

LEGAL DESCRIPTION  
FINAL PLAT FOR BLOCK 7 OF UPLANDS FILING NO. 1, SECOND  
DATED \_\_\_\_\_, CITY OF WESTMINSTER,  
COUNTY OF ADAMS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE

I, A LAND SURVEYOR  
REGISTERED IN THE STATE OF COLORADO,  
HEREBY CERTIFY THAT THE ABOVE LEGAL  
DESCRIPTION HAS BEEN PREPARED OR  
REVIEWED BY ME TO BE AN ACCURATE  
DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE \_\_\_\_\_  
REGISTERED  
LAND SURVEYOR & NO. \_\_\_\_\_

PROJECT TEAM

PROPERTY OWNER / APPLICANT  
UPDR UPLANDS LLC  
CHAD ELLINGTON  
1480 HAMBOLDT STREET  
DENVER, CO 80218  
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ENGLEWOOD, CO 80112  
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PLANNER/LANDSCAPE ARCHITECT  
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ARCHITECT  
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PBRADY@GODDENSUDIK.COM

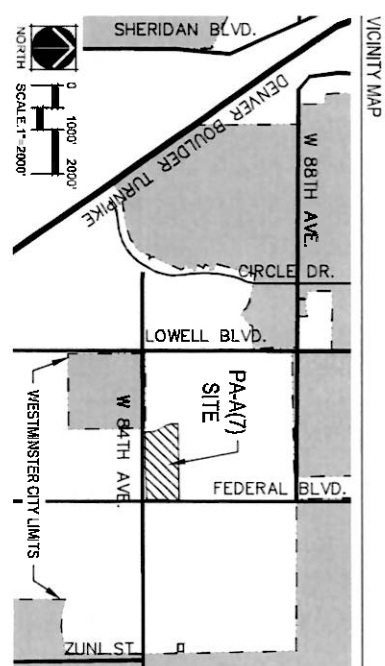
DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST  
ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING  
PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED  
TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE  
WITH CITY CODE.

PERMITTED / PROHIBITED USES

- PERMITTED USES
- SINGLE-FAMILY ATTACHED (PAIRED & TOWNHOME) RESIDENCES
  - SINGLE-FAMILY DETACHED RESIDENCES
  - PRIVATE NON-COMMERCIAL RECREATIONAL FACILITIES, PARKS  
AND OPEN SPACE
  - TEMPORARY SALES OFFICE AND PARKING LOT
  - TEMPORARY CONSTRUCTION OFFICE AND MATERIALS STORAGE
- PROHIBITED USES
- ACCESSORY STRUCTURES, NO ACCESSORY STRUCTURES WILL BE  
ALLOWED ON PRIVATE LOTS.
  - ALL ACCESSORY STRUCTURES IN THE COMMON AREA MUST BE  
REVIEWED AND APPROVED VIA AN ODP AMENDMENT.
- REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR  
OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE  
NOT PROPOSED WITH THIS ODP.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 1 OF 107



ADJACENT ZONING, LAND USE & COMP. PLAN DESIGNATIONS

	ZONING	LAND USE	COMP. PLAN
PA-NT:	PUD	VACANT	MIXED USE NEIGHBORHOOD
NORTH:	PUD	VACANT	MIXED USE NEIGHBORHOOD
SOUTH:	R-1	SINGLE-FAMILY RESIDENCES	RESIDENTIAL LOW DENSITY
EAST:	C-1	COMMERCIAL BUSINESSES	COMMERCIAL
WEST:	PUD	VACANT	MIXED USE NEIGHBORHOOD

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OWNER APPROVAL \_\_\_\_\_ AS  
OF \_\_\_\_\_ A  
PROPERTY OWNER DO SO APPROVE  
THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

UPDR UPLANDS LLC,  
A DELAWARE LIMITED LIABILITY COMPANY  
BY: VANCE PARTNERS, INC.,  
A DELAWARE CORPORATION, ITS MANAGER  
ITS SOLE MEMBER

BY: \_\_\_\_\_  
NAME: \_\_\_\_\_  
ITS: \_\_\_\_\_

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF  
WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

CHAIRMAN

ATTEST CITY CLERK

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

MAYOR

ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO.

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND  
RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS  
DAY OF \_\_\_\_\_ 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M.

ADAMS COUNTY CLERK AND RECORDER

BY DEPUTY CLERK

CASE # PLN23-0705

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023

REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 107

NORRIS  
DESIGN

UPLANDS

DATE: 05.02.2024

LOTS & COVERAGE		
SURFACE TYPE WITHIN UPLANDS (PA-47)	AREA (SF)	% OF SITE
BUILDING AREA	181,044	25%
PAVING (ALLEYS, WALKS, ROADS, DRIVEWAYS)	288,623	40%
LANDSCAPE AREA	260,091	36%
PUBLICLY ACCESSIBLE PRIVATE PARK AREA*	(32,972)	(4%)
PLD AREA	0	0%
GROSS TOTAL AREA*	811,887	100%
NET TOTAL AREA*	729,734	100%

\*GROSS AREA REFERS TO PDP-MODP PLANNING AREA ACRESSES. NET AREA REFERS TO PLATTED BLOCK ACRESSES.

\*LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY ACCESSIBLE PRIVATE PARK, WHICH IS NOT SEPARATELY INCLUDED IN TOTALS.

PROJECT / SITE DATA

GROSS PA-47 ODP BOUNDARY AREA:	811,087 SF / 18.62 AC
NET PA-47 ODP BOUNDARY AREA:	729,734 SF / 16.75 AC
RESIDENTIAL UNITS PROPOSED	180 UNITS
GROSS DU PER ACRE:	9.67 DU/AC
NET DU PER ACRE:	10.75 DU/AC
MAXIMUM BUILDING HEIGHT(S) (FT):	34'-3" (RC)
MINIMUM LOT SIZE:	1,400 SF / 0.03 AC

COMPLIANCE WITH MODP STANDARDS:

BUILDING FORM DIVERSITY REQUIREMENTS	REQUIRED	PROVIDED
MIN ONE BUILDING FORM	N/A	TWO BUILDING FORMS
PERIMETER SENSITIVITY ZONE	N/A	N/A
HOME TYPE DIVERSITY (SFA MIN / SPD MAX)	0% / 100%	36% / 62%
SUBAREA A DIVERSITY*	SFA: 0% MIN - 50% MAX SPD: 50% MIN - 100% MAX	SFA: 37% SPD: 63%
SUBAREA B DIVERSITY*	SFA: 0% MIN - 50% MAX SPD: 50% MIN - 100% MAX	SFA: 35% SPD: 87%

\*SUBAREA DIVERSITY RANGES TAKEN FROM THE FIRST UPLANDS MODP AMENDMENT. PLAN 22-0090 APPROVED OCTOBER 2023.

OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE

	TOTAL UNITS IN ODP	DETACHED UNITS IN ODP	ATTACHED UNITS IN ODP	MULTIFAMILY UNITS IN ODP	TOTAL UNITS IN POP	TOTAL DETACHED UNITS IN POP (# / %)	TOTAL ATTACHED UNITS IN POP (# / %)	TOTAL MULTIFAMILY UNITS IN POP (# / %)
PA-4(1)	78	39	39	0	2350	39 / 1.66%	39 / 1.66%	0.00%
PA-4(2)	135	25	110	0	2350	25 / 1.06%	110 / 4.68%	0.00%
PA-4(4)	125	28	97	0	2350	28 / 1.19%	97 / 4.13%	0.00%
PA-4(5)	166	63	73	0	2350	63 / 2.68%	73 / 3.10%	0.00%
PA-4(7)	180	112	68	0	2350	112 / 4.77%	68 / 2.89%	0.00%
PA-4(1)	82	38	44	0	2350	38 / 1.62%	44 / 1.87%	0.00%
PA-C(1)	70	0	0	70	2350	0.00%	0.00%	70 / 2.98%
PA-C(2)	247	0	0	247	2350	0.00%	0.00%	247 / 10.51%
TOTAL	1083	335	437	317	2350	335 / 14.26%	437 / 18.54%	317 / 13.49%

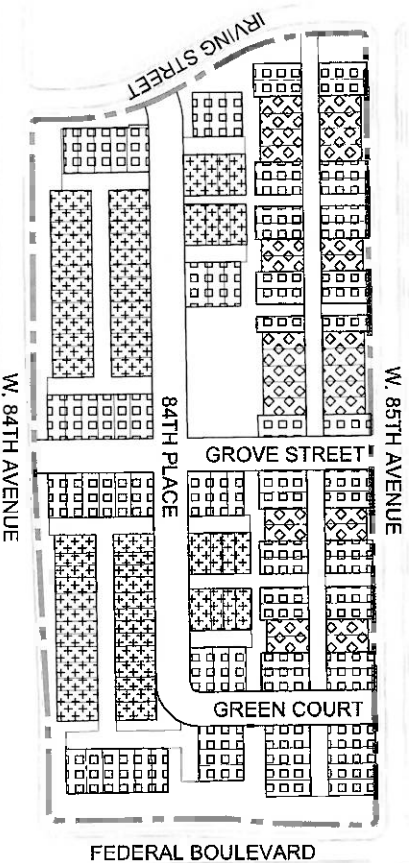
BUILDING FORM DIVERSITY PLAN

ACCESSIBLE HOUSING

PER 2008 COLORADO STATE HOUSE BILL 10-1221, ARTICLE 8, STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 8-5-101 TO 8-5-106, A PROJECT SHALL BE ASSIGNED ACCESSIBILITY POINTS BASED ON THE NUMBER OF UNITS CONTAINED WITHIN THE PROJECT AS FOLLOWS:

ACCESSIBLE UNITS PROVIDED		
UNIT TYPE	# OF UNITS PROVIDED	PER C.R.S. 8-5-101 TOTAL POINTS
VISITABLE	30	1
DWELLING UNIT	30	30
TOTAL	30	30

SEE GRADING PLAN FOR LOCATIONS OF ACCESSIBLE UNITS.



- LEGEND
- SINGLE-FAMILY DETACHED 2-STORY (82)
  - SINGLE-FAMILY DETACHED 3-STORY (30)
  - TOWNHOME (65)

PERIMETER SITE SETBACKS

	REQUIRED	PROVIDED
PA-4(1) FROM RIGHT-OF-WAY (FT):	12	12
W. 85TH AVENUE	12	12
FEDERAL BOULEVARD	50 FT. (W/ MEWS) / 65 FT. (W/O MEWS)	50 FT. (W/ MEWS) / 65 FT. (W/O MEWS)
W. 84TH AVENUE	15	15
IRVING STREET	12	12

- NOTES
- SETBACKS ARE MEASURED FROM PERIMETER PROPERTY LINE, ROW, OR PLD (WHICHEVER IS APPLICABLE) TO PRIMARY BUILDING.
  - ENCROACHMENTS INCLUDING FENCES, WALLS, PERESTRAIA-ORIENTED PORTIONS OF ROW (SUCH AS TREE LAWN AND WALL) AND ALLEYS ARE PERMITTED WITHIN ALL SETBACKS AS NOTED IN THE CHART ABOVE.
  - PORCHES MAY ENCRACH INTO PERIMETER SETBACKS BUT MUST COMPLY WITH LOT SETBACKS DEFINED ON SHEET 8.

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023  
REVISIONS  
SUB02: 03/07/24  
SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 3 OF 107

PROJECT NOTES

PARK DEVELOPMENT FEES

A PARK DEVELOPMENT FEE WILL BE PROVIDED TO THE CITY OF WESTMINSTER IN ACCORDANCE WITH THE CITY OF WESTMINSTER CODE SECTION 11-6-9-C.

