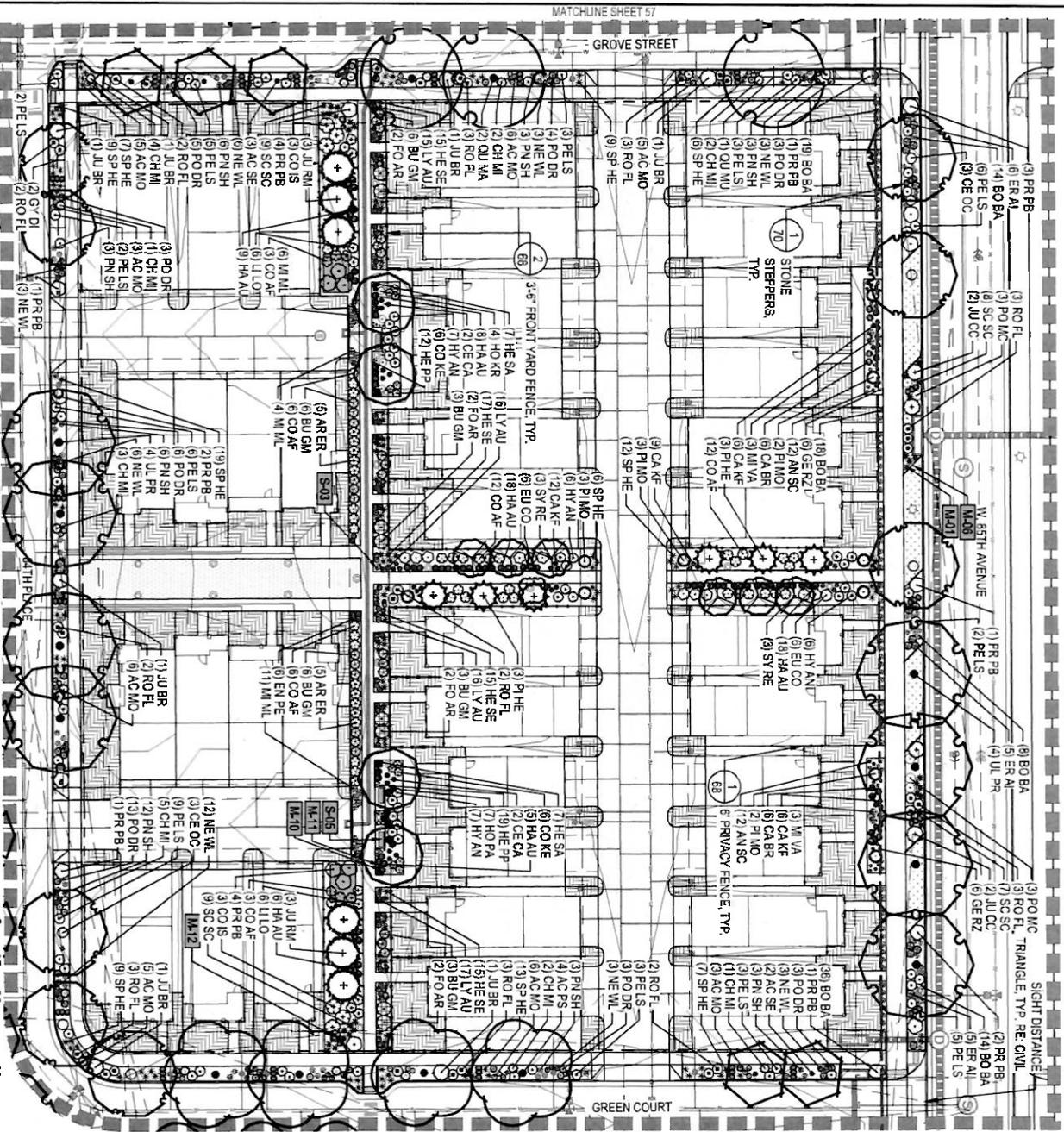
UPLANDS

DATE: 05.02.2024

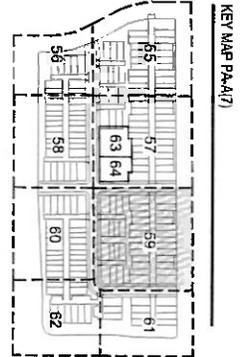
NORRIS DESIGN
 LANDSCAPE ARCHITECTS
 1000 W. 10TH AVENUE
 WESTMINSTER, CO 80057
 (303) 440-1111
 www.norrisdesign.com