THE CITY CODE 11-6-9-C) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. SEE REQUIRED DOLLAR AMOUNT PER UNIT TYPE BELOW DUE TO THE CITY. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-9-C, THE PARK DEVELOPMENT FEE IS CALCULATED BASED UPON THE NUMBER OF DWELLING UNITS TO BE CONSTRUCTED AS FOLLOWS:

- SINGLE-FAMILY DETACHED (ALLEY LOADED) - \$2,378.00 PER UNIT
- SINGLE-FAMILY ATTACHED (ALLEY LOADED, TOWNHOMES) - \$1,934.00 PER UNIT
- FOR 88 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 112 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$397,848.00.

SCHOOL LAND DEDICATION

THE CITY CODE (11-6-9-F) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR THE OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FEES LISTED BELOW ARE BASED ON THE 2023 FEE SCHEDULE. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-9-G, THE SCHOOL LAND DEDICATION FEES ARE AS FOLLOWS:

- SINGLE-FAMILY DETACHED (INCLUDING FRONT LOADED, ALLEY LOADED, AND ADJ.) - \$878.00 PER UNIT
- SINGLE-FAMILY ATTACHED (INCLUDING FRONT LOADED, ALLEY LOADED, TOWNHOMES, PAIRED HOMES, AND ADJ.) - \$468.00 PER UNIT
- FOR 88 SINGLE-FAMILY ATTACHED (TOWNHOMES) AND 112 SINGLE-FAMILY DETACHED DWELLINGS THE TOTAL FEE IS \$129,936.00.

PUBLIC ART  
NOT APPLICABLE.

RECOVERY COSTS  
ANY SUBSEQUENT OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMMITTED FROM THE PRELIMINARY OR FINAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS

MAXIMUM DENSITY OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (S1-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUBLIC LAND DEDICATION

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.92 ACRE COMMUNITY.

PER THE CITY OF WESTMINSTER CODE SECTION 11-6-9-E, A MINIMUM OF 12.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED TO THE CITY AS PUBLIC LAND DEDICATION OF THIS A MINIMUM OF 5.0 AC OF LAND PER 1,000 PEOPLE SHALL BE DEDICATED AS PHYSICAL LAND DEDICATION ACROSS THE OVERALL PDP. WITH THE REMAINING DEDICATION TO BE PROVIDED AS CASH-IN-LIEU AT FAIR MARKET VALUE AT THE TIME OF EACH ODP.

PER THE CITY COUNCIL CONDITIONS OF APPROVAL, UPLANDS HAS DEDICATED 40.65 ACRES OF PHYSICAL LAND AND PROVIDED CASH-IN-LIEU FOR 21.99 ACRES. FOR A TOTAL OF 62.64 ACRES OF LAND. THIS DEDICATION IS BASED OFF A PROJECTED POPULATION OF 5220 PERSONS FOR THE ENTIRE UPLANDS PDP. IF FUTURE ODPS INCREASE THE PROJECTED POPULATION ABOVE 5220 PERSONS, ADDITIONAL CASH-IN-LIEU SHALL BE REQUIRED.

THE BELOW CHART NOTES THE PROJECTED POPULATION FOR UPLANDS BY PLANNING AREA FOR THE PURPOSE OF DETERMINING THE CASH-IN-LIEU PAYMENT DUE AT TIME OF FINAL PLAT. IN COMPLIANCE WITH PDP CONDITION OF APPROVAL 7, THE ODP PLD TRACKING TABLE WILL BE UPDATED WITH EACH ODP.

UPLANDS PUBLIC LAND DEDICATION TRACKING CHART:

PARCELS	PHYSICAL PLD ACRES REQUIRED	PLD ACRES DEDICATED PDP PL122-0062	PLD ACRES REMAINING	VIEW CORRIDOR ACRES REQUIRED	VIEW CORRIDOR ACRES DEDICATED PDP PL122-0062	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	21.00 AC	0 AC	-	-	-
PARCEL B	6.08 AC	6.08 AC	0 AC	3.28 AC	3.28 AC	0 AC
PARCEL C	3.00 AC	3.00 AC	0 AC	-	-	-
PARCEL D	4.24 AC	4.24 AC	0 AC	3.07 AC	3.07 AC	0 AC
PARCEL E	-	0	-	-	-	-
TOTAL	34.30 AC	34.30 AC	0 AC	6.35 AC	6.35 AC	0 AC

PROJECTED POPULATION AND CASH-IN-LIEU REQUIREMENT:

PLANNING AREA	LAND USE	GROSS AREA (AC)	% OF SITE	GROSS DENSITY RANGE (DU/AC)	MAX # OF UNITS	UNITS BY TYPE				PROJECTED POPULATION				% OF POPULATION	TOTAL PLD ACRES REQUIRED	PLD CASH-IN-LIEU ACRES
						SFD	OR	SFA	OR	M/F	SFD 3.0/	SFA 2.5/	M/F 2.0/			
PA-A(1)	RESIDENTIAL	22.24	9.51%	40-56	124	49	33	0	147	82.5	0	0	1.58%	2.75	0.35	
PA-A(2)	RESIDENTIAL	13.99	5.98%	60-10.3	143	22	113	0	66	282.5	-	-	1.26%	4.18	0.28	
PA-A(3)	RESIDENTIAL	20.21	8.65%	55-7.0	141	40	89	0	120	222.5	-	-	2.30%	4.11	0.51	
PA-A(4)	RESIDENTIAL	13.67	5.84%	70-9.5	129	36	91	0	108	227.5	-	-	2.07%	4.03	0.45	
PA-A(5)	RESIDENTIAL	18.20	7.78%	80-5.5	172	94	65	0	282	162.5	-	-	5.40%	5.33	1.19	
PA-A(6)	RESIDENTIAL	23.83	10.18%	52-5.9	140	25	35	80	75	87.5	100	-	1.44%	3.87	0.32	
PA-A(7)	RESIDENTIAL	18.62	7.96%	80-10.3	191	180	0	0	540	0	0	-	10.34%	6.48	2.27	
PA-A(8)	MIXED USE / COMMERCIAL	18.54	8.35%	20.0-25.2	491	0	49	369	0	122.5	738	13.83%	10.33	3.04		
PA-B(1)	RESIDENTIAL	16.28	6.86%	41.5-5.0	82	42	40	0	126	100	-	1.92%	2.71	0.42		
PA-B(2)	RESIDENTIAL	13.32	5.69%	10.0-2.0	26	26	0	0	78	-	-	1.49%	0.84	0.33		
PA-C(1)	MIXED USE / COMMERCIAL	16.32	6.89%	15.0-22.7	370	0	0	370	0	-	710	14.18%	8.88	3.12		
PA-C(2)	RESIDENTIAL	13.77	5.89%	80-18.0	247	0	247	0	-	-	494	9.46%	5.93	2.08		
PA-D(1)	RESIDENTIAL	19.80	8.36%	40-4.8	94	47	47	0	141	117.5	-	2.70%	3.10	0.56		
PA-D(2)	OFFICE	3.10	1.33%	-	-	0	0	0	0	-	-	-	0.00	0.00		
PA-E	PRIVATE OPEN SPACE	1.23	0.53%	-	-	0	0	0	0	-	-	-	0.00	0.00		
		233.92	100.0%		2350	561	562	1066	1683	1405	2132	100.00%	62.64	21.99		

NOTE: BOLDED PLANNING AREAS HAVE BEEN APPROVED WITH SPECIFIC UNIT COUNTS WHICH MAY DIFFER FROM THIS APPROVED CHART. SEE OVERALL UPLANDS RESIDENTIAL PRODUCT TRACKING TABLE ON SHEET 2 FOR PROPOSED AND APPROVED UNIT COUNTS.

3 OF 107	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
SITE DATA	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 4 OF 107

OFFICIAL DEVELOPMENT PLAN (ODP) GENERAL INTENT

STANDARD STATEMENTS

STANDARD STATEMENTS, CONT.

THE GENERAL INTENT OF THIS ODP IS TO  
1. MEET THE WESTMINSTER MUNICIPAL CODE REQUIREMENTS AS DESCRIBED IN SECTIONS 11-3-3, OFFICIAL DEVELOPMENT PLAN REQUIREMENTS, AND 11-5-18, STANDARDS FOR APPROVAL OF OFFICIAL DEVELOPMENT PLANS AND AMENDMENTS TO ODPs.

A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.

M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULLY CUT-OFF AND SHIELDED. THE PHOTO-METRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.

THE ODP CONTAINS 18.62 GROSS ACRES WITHIN UPLANDS FILING 1, BLOCK 7, PARCEL 17, BOUNDED BY VACANT LAND WITHIN PAA TO THE NORTH AND WEST, COMMERCIAL BUSINESSES TO THE EAST, AND SINGLE-FAMILY RESIDENCES TO THE SOUTH.

B. THE FINAL PLAN FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.

N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.

THE ODP PROPOSES A TOTAL OF 112 SINGLE-FAMILY DETACHED, 2-STORY AND 3-STORY HOMES AND 88 SINGLE-FAMILY ATTACHED TOWNHOMES. FOR A TOTAL OF 180 HOMES. THIS RESULTS IN A GROSS DENSITY OF 9.67 DU/AC, CONSISTENT WITH THE MASTER ODP AND THE COMPREHENSIVE PLAN AND USE DESIGNATION OF TOWN.

C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.

O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY, AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.

THE SITE PLANNING EMPHASIZES FRONTING HOMES TO THE EXTERIOR OF THE SITE TO CREATE A WELCOMING, PEDESTRIAN FRIENDLY ENVIRONMENT WHEREVER POSSIBLE. ALONG FEDERAL BOULEVARD, ALL HOMES ARE PROPOSED FRONTING OR SIDING ALONG AN ENHANCED LANDSCAPE BUFFER, BALANCING SCREENING VEHICULAR TRAFFIC WHILE PROTECTING VIEWS ALONG W. 85TH AVENUE. ALL SINGLE-FAMILY DETACHED HOMES FRONT TO THE STREET AND EMPLOY STAGGERED SETBACKS AND VARIOUS BUILDING HEIGHTS, ADDING INTEREST TO THE BLOCK AND PEDESTRIAN EXPERIENCE.

D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAINAGE PHASE.

P. ALL SIGNAGE PROPOSED, INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION AND NUMBER OF PROPOSED SIGNS.

THE PROPOSED HOMES CONSIST OF A VARIETY OF 2- AND 3-STORY STRUCTURES

E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.

Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.

SINGLE-FAMILY DETACHED 2- AND 3-STORY  
SINGLE-FAMILY ATTACHED TOWNHOMES, 2-STORY

F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL, AND/OR LANDSCAPING).

R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT. PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY, TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.

CAREFUL CONSIDERATION WAS GIVEN TO THE TRANSITION OF BUILDING HEIGHTS, AS SUCH, THE COMMUNITY MAINLY CONSISTS OF 2-STORY HOMES WITH 3-STORY HOMES THOUGHTFULLY LOCATED WITHIN BLOCKS AND AT THE TERMINUS OF GREEN COURTS. NO 4-STORY HOMES ARE INTRODUCED AT INTERSECTIONS TO AID IN THIS DENSITY TRANSITION. THE 3-STORY HOMES HAVE BEEN STRATEGICALLY PLACED TO FRAME MID-BLOCK PUBLICLY ACCESSIBLE AMENITIES AND SHARED COMMUNITY SPACES.

G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.

S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 160' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE, ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF ALL-WEATHER SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS, A MINIMUM OF 76,000 LBS.

ALL PROPOSED TOWNHOMES AND MOST SINGLE-FAMILY DETACHED OFFER A 2-CAR GARAGE. A MAXIMUM OF 28 SINGLE-FAMILY DETACHED HOMES MAY OFFER A 1-CAR GARAGE OPTION. WITH THE REMAINING HOMES MINIMUM 84 PROVIDING 2 GARAGE SPACES. ONLY THE 2-STORY SINGLE-FAMILY DETACHED INCLUDE THIS OPTION. SHARED PARKING IS PROVIDED VIA PARALLEL SPACES LOCATED ON INTERNAL, LOCAL, STREET'S, INCLUDING W. 85TH AVENUE, IRVING STREET, W. 86TH PLACE, GROVE STREET, AND GREEN COURT. ADDITIONAL PARKING IS PROVIDED ON 84TH AVENUE. PRIMARY ACCESS TO THE NEIGHBORHOOD IS PROVIDED VIA 84TH AVENUE, 85TH AVENUE, AND IRVING STREET.

H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-UTILITY WATER UNDERLYING THIS PROJECT OWNED BY SAID OWNER, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAN.

T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.

THE PROPOSED SITE PLAN APPLIES THE PRINCIPLES OF THE TOWN DESIGN GUIDELINES THROUGHOUT. IN ORDER TO FULLY INTEGRATE TOWN PRINCIPLES, THERE ARE AREAS WHERE THIS SITE PLAN VARIES FROM CITY CODE AND RELEVANT CODE DOCUMENTS. PLEASE REFER TO ODP EXCEPTION REQUESTS AND JUSTIFICATIONS WITHIN THIS ODP TO SEE SPECIFIC INSTANCES WHERE THESE PRINCIPLES DIFFER. IN GENERAL, THESE EXCEPTIONS ENSURE THAT THIS COMMUNITY CONTRIBUTES TO THE VIBRANCY AND DIVERSITY OF WESTMINSTER AND PROVIDES A WELL-PLANNED AND COHESIVE NEIGHBORHOOD. THIS NEIGHBORHOOD INCLUDES HOMES THAT TARGET A RANGE OF HOMEOWNERS FROM ENTRY-LEVEL ATTACHED HOMES TO DETACHED 2- AND 3-STORY HOMES. THIS IS A GOAL, NOT ONLY OF TOWN, BUT OF RECENT CITY PLANS AND VISIONS AS WELL.

I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.

U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN FEE FEES.

J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN FEE FEES.

V. TRASH PICK-UP WILL BE PROVIDED BY A PRIVATE REUSE COLLECTION COMPANY HIRED BY THE FUTURE HOA. TRASH BINS WILL BE STORED IN THE GARAGE AND THE BINS WILL BE PLACED ON THE DRIVEWAY PAD AT THE ALLEY ON COLLECTION DAY.

THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLIES WITH CRS 9.5 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 666 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN THAT AMOUNT OR 10% OF THE ALLOWED UNITS.

K. CITY WILL INSTALL ALL STREET NAME SIGNS. DEVELOPER SHALL INSTALL ALL OTHER TRAFFIC CONTROL DEVICES AS OUTLINED ON THE ODP AND CONSTRUCTION DOCUMENTS.

W. THE IMPLEMENTATION PLAN AND COMPLIANCE WITH CRS TITLE 9 WILL BE FOR THE WHOLE PROPERTY OF UPLANDS. ACCORDINGLY, THE MASTER DEVELOPER WILL SUBMIT AN IMPLEMENTATION PLAN THAT COMPLIES WITH CRS 9.5 INCLUDING THE REQUIREMENT THAT NO MORE THAN 30 PERCENT OF THE PROJECT OR 666 UNITS MAY BE COMPLETED WITHOUT PROVIDING A PORTION OF THE REQUIRED ACCESSIBLE UNITS. THIS ODP REPRESENTS LESS THAN THAT AMOUNT OR 10% OF THE ALLOWED UNITS.

LASTLY, A 0.76 ACRE PUBLICLY ACCESSIBLE PRIVATE PARK IS PROVIDED WITHIN THIS PLANNING AREA. THIS SPACE HAS BEEN THOUGHTFULLY PLACED TO OFFER THE GREATEST FUNCTIONALITY AND CONVENIENCE FOR RESIDENTS. THIS PARK, ALONG WITH THE OTHERS THROUGHOUT PARCEL A, ESTABLISH A RECOGNIZABLE IDENTITY TO THE COMMUNITY, WITH VARIOUS FOCUSES & THEMES BEING EXPLORED ACROSS DIFFERENT PLANNING AREAS. SEE THE MASTER AMENITIES EXHIBIT SUBMITTED WITH THIS ODP FOR MORE DETAIL ON PARK PROGRAMMING ACROSS UPLANDS.

L. PUBLIC STREET LIGHTS WILL BE INSTALLED AS DESIGNED BY XCEL ENERGY IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.

X. ALL AREAS OF THE DEVELOPMENT THAT ARE OPEN TO THE PUBLIC WERE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE ADA REGULATIONS.



**NORRIS**  
DESIGN  
OF BUILDING TYPE  
DESIGN BUILDING  
ARCHITECT

DATE: 05.02.2024

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	
4 OF 107	NOTES



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 5 OF 107

EXCEPTIONS AND JUSTIFICATIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS IN UPLANDS FILING NO. 1 - BLOCK 7. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE, UPLANDS MOPD AND LANDSCAPE REGULATIONS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE UPLAND ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO ADJUST THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER. THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. THIS PROPOSED ODP AND RELATED EXCEPTIONS HELP FURTHER THE TRADITIONAL MIXED USE NEIGHBORHOOD DEVELOPMENT PRINCIPLES, INCLUDING CREATING A COMPACT WALKABLE DEVELOPMENT THROUGH AN INTERCONNECTED STREET/BLOCK PATTERN WITH WIDER STREETS, SUPPORTING DOCUMENTS INC. UDE

- 2013 COMPREHENSIVE PLAN - THE PLAN INCLUDES A NUMBER OF GUIDING PRINCIPLES THAT SUPPORT COMMUNITIES WITH A BALANCED MIX OF HOUSING OPPORTUNITIES THAT MAINTAIN DIVERSE HOUSING SUPPLY IN AN ACTIVE, WALKABLE ENVIRONMENT. THE UPLANDS POP CONSISTED OF AN INTERACTIVE, MULTITIER DESIGN PROCESS THAT RESULTED IN THE ACCEPTED POP ZONE DISTRICT THAT GOVERNS THIS PLANNING AREA. THE 2013 COMPREHENSIVE PLAN WAS A FOUNDATIONAL GUIDING DOCUMENT FOR MUCH OF THE POP PROCESS AND SOME OF THOSE GUIDING PRINCIPLES, WHILE NOT IN CONFLICT WITH THE 2040 COMPREHENSIVE PLAN, REMAIN AS GUIDING PRINCIPLES FOR THE POP AND ITS PLANNING AREAS.

- 2040 COMPREHENSIVE PLAN - THIS PLAN INCLUDES A CORNERSTONE FOCUSED ON PROVIDING A BALANCED MIX OF HOUSING OPPORTUNITIES FOR A RANGE OF INCOMES, AGE GROUPS, AND LIFESTYLE CHOICES. IT GOES ON TO ENCOURAGE SUSTAINABLE DESIGN PRACTICES AND TO CONTINUE PROVIDING A VARIETY OF NEIGHBORHOOD TYPES WITH A DIVERSITY OF HOUSING CHOICES TO SERVE A RANGE OF HOUSEHOLD SIZES, COMPOSITIONS AND NEEDS.

- 2017 HOUSING NEEDS ASSESSMENT - THIS STUDY INCLUDES RECOMMENDATIONS TO ACCOMMODATE A VARIETY OF HOUSING CHOICES AND PRICE POINTS, BUILDING SMALLER HOMES ON SMALLER LOTS TO CREATE AN INCREASE IN SUPPLY WHILE REDUCING THE AMOUNT OF LAND EACH HOMEOWNER NEEDS TO PURCHASE, THEREBY LOWERING THE OVERALL COST, AND EMPOWERING GREATER DIVERSITY OFFERED BY NEW CONSTRUCTION.

- WESTMINSTER MUNICIPAL CODE (WMC) - THE SITE IS ZONED PUD, PER CODE. THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE, TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL, STANDARD ZONING REGULATIONS.

- PRELIMINARY DEVELOPMENT PLAN (PDP) - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES

- MASTER OFFICIAL DEVELOPMENT PLAN (MOPD) - THE VILLAGE RESIDENTIAL NEIGHBORHOOD WITHIN UPLANDS IS DESCRIBED IN THE MOPD AS A MIX OF ALLEY-LOADED SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL HOMES ORGANIZED IN A TRADITIONAL GRID FORMAT.

OFF-STREET PARKING:

AN EXCEPTION TO WMC 11-7-4(B)(2)

STANDARD: SPD ENCLOSED PARKING (2 SPACE/UNIT) = 224 SPACES  
SPD DRIVEWAY PARKING (2 SPACE/UNIT) = 224 SPACES  
SPD GUEST PARKING (1 SPACE/3 UNITS) = 23 SPACES

EXCEPTION: UPLANDS A7 PROVIDES 112 SINGLE-FAMILY DETACHED HOMES AND 68 SINGLE-FAMILY ATTACHED TOWNHOMES. THE TOWNHOMES FEATURE A 2-CAR GARAGE ON ALL HOMES. THE DETACHED HOMES FEATURE AN OPTION TO PROVIDE EITHER ONE OR TWO-CAR GARAGES. ONE-CAR GARAGE PLANS ARE CAPPED AT A MAXIMUM OF 28. A REMAINING MINIMUM OF 94 DETACHED HOMES SHALL PROVIDE A TWO-CAR GARAGE. UPLANDS A7 HOMES DO NOT OFFER DRIVEWAY SPACES. 157 SURFACE SPACES ARE PROVIDED THROUGH A COMBINATION OF OFF-STREET SURFACE SPACES AND INTERNAL ON-STREET PARALLEL SPACES, FOR A TOTAL OF

489 PARKING SPACES PROVIDED FOR THE 607 REQUIRED. AN ADDITIONAL 18 SPACES ARE PROVIDED ALONG W. 84TH AVENUE, WHICH ARE NOT INCLUDED IN THIS TOTAL.

**JUSTIFICATION:** THIS EXCEPTION IS IN ACCORD WITH SECTION 11-7-4 OF THE CODE THAT ALLOWS THE PLANNING MANAGER TO REDUCE THE REQUIREMENT FOR NEO TRADITIONAL DEVELOPMENTS UPON A FINDING THAT LESS PARKING IS NEEDED BASED ON THE DESIGN OF THE DEVELOPMENT. THIS REQUEST IS REASONABLE AND SUPPORTED BY THE FACT THAT THIS IS A NEO TRADITIONAL DEVELOPMENT WITH AN EMPHASIS ON CREATING A WALKABLE AND PEDESTRIAN ORIENTED DEVELOPMENT. UPLANDS IS IN ESSENCE A TRANSIT-ORIENTED DEVELOPMENT (TOD) WITH RTD BUS SERVICE ON FEDERAL BLVD. ROUTE 31 WILL PROVIDE DIRECT ACCESS TO THE WESTMINSTER RAIL STATION APPROXIMATELY TWO MILES AWAY. IN ADDITION, THE ANTICIPATED COMMERCIAL AND RECREATIONAL DEVELOPMENT IN UPLANDS WILL GENERATE MULTIMODAL, WALK AND BIKE TRIPS. ALL OF THESE FACTORS REDUCE DEPENDENCE ON THE AUTOMOBILE AND NEED FOR PARKING. LASTLY, ANY REDUCTION OF PARKING DUE TO ONE-CAR GARAGES WILL ONLY OCCUR WHERE HOMEOWNERS OPT FOR A ONE-CAR GARAGE OPTION IN LIEU OF TWO. IT IS A DECISION THAT THEY HAVE THE CHOICE OF DECIDING BASED ON THEIR NEEDS AND WANTS.