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 59 OF 106

W. 58TH AVENUE
 GROVE STREET
 GREEN COURT



NOTE
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



LEGEND

- ORNA MENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EMERGREEN SHRUB
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON-LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EMBLEM
- 6\"/>

KEY MAP P(A-17)

SCALE 1" = 30'

UPLANDS DESIGN
 12700 E. 10TH AVENUE, SUITE 200
 WESTMINSTER, CO 80040
 P: 303.426.1100
 F: 303.426.1101
 WWW.UPLANDSDESIGN.COM

DATE: 05.02.2024

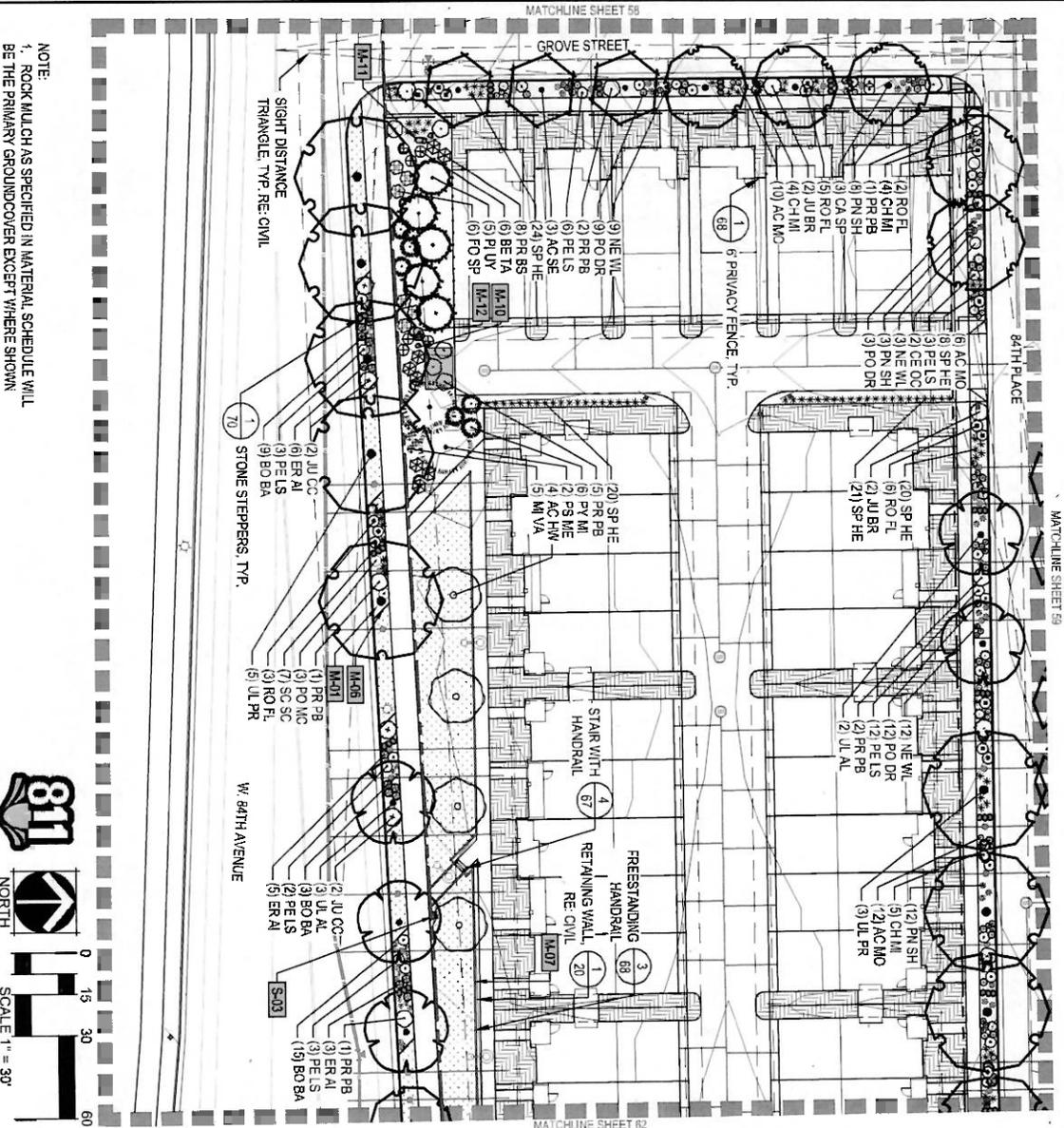
**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