**2013 COMP PLAN:** THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND INCREASE HOUSING DIVERSITY.

**2040 COMP PLAN:** THE PROPOSED COMPACT ALLEY-LOADED HOMES IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND PROVIDES OPPORTUNITIES FOR A RANGE OF HOUSING TYPES AND AFFORDABILITY TO ACCOMMODATE ALL INCOMES, LIFESTYLE AND AGE GROUPS WITHIN THE CITY (LUG). FURTHER, THE PROPOSED USE OF OFF-STREET SURFACE SPACES AND ON-STREET SPACES (LOCATED ON INTERNAL LOCAL ROADS) TO PROVIDE PARKING FOR THE PROPOSED TOWNHOMES COMPLETES WITH TABLE 3.5 OF THE URBAN MULTIFAMILY DEVELOPMENT STANDARDS FOR TOWNHOMES WHICH INCLUDES "TUCK-UNDER PARKING WITH SOME ON-STREET OR SURFACE PARKING AS A DEVELOPMENT CHARACTERISTIC, FORAL AND GUIDELINE FOR TOWNHOMES."

**WMC:** THE PROPOSED PARKING SOLUTION ENCOURAGES ADEQUATE PARKING FOR LAND USES IN WESTMINSTER WITHOUT CREATING EXCESS VACANT PARKING (11-7-4D). PROVIDES FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN (11-7-4B). THROUGH THE USE OF ALLEY-LOADED HOMES ON SMALLER LOTS AND ON-STREET PARKING THAT ADDS NATURAL FRICTION TO THE STREET TO SLOW TRAFFIC AND ENCOURAGE MORE PEDESTRIAN MOVEMENTS, THE PROPOSED ALLEY-LOADED DESIGN IS CONSISTENT WITH A NEO-TRADITIONAL NEIGHBORHOOD WHERE GARAGES ARE ONLY ACCESSIBLE FROM THE ALLEY RATHER THAN A STANDARD SUBURBAN NEIGHBORHOOD. WMC CODE (11-7-4(B)(2)(A)) SPECIFICALLY NOTES PARKING MAY BE REDUCED FOR THIS TYPE OF NEIGHBORHOOD UPON A FINDING THAT LESS PARKING IS NEEDED BASED UPON THE DESIGN OF THE DEVELOPMENT.

**MOPD:** THE EXCEPTION ALIGNS WITH THE MOPD, WHICH NOTES ON-STREET PARALLEL PARKING SHOULD BE PROVIDED THROUGHOUT THE COMMUNITY TO HELP SLOW TRAFFIC. THE MOPD FURTHER NOTES THAT VIEWS OF GARAGES FROM THE STREET SHOULD BE MINIMIZED AND VEHICULAR ACCESS SHOULD BE DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN AND/OR BICYCLE ACCESS WITHIN UPLANDS. THESE TWO DESIGN CONCEPTS INFLUENCE THE DESIGN OF HOMES AWAY FROM TRADITIONAL DRIVEWAYS AND FRONT YARDS.

**THUMB:** THIS EXCEPTION ALIGNS WITH THE THUMB DESIGN GUIDELINES BY SLOWING TRAFFIC - THE INCLUSION OF ON-STREET PARKING ADDS NATURAL FRICTION TO THE STREET, WHICH HELPS SLOW TRAFFIC AND ENCOURAGES MORE PEDESTRIAN MOVEMENTS.

**LANDSCAPE AREA:**  
AN EXCEPTION TO LANDSCAPE REGULATIONS VII.B.1.A.

**STANDARD:** NO LESS THAN A MINIMUM OF 40% OF THE OVERALL SITE AREA (EXCLUDING HIGH-OR-PAVY LANDSCAPE AREA) SHALL BE LANDSCAPED.

**EXCEPTION:** UPLANDS PROVIDES A MINIMUM LANDSCAPE AREA OF 23.0% WITHIN P-4(A7).

**JUSTIFICATION:** THIS EXCEPTION ALLOWS FOR MORE COMPACT HOME TYPES THAT ENGAGE THE STREET AND PROMOTE COMMUNITY INTERACTION. IT REDUCES POTENTIAL IRRIGATION AREAS WHILE PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THIS EXCEPTION ALSO ASSISTS IN PROVIDING COMPLIANCE WITH UPDATED FIRE REQUIREMENTS, WHICH HAVE INCREASED ALLEY PAVEMENT WIDTHS.

**2013 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY AND PROVIDE A DENSITY TRANSITION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. WHILE THE OVERALL LANDSCAPE AREA IS REDUCED, THE REQUIRED PUBLICLY ACCESSIBLE PRIVATE PARK SPACE IS STILL PROVIDED (41% IS PROVIDED - 4% IS REQUIRED).

**2040 COMP PLAN:** THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL LUG WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING. THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN, LUG INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEATURES SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALLOWS FOR THE OPPORTUNITY TO PROVIDE THOUGHTFUL AND IMPACTFUL WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE, POCKET PARKS AND ON LOT LANDSCAPING. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE. DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN.

**WMC:** THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN (11-7-4(B)) THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS. THE REDUCED LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11-7-4(B)) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION. THIS EXCEPTION ALSO ALLOWS FOR COMPLIANCE WITH UPDATED FIRE REQUIREMENTS WHICH INCLUDE INCREASED PAVED AREAS WITHIN THE ALLEY.

**2017 HOUSING NEEDS ASSESSMENT AND OTHER:** THE REDUCED LANDSCAPE AREAS ALSO ALIGN WITH CITY-WIDE GOALS AND POLICES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SPD HOMES ON LARGER LOTS THAT TAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY AND WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE (11-7-4(B)) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 6 OF 107

EXCEPTIONS AND JUSTIFICATIONS, CONT.

AN EXCEPTION TO LANDSCAPE REGULATIONS VIA 1.1.E, AND AN EXCEPTION TO LANDSCAPE REGULATIONS VIA 8.1.E.

STANDARD:

LOT SIZE UP TO 10,000 SQUARE FEET IN SIZE, A MINIMUM OF 1 SHADE TREE SHALL BE REQUIRED IN THE FRONT YARD OF EVERY RESIDENCE. SPEC. A MINIMUM OF 1 TREE AND 3 SHRUBS ARE REQUIRED PER 500 SQUARE FEET.

EXCEPTION: UP-LANDS SINGLE FAMILY DETACHED LOTS PROVIDE A MINIMUM OF 10 SHRUBS PER 1 TREE REQUIRED ON LOT RESIDENTIAL LANDSCAPE. FOR SINGLE-FAMILY ATTACHED LOTS, A MINIMUM 1 TREE AND 3 SHRUBS ARE PROVIDED. TREES ARE PROVIDED IN ALL INSTANCES WHERE THERE ARE NO CONFLICTS WITH BUILDINGS, UTILITIES, OR ADJACENT TREES.

JUSTIFICATION: UPLANDS PROVIDES THE SHRUB EQUIVALENTS IN USE OF TREES DUE TO THE COMPACT NATURE OF SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED LOTS. TREES ARE PROVIDED WHENEVER POSSIBLE, GIVEN ADEQUATE SPACE FROM BUILDINGS, UTILITIES, OR ADJACENT TREES. WHILE ON LOT TREES ARE AT A MINIMUM, THE 0.76 ACRE PARK AT THE CENTER OF THE NEIGHBORHOOD INCLUDES FRUIT TREE GROVES WITH CRUISHER, FINE PATHS AND BOLLIDER SLAB SEATING IN ADDITION TO SHADE TREES, A PLAYGROUND, BOCCO COURT, AND SHADE STRUCTURES. AN ADDITIONAL 40 TREES ARE PROVIDED ABOVE THE TOTAL TREE REQUIREMENT AND ARE PROVIDED IN THE ROW LANDSCAPE ALLOWING FOR A WELL CONNECTED TREE CANOPY THROUGHOUT THIS PLANNING AREA.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INCREASE HOUSING DIVERSITY. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. OUR REDUCED ON-LOT LANDSCAPED AREAS RESTRICT THE QUANTITY OF PLANT MATERIAL ABLE TO BE PLANTED.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL 11.6 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN. 11.4.6 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND THAT FEATURES SUSTAINABLE WATER USE PRACTICES. THE EXCEPTION ALLOWS FOR THE OPPORTUNITY TO PROVIDE THOUGHTFUL AND IMPACTFUL WATERWISE LANDSCAPE THROUGHOUT THE ENTIRE UPLANDS COMMUNITY VIA PARK SPACE AND POCKET PARKS AND, AND REDUCE OVERALL ON LOT LANDSCAPE AREA AND PLANT MATERIAL. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE. DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PAGES, AND OVERALL DESIGN (11.4.7/8). THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES ON SMALLER LOTS, THE REDUCED ON-LOT LANDSCAPE AREAS ENCOURAGE HIGHER QUALITY DEVELOPMENT (11.4.7/8) BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN-FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THE REDUCED ON-LOT LANDSCAPE AREAS AND PLANT QUANTITIES ALSO ALIGN WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES AND PLANT QUANTITIES REDUCE THE OVERALL POTENTIAL IRRIGATION REQUIRED FOR EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT TAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY AND WOULD BE REQUIRED TO COMPLY WITH THESE STANDARDS. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF

HOUSING AVAILABLE FOR PURCHASE (11.4.7/8) AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

ROOF DESIGN:

AN EXCEPTION TO MODP ARCHITECTURAL CHARACTERISTICS TABLE (SHEET 16 OF 43).

STANDARD: SINGLE-FAMILY DETACHED AND SINGLE-FAMILY ATTACHED BUILDING FORMS SHALL PROVIDE ROOF PITCHES OF 5 IN 12 OR GREATER.

EXCEPTION: UPLANDS PROVIDES A MINIMUM ROOF PITCH OF 4 IN 12 FOR MINOR ROOFS ON ALL HOMES (THE 5 IN 12 MINIMUM IS MET ON ALL MAIN ROOFS).

JUSTIFICATION: THIS EXCEPTION APPLIES TO THE SINGLE-FAMILY DETACHED AND ATTACHED BUILDING FORMS WITH A ROOF PITCH LESS THAN 5 IN 12. THIS LOWER ROOF PITCH ACCOMMODATES EGRESS WINDOW REQUIREMENTS ABOVE THE PORCHES. IN ADDITION TO HELPING CREATE A MORE DIVERSE STREETSCAPE, MANY OF THESE SECONDARY ROOFS WILL BE BETWEEN 3 IN 12 AND 4 IN 12.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY. OVERALL DESIGN (11.4.7/8) THROUGH THE USE OF MINOR MODIFICATIONS TO THE ROOF PITCH TO PROVIDE BEDROOMS WITH SAFE EGRESS AND, IN SOME CASES, MATCH THE TRANSITIONAL STYLE OF ONE ELEVATION TYPE.



DATE: 05.02.2024

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BLOCK 7  
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WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24



EXCEPTIONS AND JUSTIFICATIONS, CONT.

LOT SIZE:

AN EXCEPTION TO MOOP BUILDING FORM CHARACTERISTICS TABLES (SFD AND SFA TOWNHOME, SHEETS 17 & 18 OF 43)

STANDARDS: BUILDING FORM CHARACTERISTICS, AS LISTED IN THE TABLE BELOW.

EXCEPTION: THIS EXCEPTION APPLIES TO THE NOTED INTERNAL, ON LOT BUILDING CHARACTERISTICS IN THE TABLE BELOW, WHERE REQUIREMENTS HAVE NOT BEEN MET. THE MINIMUM PROVIDED IS BOLDED AND DOUBLE-OUTLINED.

JUSTIFICATION (LOT SIZE & SETBACKS): ALL PERIMETER BUILDING SETBACKS ARE MET FOR THE NEIGHBORHOOD. THE MORE COMPACT ALLEY-LOADED HOMES AND LOT WIDTHS AT UPLANDS ACTIVATE THE ADJACENT STREETS THROUGH PEDESTRIAN FRIENDLY HOMES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES WITH FRONT-FACING OUTDOOR SPACE AND PROMOTE COMMUNITY INTERACTION. BUILDING HEIGHT IS MET FOR ALL HOMES.

JUSTIFICATION (PRIVATE YARD AREA): IN PLACE OF REAR DECKS AND PRIVATE YARD AREAS, UPLANDS PROPOSES A MIX OF PORCHES/PATIOS, DECKS AND SIDEFRONT YARDS TO MEET THE SAME INTENT, BUT THROUGH A DIFFERENT APPLICATION.

2013 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2013 COMP PLAN TO INC-SEASE HOUSING DIVERSITY, PROVIDE A DENSITY TRANSITION FROM EXISTING HOMES AND CLUSTER HOUSING WHILE PROVIDING PUBLIC LAND DEDICATION. THE PROPOSED NEIGHBORHOOD INCLUDES MORE COMPACT ALLEY-LOADED HOMES THAT IMPROVE UPON THE OUTDATED SUBURBAN GARAGE AND VEHICLE-DOMINATED HOME TYPE THAT REQUIRES FULL LENGTH DRIVEWAYS AND ASSOCIATED LARGE TURF LAWN AREAS. THE PROPOSED LAYOUT CREATES A DENSITY TRANSITION BY MEETING ALL REQUIRED PERIMETER BUILDING SETBACKS AND ONLY REQUESTING SETBACK REDUCTIONS INTERNAL TO THE NEIGHBORHOOD. THE PROPOSED NEIGHBORHOOD CLUSTERS THE HOMES INTERNAL TO THE SITE, ALLOWING FOR LARGE ADJACENT PUBLIC LAND DEDICATION WITHIN PARCEL A. THESE REDUCED SETBACKS MINIMIZE THE AMOUNT OF LAND REQUIRED TO BUILD THE PROPOSED HOMES AND ALLOW FOR LARGER PUBLICLY ACCESSIBLE PRIVATE PARK SPACES (4.1% PROVIDED - 4% IS REQUIRED) WHILE PROVIDING MEANINGFUL ALTERNATIVE OUTDOOR SPACES.

2040 COMP PLAN: THIS EXCEPTION ALIGNS WITH THE 2040 COMP PLAN SUSTAINABLE DESIGN GOAL, U16 WHICH ENCOURAGES SUSTAINABLE DESIGN PRACTICES AND CONSTRUCTION IN ALL ASPECTS OF PHYSICAL PLANNING IN THE CITY, WITH A FOCUS ON SITE, LANDSCAPE, AND BUILDING DESIGN. U16 INCLUDES THE GOAL OF PROMOTING DEVELOPMENT THAT IS WALKABLE AND FEATURES SUSTAINABLE WATER USE PRACTICES. THE PROPOSED DESIGN IMPROVES UPON OUTDATED SUBURBAN GARAGES AND VEHICLE-DOMINATED HOMES BY REMOVING FULL LENGTH DRIVEWAYS IN FAVOR OF ALLEY-LOADED

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HOMES, REMOVING THE EMPHASIS FROM THE GARAGE AND ALLOWING FOR HOMES TO CONNECT TO THE PEDESTRIAN NETWORK. THE EXCEPTION ALSO ALIGNS WITH RECOMMENDED CRITERIA 4 OF THE COMPREHENSIVE PLAN COMPLIANCE. DEVELOPMENT REVIEW SECTION WHICH AIMS TO DETERMINE THROUGH THE DEVELOPMENT REVIEW PROCESS WHETHER THE PROPOSED APPLICATION IS ACHIEVING THE VISION AND GOALS OF THE COMPREHENSIVE PLAN. SPECIFICALLY, CRITERIA 4 ASKS IF THE PROPOSED DEVELOPMENT PROVIDES APPROPRIATE TRANSITIONS BETWEEN USES<sup>7</sup> WHICH THIS PROPOSAL INTENTIONALLY DOES PROVIDE. THE PROPOSED TRANSITION IN DENSITY ACHIEVED THROUGH CLUSTERING OF THE DEVELOPMENT AND MEETING PERIMETER SETBACKS FURTHER IS SUPPORTED BY GOAL H-4.2 OF THE COMPREHENSIVE PLAN.

WMC: THIS EXCEPTION ALIGNS WITH THE WMC BY PROVIDING FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES, AND OVERALL DESIGN THROUGH THE USE OF MORE COMPACT, ALLEY-LOADED HOMES (DIVERSITY AND FLEXIBILITY IN HOUSING TYPES) ON SMALLER LOTS (DIVERSITY AND FLEXIBILITY IN HOUSING PRICES). THE REDUCED SETBACKS ENCOURAGE HIGHER QUALITY DEVELOPMENT BY ACTIVATING THE ADJACENT STREETS THROUGH ALLEY-LOADED PEDESTRIAN FRIENDLY HOMES AND VARIETY OF PRIVATE OUTDOOR SPACES THAT ENGAGE THE STREETS AND ADJACENT PUBLIC SPACES AND PROMOTE COMMUNITY INTERACTION.

2017 HOUSING NEEDS ASSESSMENT AND OTHER: THIS EXCEPTION ALIGNS WITH CITY-WIDE GOALS AND POLICIES RELATED TO WATER AND HOUSING. THE REDUCED LOT SIZES REDUCE THE POTENTIAL IRRIGATED AREA OF EACH LOT, PROMOTING RESPONSIBLE WATER USE AND LOWERING THE COMMUNITY'S OVERALL WATER FOOTPRINT. THE 2017 HOUSING NEEDS ASSESSMENT IDENTIFIED A DROP IN THE ABILITY FOR RESIDENTS TO BECOME HOMEOWNERS IN WESTMINSTER. THESE MORE COMPACT HOMES ON SMALLER LOTS PROVIDE NEW MISSING MIDDLE HOUSING OPTIONS FOR WESTMINSTER RESIDENTS AT A LOWER RELATIVE COST THAN NEW SFD HOMES ON LARGER LOTS THAT MAKE UP MUCH OF THE CITY'S FOR-SALE HOUSING INVENTORY OR WOULD BE REQUIRED TO COMPLY WITH THIS STANDARD. THE NEEDS ASSESSMENT PROVIDES A RECOMMENDATION TO INCREASE THE DIVERSITY OF HOUSING AVAILABLE FOR PURCHASE AND SUGGESTS BOTH CONSTRUCTION OF INFILL HOUSING AND GREATER DIVERSITY OF NEW CONSTRUCTION TO SERVE WESTMINSTER RESIDENTS.

THUND: THIS EXCEPTION ALIGNS WITH THUND BY MINIMIZING GARAGE VISIBILITY, ENCOURAGING CONSISTENT STREET FRONTAGES, CREATING A PEDESTRIAN-ORIENTED LAYOUT THAT ENHANCES BIKE AND PEDESTRIAN SAFETY AND STREET ACTIVATION, AND PROVIDING PRIVATE OUTDOOR SPACES THROUGH PORCHES, INCLUDING RAISED AND COVERED PORCHES, WHICH ARE HIGHLY ENCOURAGED IN THUND.

MOOP: THIS EXCEPTION ALIGNS WITH THE MOOP BY PROVIDING HOME AND LOT DESIGNS THAT ENHANCE THE PEDESTRIAN EXPERIENCE THROUGH ARCHITECTURAL ELEMENTS, INCLUDING AT-GRADE OR RAISED PORCHES/PATIOS, BUILDING ENTRIES, BALCONIES AND STOOPS, AND MAXIMIZING VIEWS OF THE GARAGE FROM THE STREET. FURTHER, THE MOOP NOTES FRONT SETBACKS SHOULD BE STUDIED AT SITE SPECIFIC ODP TO FORM PEDESTRIAN FRIENDLY STREETSCAPES.

SINGLE-FAMILY DETACHED (2- AND 3-STORY SFD) HOME									
UPLANDS MASTER ODP	MAX. HEIGHT	MAX. STORIES	MIN. LOT SIZE	MIN. LOT DEPTH	MIN. LOT WIDTH	MIN. FRONT SETBACK TO MAIN STRUCTURE	MIN. SIDE SETBACK, INTERIOR LOT	MIN. SIDE SETBACK, CORNER LOT	MIN. REAR SETBACK
UPLANDS FILING 1, BLOCK 7 ODP	40'	3	-	90'	20'	14'	7'	14'	5'
UPLANDS FILING 1, BLOCK 7 ODP	40'	3	-	72'	28'	18'	4'	10'	3'
SINGLE-FAMILY ATTACHED (SFA) HOME									
UPLANDS MASTER ODP	40'	3	-	90' (W/ ATTACHED GARAGE) 72' FOR TUCK-UNDER	18'	12'	0'	8'	5'
UPLANDS FILING 1, BLOCK 7 ODP	40'	3	-	68'	21'	12'	0'	10'	3'

\*A MINIMUM OF 508 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFD HOMES.  
\*A MINIMUM OF 122 SF OF COMBINED PORCHES, DECKS, AND YARD SPACE HAS BEEN PROVIDED IN LIEU OF REAR YARD FOR ALL SFA HOMES.

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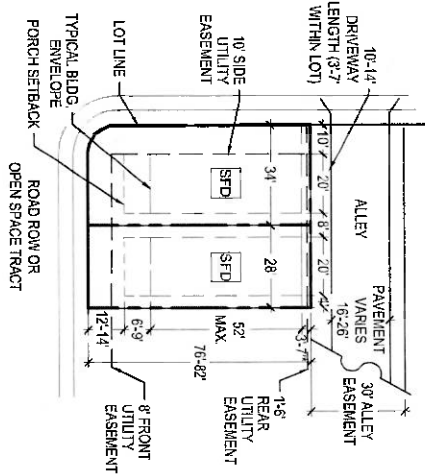


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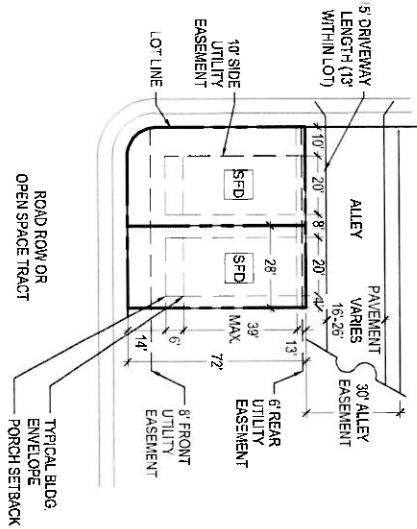
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LOT TYPICALS

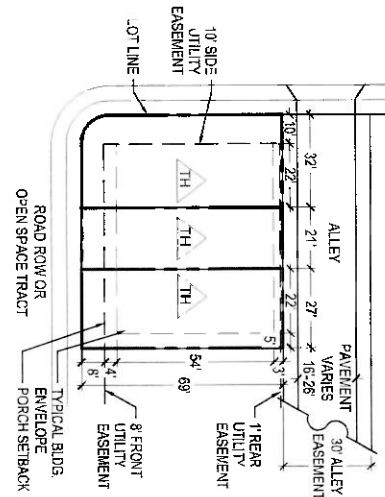
SINGLE-FAMILY DETACHED 2-STORY HOMES  
(28' X 76' TYPICAL LOT / 34' X 80' TYPICAL CORNER LOT)  
(20' X 61' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE-FAMILY DETACHED 3-STORY HOMES  
(28' X 72' TYPICAL LOT)  
(20' X 45' MAX. BUILDING ENVELOPE INCLUDING PORCH)



SINGLE-FAMILY ATTACHED TOWNHOME  
(21' X 69' TYPICAL LOT / 32' X 69' TYPICAL CORNER LOT)  
(22' X 56' MAX. BUILDING ENVELOPE INCLUDING PORCH)



LOT SETBACKS

	SFD MOP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	14'	18'
FRONT TO PORCH:	6'	12'
SIDE (INTERNAL):	7'	4' (4)
SIDE (CORNER):		
SIDE (ABUTTING LOCAL STREET):	14'	10' (4)
REAR:	5'	3' MIN. (4)

LOT TYPICAL NOTES

\* REAR SETBACKS VARY DUE TO UTILITY LOCATIONS  
REFER TO ARCHITECTURE LOT TYPICALS FOR  
DETAILED BUILDING FOOTPRINTS.