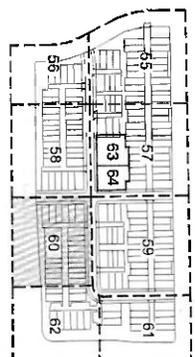
REVISIONS

| |
|-----------------|
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 60 OF 106



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUNDCOVER EXCEPT WHERE SHOWN



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON-LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6' PRIVACY FENCE
- 3-6' FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE, RE. CIVIL
- SANITARY LINE, RE. CIVIL
- GAS LINE, RE. CIVIL
- JOINT TRENCH, RE. CIVIL
- FIRE HYDRANT, RE. CIVIL
- LIGHT POLE
- MATCHLINE
- ENLARGEMENT LINE
- PARK BOUNDARY
- PLAYGROUND CURB

PLANT SCHEDULE

- M-10 (20) SP HE
- M-11 (5) PR PB
- M-12 (2) PS MI
- M-13 (4) AC HW
- M-14 (5) MI VA
- M-15 (9) NE WL
- M-16 (9) PO DR
- M-17 (2) PR PB
- M-18 (6) PE LS
- M-19 (3) AC SE
- M-20 (24) SP HE
- M-21 (8) PR BS
- M-22 (6) BE TA
- M-23 (5) PLU
- M-24 (6) FO SP
- M-25 (1) PR PB
- M-26 (3) ER AI
- M-27 (3) BO BA
- M-28 (9) BO BA
- M-29 (2) JU CC
- M-30 (1) ER AI
- M-31 (7) SC SC
- M-32 (3) RO FL
- M-33 (6) UL PR
- M-34 (2) JU CC
- M-35 (3) UL AL
- M-36 (3) BO BA
- M-37 (2) PE LS
- M-38 (3) ER AI
- M-39 (1) PR PB
- M-40 (3) ER AI
- M-41 (3) PE LS
- M-42 (19) BO BA
- M-43 (1) PR PB
- M-44 (3) ER AI
- M-45 (3) PE LS
- M-46 (19) BO BA
- M-47 (1) PR PB
- M-48 (3) ER AI
- M-49 (3) PE LS
- M-50 (19) BO BA
- M-51 (1) PR PB
- M-52 (3) ER AI
- M-53 (3) PE LS
- M-54 (19) BO BA
- M-55 (1) PR PB
- M-56 (3) ER AI
- M-57 (3) PE LS
- M-58 (19) BO BA
- M-59 (1) PR PB
- M-60 (3) ER AI
- M-61 (3) PE LS
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- M-63 (1) PR PB
- M-64 (3) ER AI
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- M-95 (1) PR PB
- M-96 (3) ER AI
- M-97 (3) PE LS
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- M-149 (3) PE LS
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- M-151 (1) PR PB
- M-152 (3) ER AI
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- M-210 (19) BO BA
- M-211 (1) PR PB
- M-212 (3) ER AI
- M-213 (3) PE LS
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- M-216 (3) ER AI
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- M-219 (1) PR PB
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- M-224 (3) ER AI
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- M-229 (3) PE LS
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- M-231 (1) PR PB
- M-232 (3) ER AI
- M-233 (3) PE LS
- M-234 (19) BO BA
- M-235 (1) PR PB
- M-236 (3) ER AI
- M-237 (3) PE LS
- M-238 (19) BO BA
- M-239 (1) PR PB
- M-240 (3) ER AI
- M-241 (3) PE LS
- M-242 (19) BO BA
- M-243 (1) PR PB
- M-244 (3) ER AI
- M-245 (3) PE LS
- M-246 (19) BO BA
- M-247 (1) PR PB
- M-248 (3) ER AI
- M-249 (3) PE LS
- M-250 (19) BO BA