PROPOSED SETBACKS NOTES

- (1) ALL SETBACKS SHOWN ARE MINIMUMS.
- (2) SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION, CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW FEATURES MAY ENDOUCH INTO A SETBACK A MAXIMUM OF 2 FT.
- (3) SEE EXCEPTIONS SHEETS 5, 7.
- (4) SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION, CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW FEATURES MAY ENDOUCH INTO A SETBACK A MAXIMUM OF 2 FT.
- (5) SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE TO THE BUILDING FOUNDATION, CORNICES, EAVES, CHIMNEYS, FIREPLACES, FENCES, PATIOS, AWNINGS, CANOPIES, WINDOW FEATURES MAY ENDOUCH INTO A SETBACK A MAXIMUM OF 2 FT.

	SFA (TOWNHOME) MOP MINIMUM SETBACKS	PROPOSED SETBACKS (1)(2)
FRONT TO LIVING AREA:	6'-12'	12'
FRONT TO PORCH:	0'	8'
SIDE (INTERNAL):	0'	0/5'
SIDE (CORNER):	8'	10'
SIDE (ABUTTING LOCAL STREET):	5'	3' (4)
REAR:		

MAINTENANCE

A FUTURE HOMEOWNERS ASSOCIATION WILL BE CREATED. MAINTENANCE WILL BE DIVIDED BETWEEN THE HOA AND HOMEOWNERS AS FOLLOWS:

HOMEOWNER MAINTENANCE:

- DRIVEWAYS
- PORCHES, PATIOS & STEPS (INCLUDING SNOW REMOVAL)
- ON-LOT LEADER WALK TO COMMON SIDEWALK (INCLUDING SNOW REMOVAL)
- ON-LOT LANDSCAPE AND IRRIGATION (SFD ONLY)
- ON-LOT FENCES (SFD ONLY)
- ON-LOT LANDSCAPE AND IRRIGATION (SFA ONLY)
- SIDE YARDS INSIDE PRIVATE FENCED AREA

HOA MAINTENANCE:

- ALLEYS (INCLUDING SNOW REMOVAL)
- COMMON SIDEWALKS (INCLUDING SNOW REMOVAL)
- PUBLIC STREETS, COMMON SIDEWALKS MAY ALSO OCCUR ON LOT IN CERTAIN ATTACHED PRODUCT LAYOUTS WHERE THEY PROVIDE CONNECTION TO MORE THAN ONE UNIT (INCLUDING SNOW REMOVAL)
- ALLEY LANDSCAPE OUTSIDE PRIVATE FENCED AREA
- HOA-OWNED LANDSCAPE TRACTS/OUT LOTS
- OFF-SITE DETENTION POND
- RETAINING WALLS
- FENCING (INCLUDING ON LOT FOR SFA ONLY)
- ON-LOT LANDSCAPE & IRRIGATION (SFA ONLY)
- TREE LAWS
- TRASH PICK-UP



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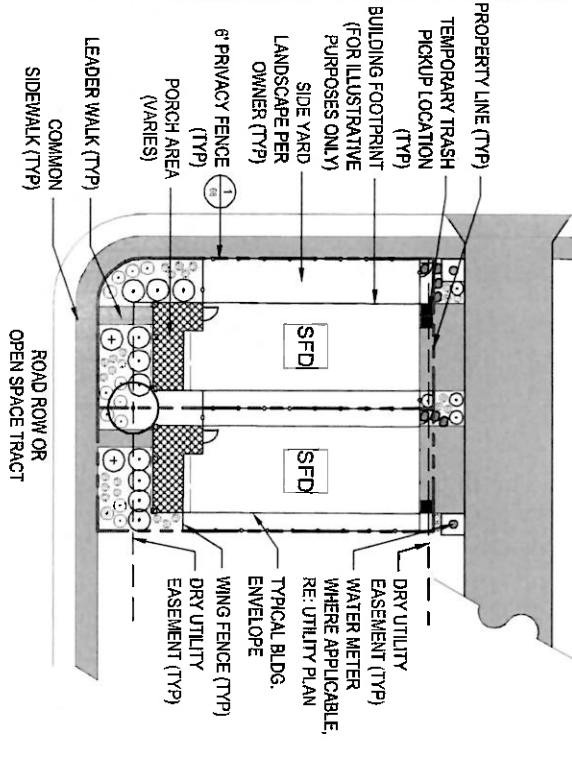
UPLANDS FILING NO. 1  
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OFFICIAL DEVELOPMENT PLAN  
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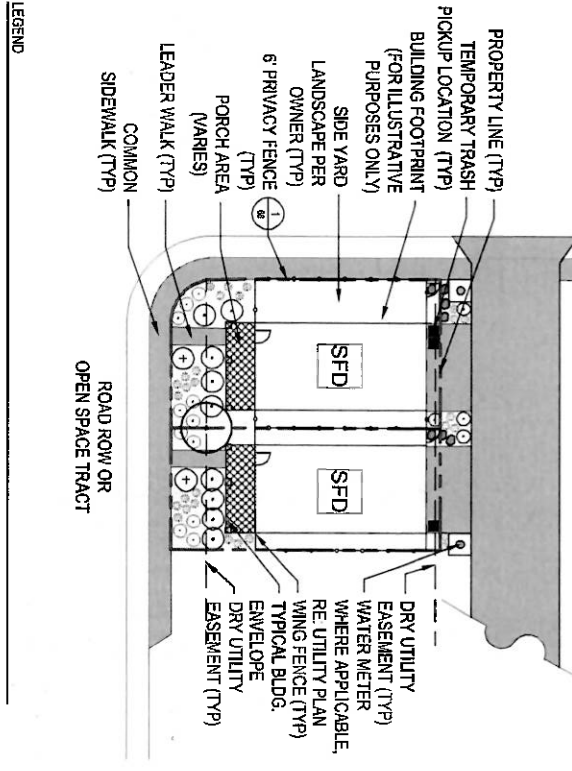
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LANDSCAPE LOT TYPICALS

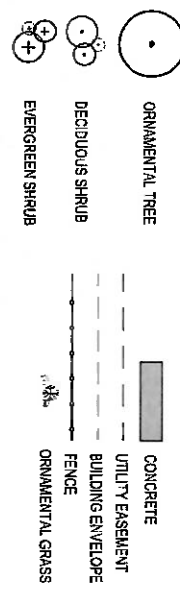
SINGLE-FAMILY DETACHED 2-STORY HOMES  
(28' X 76' TYPICAL LOT / 34' X 80' TYPICAL CORNER LOT)  
(20' X 61' MAX. BUILDING ENVELOPE INCLUDING PORCH)



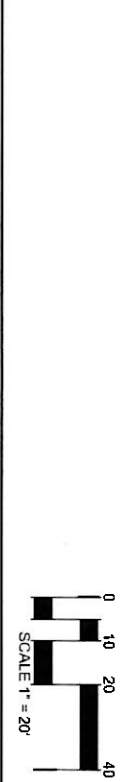
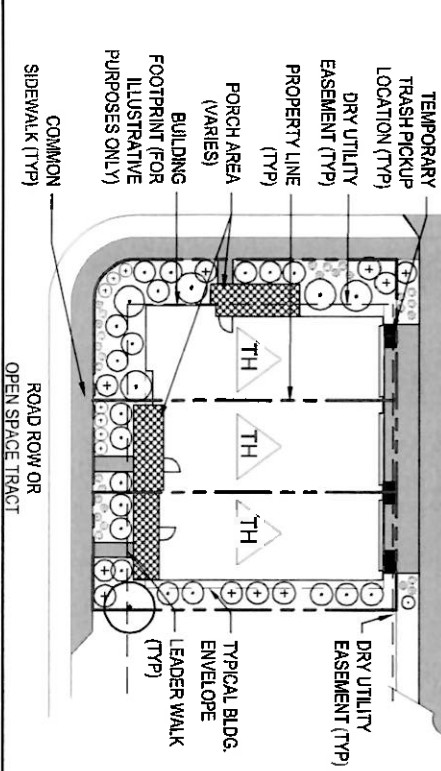
SINGLE-FAMILY DETACHED 3-STORY HOMES  
(28' X 61' TYPICAL LOT / 34' X 65' TYPICAL CORNER LOT)  
(20' X 45' MAX. BUILDING ENVELOPE INCLUDING PORCH)



LEGEND



- NOTES
1. LOT AND LANDSCAPE TYPICALS SHOW AN AVERAGE LANDSCAPE PLANTING CONDITION ON LOT. LANDSCAPE THROUGHOUT PLANTING INCLUDES 1 TREE EQUIVALENT (IN THE FORM OF 10 SHRUBS AND 3 ADDITIONAL SHRUBS PER 550 SF) FOR ALL FRONT YARD LANDSCAPES. AN EXCEPTION HAS BEEN REQUESTED FOR THE REPLACEMENT OF REQUIRED ON LOT TREES WITH TREE EQUIVALENTS DUE TO SITE CONSTRAINTS.
  2. REFER TO ARCHITECTURE LOT TYPICALS FOR DETAILED BUILDING FOOTPRINTS.
  3. DENSER (AVERAGE) LANDSCAPE CONDITIONS ARE SHOWN ON LOT TYPICALS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL LANDSCAPE PLANS FOR EACH LOT WILL OCCUR AT TIME OF BUILDING PERMIT, BUT MUST COMPLY WITH MINIMUM STANDARDS SET FORTH IN THE ODP.