60 OF 106
 LANDSCAPE PLAN

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

REVISIONS

| |
|-----------------|
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

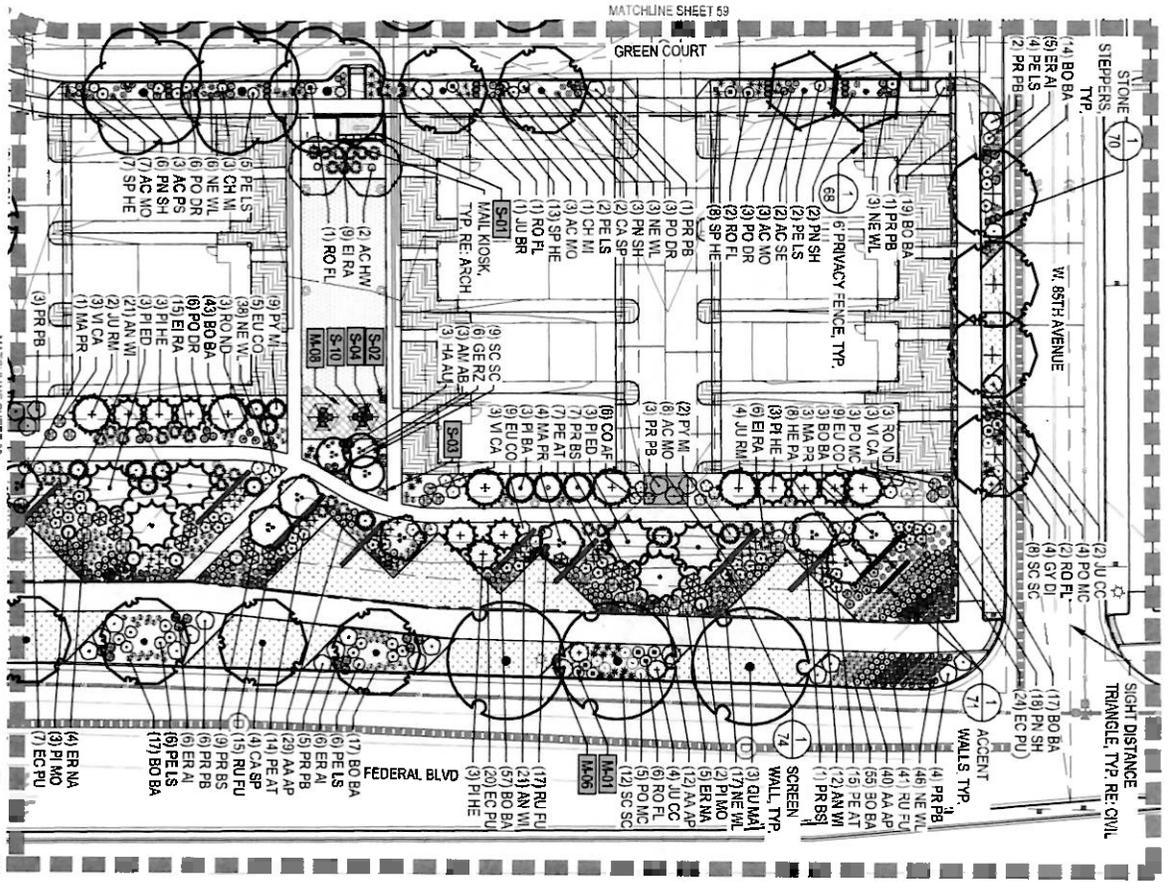
UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

UPLANDS

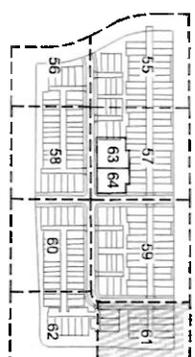
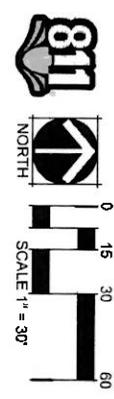
DATE: 05.02.2024

NORRIS DESIGN
 1110 W. 10TH AVE. SUITE 200
 DENVER, CO 80202
 720.755.1100
 WWW.NORRISDESIGN.COM

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 61 OF 106



NOTE
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL
 BE THE PRIMARY GROUNDCOVER EXCEPT WHERE SHOWN



LEGEND

- ORNAAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH/RECYCLING PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON-LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6" PRIVACY FENCE
- 3-6" FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE, RE: CIVIL
- SEWANTARY LINE, RE: CIVIL
- GAS LINE, RE: CIVIL
- JOINT TRENCH, RE: CIVIL
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- ENLARGEMENT LINE
- MATCHLINE
- PARK BOUNDARY
- PLATGROUND CURB

UPLANDS

DATE: 05.02.2024

**UPLANDS FILING NO. 1
 BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

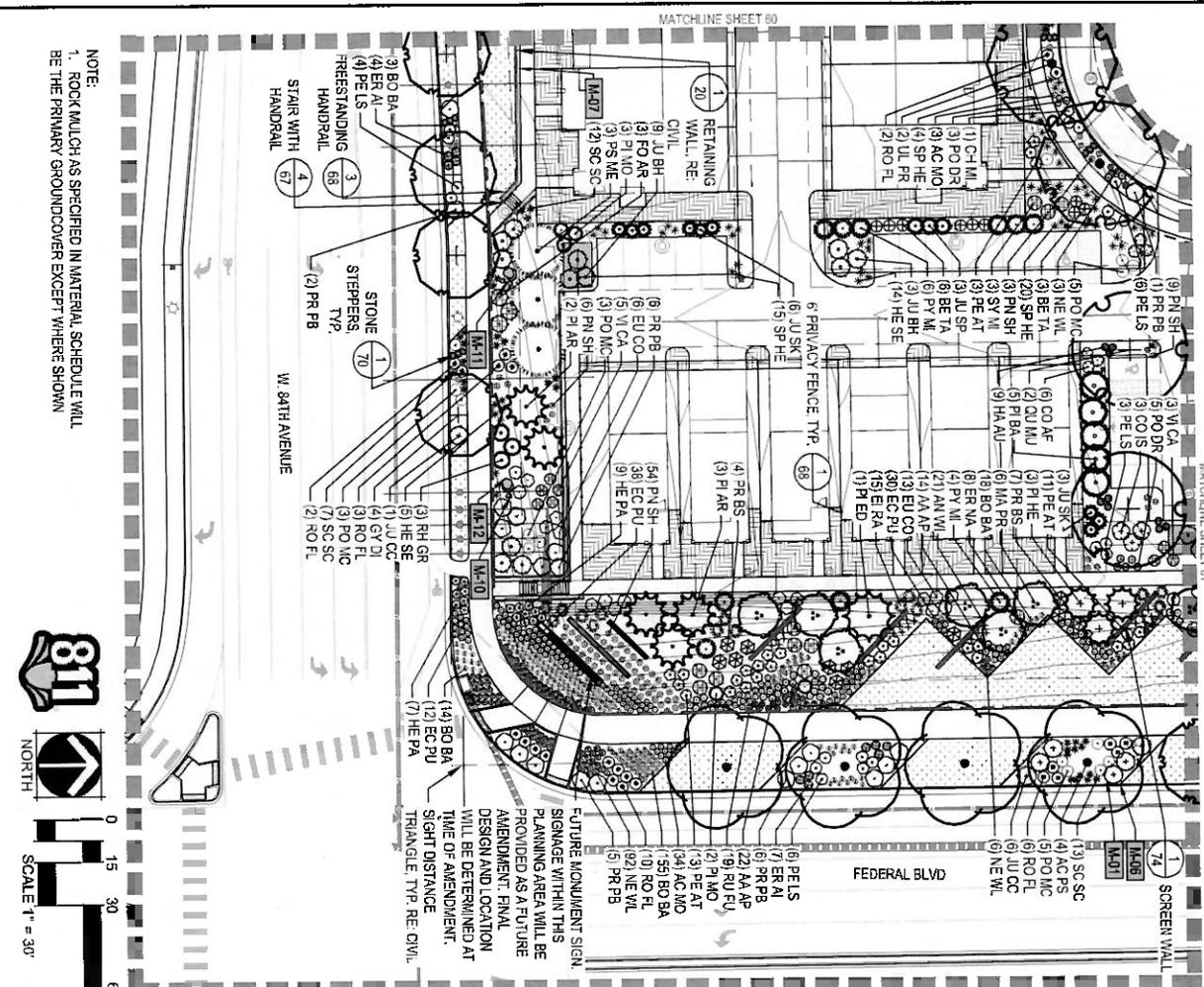
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 12.07.2023

| REVISIONS |
|-----------------|
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 62 OF 106

OFFICIAL DEVELOPMENT PLAN
 UPLANDS - FILING NO. 1 - BLOCK 7
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 62 OF 106



NOTE:
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH / RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON-LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6\"/> PRIVACY FENCE
- 3-4\"/> FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE - RE. CIVIL
- SANITARY LINE - RE. CIVIL
- GAS LINE - RE. CIVIL
- JOINT TRENCH - RE. CIVIL
- FIRE HYDRANT - RE. CIVIL
- LIGHT POLE
- MATCHLINE
- ENLARGEMENT LINE
- PARK BOUNDARY
- PLAYGROUND CURB

UPLANDS FILING NO. 1
BLOCK 7
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



DATE: 05.02.2024



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| OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023 |
| REVISIONS |
| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

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 LANDSCAPE PLAN