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**UPLANDS**

DATE: 05.02.2024

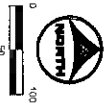
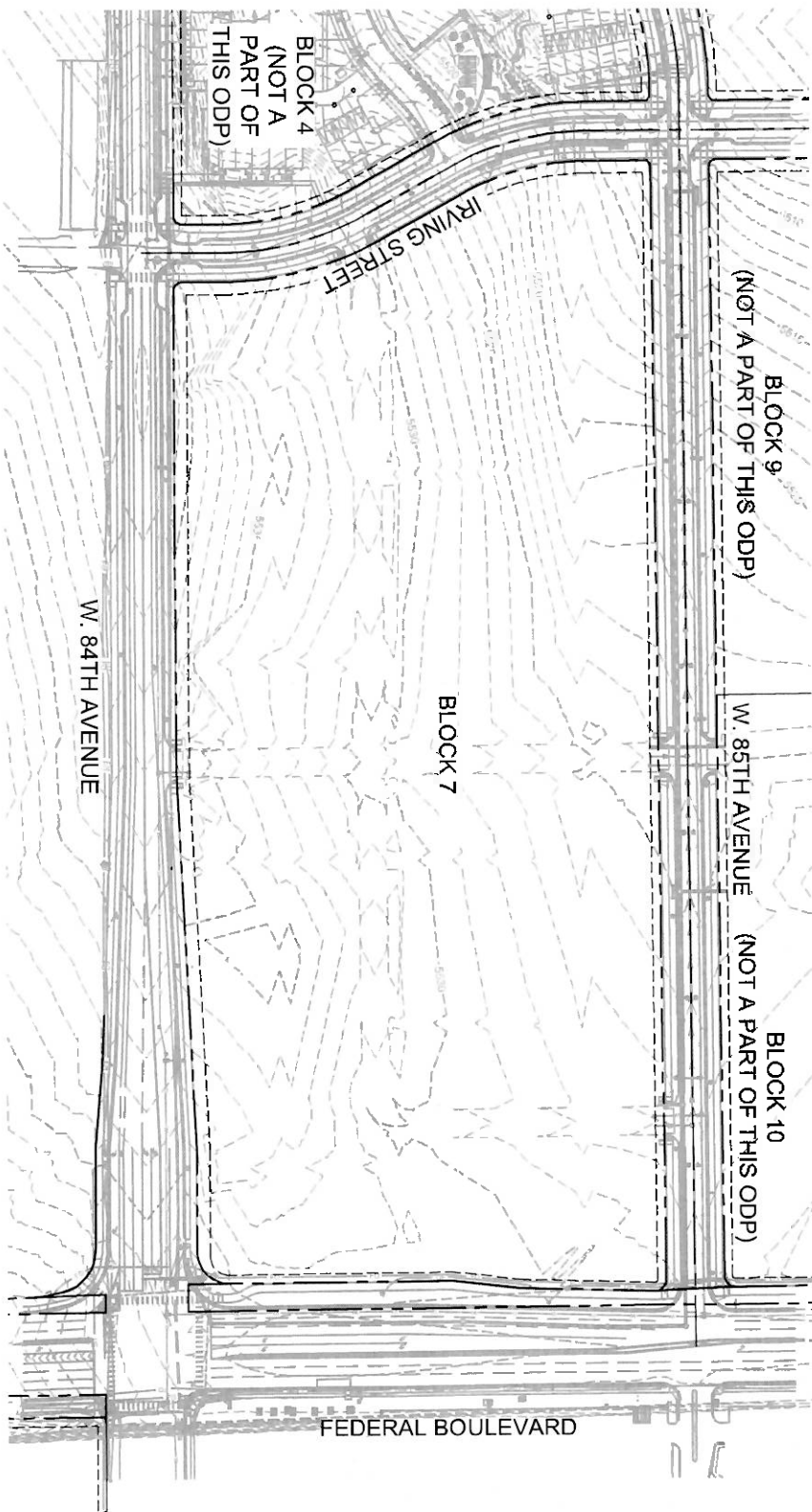
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OFFICIAL DEVELOPMENT PLAN  
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SHEET 10 OF 107

- LEGEND:
- RIGHT OF WAY
  - EASEMENT LINE
  - EXISTING STORM SEWER
  - EXISTING SANITARY SEWER
  - EXISTING WATER LINE
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING FIBER OPTIC
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING GAS
  - EXISTING STREET LIGHT
  - EXISTING SIGN
  - EXISTING POST
  - EXISTING TELECOMM MANHOLE
  - EXISTING MAJOR CONTOUR (6')
  - EXISTING MINOR CONTOUR (1')

NOTES:  
1 ALL EXISTING INFRASTRUCTURE TO REMAIN  
UNLESS OTHERWISE NOTED.



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UPLANDS

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EXISTING CONDITIONS

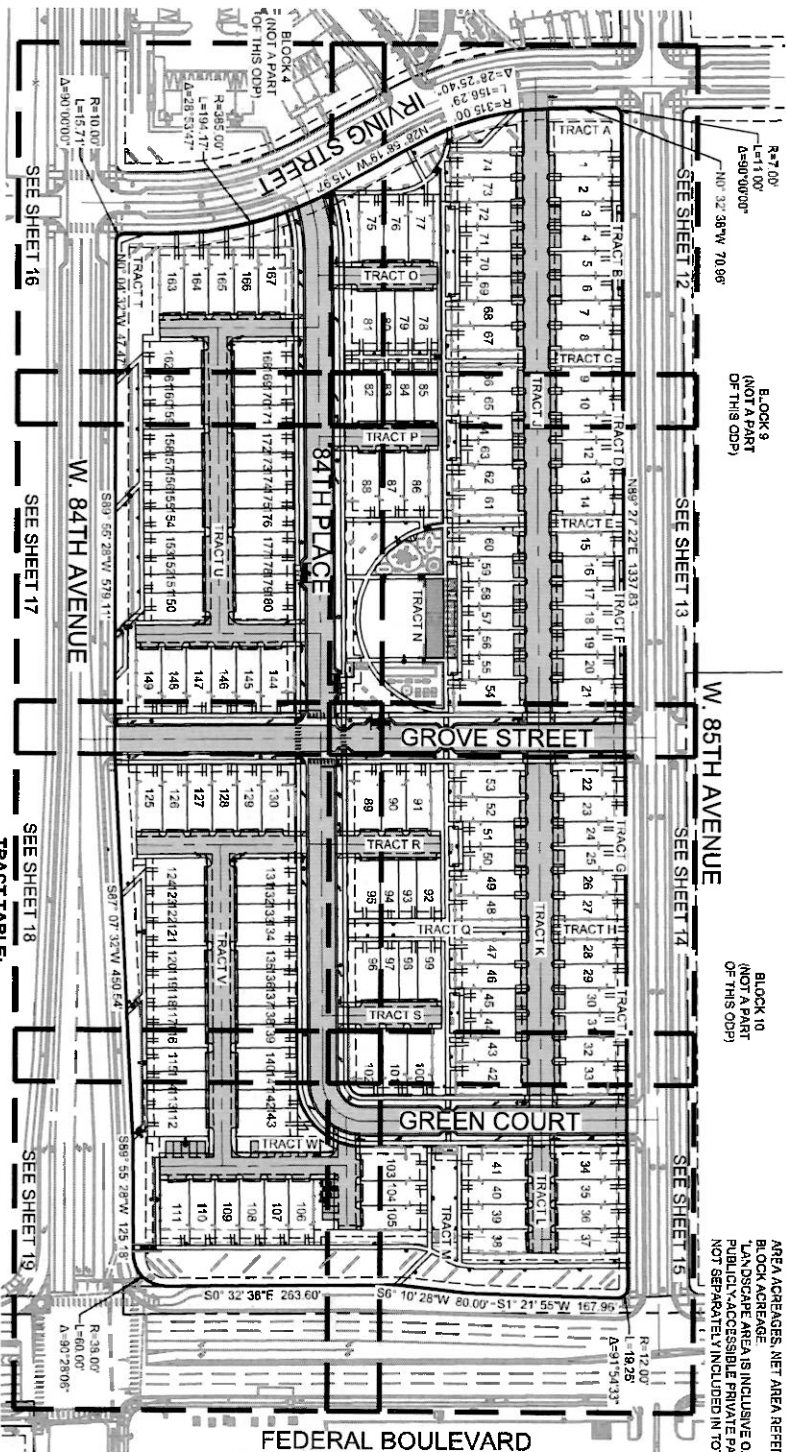


SITE DATA TABLE			
LOT AREA	16.75	ACRES	
AREA OF DISTURBANCE	16.75	ACRES	
EXISTING IMPERVIOUS AREA	0	ACRES	
PROPOSED IMPERVIOUS AREA	14.18	ACRES	

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LOT COVERAGE:			
PLANNING AREA PA-17			
SURFACE TYPE	AREA (SF)	% OF SITE	
BUILDING COVERAGE	181,014	25%	
PAVING AND DRIVES	288,825	40%	
LANDSCAPE OPEN AREA	280,091	35%	
PUBLICLY ACCESSIBLE PRIVATE PARK AREA	(32,912)	(4%)	
GROSS TOTAL AREA	811,087	100%	
NET TOTAL AREA	729,724	100%	

\*GROSS AREA REFERS TO PERMAD PLANNING AREA COVERAGE. NET AREA REFERS TO PLANTED BLOCK ACOVERAGE. LANDSCAPE AREA IS INCLUSIVE OF PUBLICLY ACCESSIBLE PRIVATE PARK, WHICH IS NOT SEPARATELY INCLUDED IN TOTALS.



**PARKING:**

PLANNING AREA PA-17				
TYPE	UNIT	REQUIRED (OFF-STREET)	PROVIDED (OFF-STREET)	PROVIDED (ON-STREET)
OFF-STREET (2/UNIT)	68	136	136	0
GUEST (1/3) (A)	23	18		139
DRIVEWAY (2/UNIT) (A)	112	224	0	
ENCLOSED (2/UNIT)	181	362	181	
TOTAL		500	317	139

- A. 157 PARKING SPACES ARE SHARED BETWEEN HOME TYPES THROUGH RIGHT OF WAY AND SURFACE SPACES. SEE SHARED PARKING TABLE, TO RIGHT.
- B. NUMBER OF BEDROOMS PER SPA UNIT NOT TO EXCEED 3.
- C. 11 SPACES PROVIDED FOR BICYCLES ARE REQUIRED. A MAXIMUM OF 25 SINGLE FAMILY DETACHED UNITS ARE ALLOWED. THE TOTAL NUMBER OF UNITS SHALL BE PERMITTED SEE THE PARKING EXHIBIT FOR CONCEPTUAL ONLY LOCATIONS FOR UNITS WITH A SINGLE-CAR GARAGE.
- D. ACCESSIBLE SPACES ARE PROVIDED IN ACCORDANCE WITH FEDERAL REGULATIONS.

PLANNING AREA PA-17		
SHARED PARKING BREAK-DOWN	TYPE	REQUIRED
W. 85TH AVENUE		48
84TH PLACE		44 (2)
GROVE STREET		24 (1)
GREEN COURT		11
IRVING STREET		12
STANDARD		15
ACCESSIBLE		2 (2)
VAN ACCESSIBLE		1 (1)
TOTAL		23 SPA + 224 SFD = 247
ADDITIONAL ROW PARKING	84TH AVENUE	19 (6)

PLANNING AREA PA-17		
TRACT	USE	MAINTENANCE RESPONSIBILITY
A	LANDSCAPE	HOA
B	LANDSCAPE	HOA
C	LANDSCAPE	HOA
D	LANDSCAPE	HOA
E	LANDSCAPE	HOA
F	LANDSCAPE	HOA
G	LANDSCAPE	HOA
H	LANDSCAPE	HOA
I	LANDSCAPE	HOA
J	PUBLIC ACCESS & UTIL.	HOA
K	PUBLIC ACCESS & UTIL.	HOA

PLANNING AREA PA-17		
TRACT	USE	MAINTENANCE RESPONSIBILITY
L	PUBLIC ACCESS & UTIL.	HOA
M	LANDSCAPE	HOA
N	LANDSCAPE/PUBLIC ACCESS	HOA
O	PUBLIC ACCESS & UTIL.	HOA
P	PUBLIC ACCESS & UTIL.	HOA
Q	LANDSCAPE	HOA
R	PUBLIC ACCESS & UTIL.	HOA
S	PUBLIC ACCESS & UTIL.	HOA
T	LANDSCAPE	HOA
U	PUBLIC ACCESS & UTIL.	HOA
V	PUBLIC ACCESS & UTIL.	HOA
W	LANDSCAPE	HOA

PLANNING AREA PA-17		
TRACT	USE	MAINTENANCE RESPONSIBILITY
A	LANDSCAPE	HOA
B	LANDSCAPE	HOA
C	LANDSCAPE	HOA
D	LANDSCAPE	HOA
E	LANDSCAPE	HOA
F	LANDSCAPE	HOA
G	LANDSCAPE	HOA
H	LANDSCAPE	HOA
I	LANDSCAPE	HOA
J	PUBLIC ACCESS & UTIL.	HOA
K	PUBLIC ACCESS & UTIL.	HOA

PLANNING AREA PA-17		
EV CHARGING (HOURLY)	REQUIRED	PROVIDED
BICYCLE	0	14

NOTE: ALL SFD & SEA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGER IN THE GARAGE.



UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO



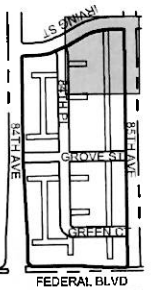
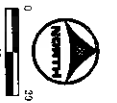
DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN	
PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

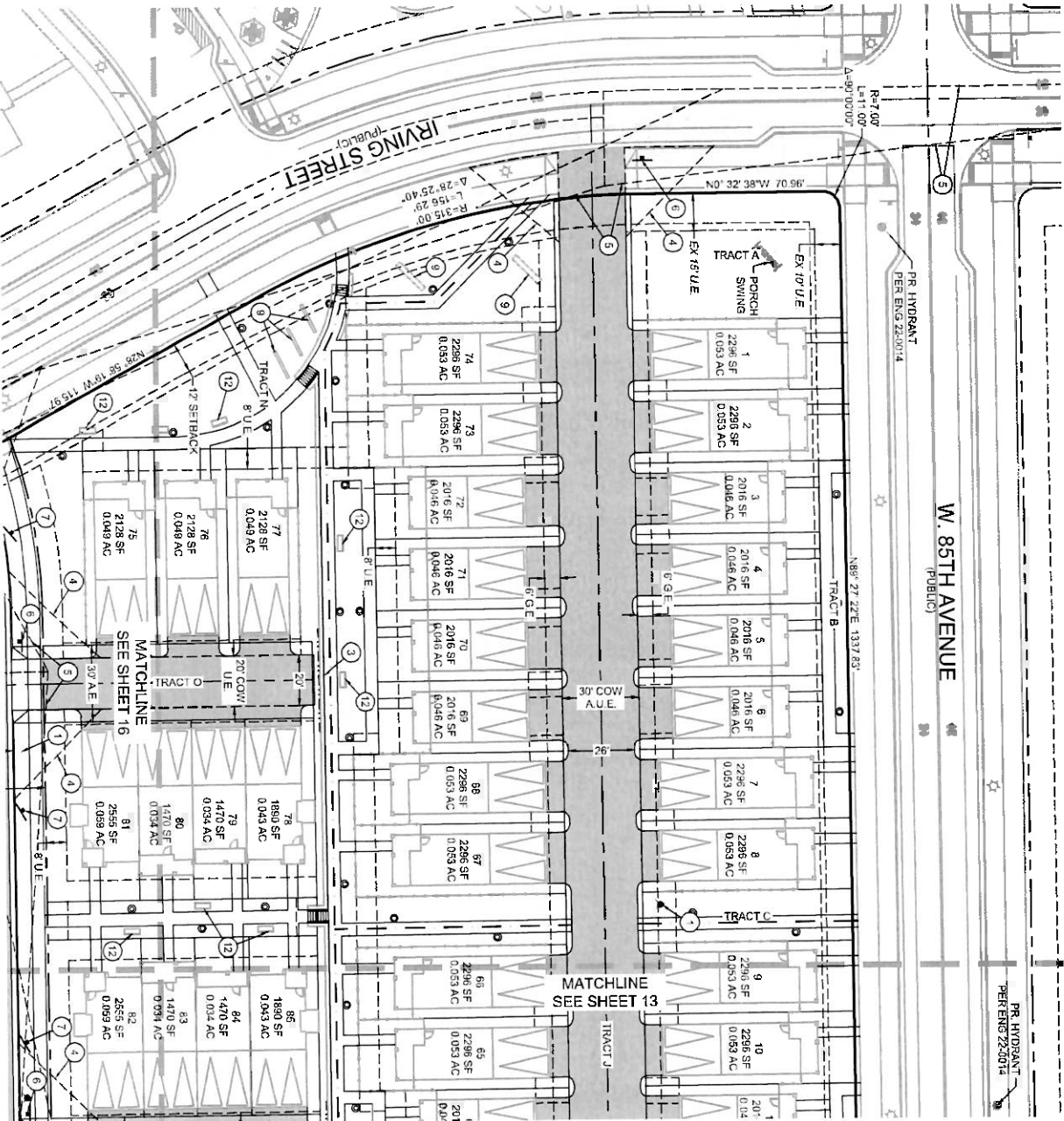
PR. PRIVATE LIGHT POLE  
PR. PUBLIC LIGHT POLE  
PR. PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
**UNDS - FILING NO. 1 - BLOC**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 12 OF 107



# UPLANDS

DATE: 05.02.2024



PROPERTY LINE:  
REQUIRED SETBACK:  
EDGE OF CONCRETE:  
RIGHT OF WAY:  
EASEMENT LINE:  
LOT LINE:  
ACCESSIBLE ROUTE:  
WALL RAILING:

① PR. FIRE HYDRANT

③ MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)

(7) CRYSTAL STRUCTURE

(8) THERMAL ANALYSIS

১০৮. ১০৮৮ (১০৮৮)

⑧ SCREEN WALL

**10 BIKE RACK**

⑫ BENCH

⑭ SHADE PAVILION

⑩ OUTDOOR KITCHEN

ARRECEBIALE D'ADRIANO

19 ACCESSIBLE PARK  
CARE AND MAINTENANCE

⑤ ⑥

## NOTES

2. ALL PRIVATE WALL

FOOTPRINTS. CHAP

### 5. UPLANDS HOA WITH MAINTENANCE OF

7. EXACT RAILING TO BE ADJUSTED TO

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023

## REVISIONS

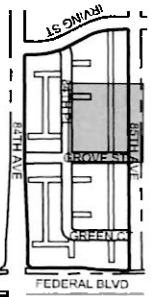
SUB02: 03/07/24

SUB03: 05/02/24

12 OF 107  
SITE PLAN

**ABBREVIATIONS:**  
 A - ELECTRICAL ACCESS EASEMENT  
 COW AUE - PUBLIC ACCESS & COW UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 COW U.E. - COW UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 SW - SIDEWALK  
 PR - PRIVATE LIGHT POLE  
 PR - PUBLIC LIGHT POLE  
 PR - PUBLIC LIGHT POLE PER FIG 22-0014

**OFFICIAL DEVELOPMENT PLAN  
 UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 13 OF 107



**LEGEND:**

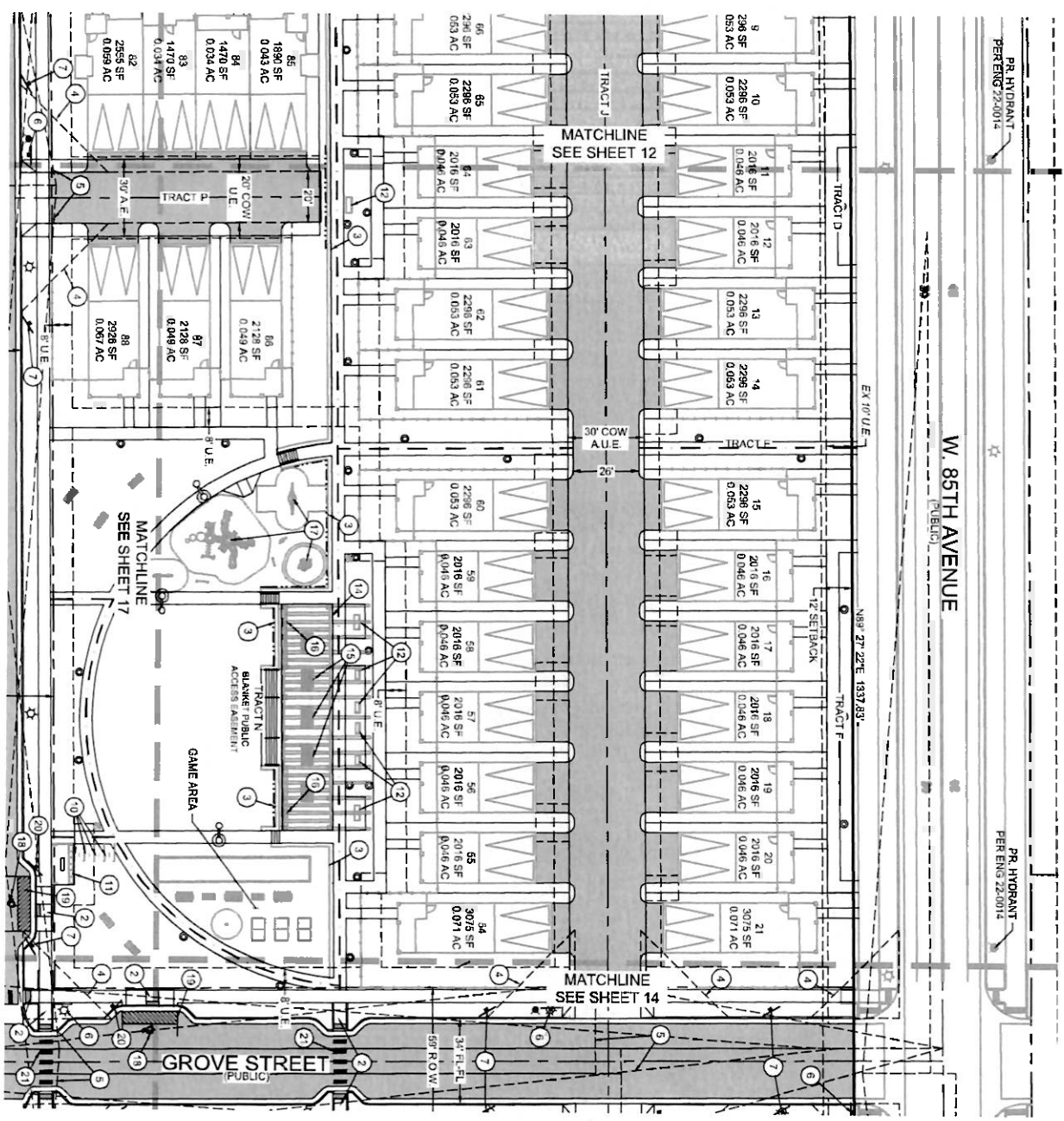
- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING

**KEYNOTE LEGEND:**

- 1 PR FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 2 & DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN (T-1)
- 7 NO PARKING
- 8 FIRE LANE SIGN
- 9 SCREEN WALL
- 10 ACCENT WALL
- 11 BIKE RACK
- 12 MAIL KIOSK
- 13 BENCH
- 14 UMBRELLA TABLE
- 15 SHADE PAVILION
- 16 PICNIC TABLE
- 17 OUTDOOR KITCHEN
- 18 PLAY STRUCTURE
- 19 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 20 ACCESSIBLE PARKING STRIPING (45° YELLOW STRIPING @ 2' O.C.)
- 21 ACCESSIBLE PARKING SIGN
- 22 2x6 CROSSWALK STRIPING

**NOTES:**

- 1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED.
- 2. ALL PRIVATE WALKS TO SRD AND SPA ARE 4'.
- 3. ALL PROPOSED CURB & GUTTER IS 8" VERTICAL.
- 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR FURTHER INFORMATION.
- 5. FUTURE HOME BUYER WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
- 6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC.
- 7. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



**UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**



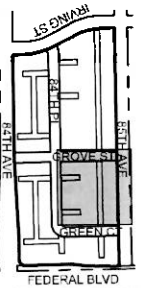
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OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

**ABBREVIATIONS:**  
 A/E - PUBLIC ACCESS EASEMENT  
 COW A/E - PUBLIC ACCESS & COW UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 COW U.E. - COW UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 SW - SIDEWALK  
 RL - PRIVATE LIGHT POLE  
 RL - PUBLIC LIGHT POLE  
 RL - PUBLIC LIGHT POLE PER ENG 22-0014

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 14 OF 107



**LEGEND:**

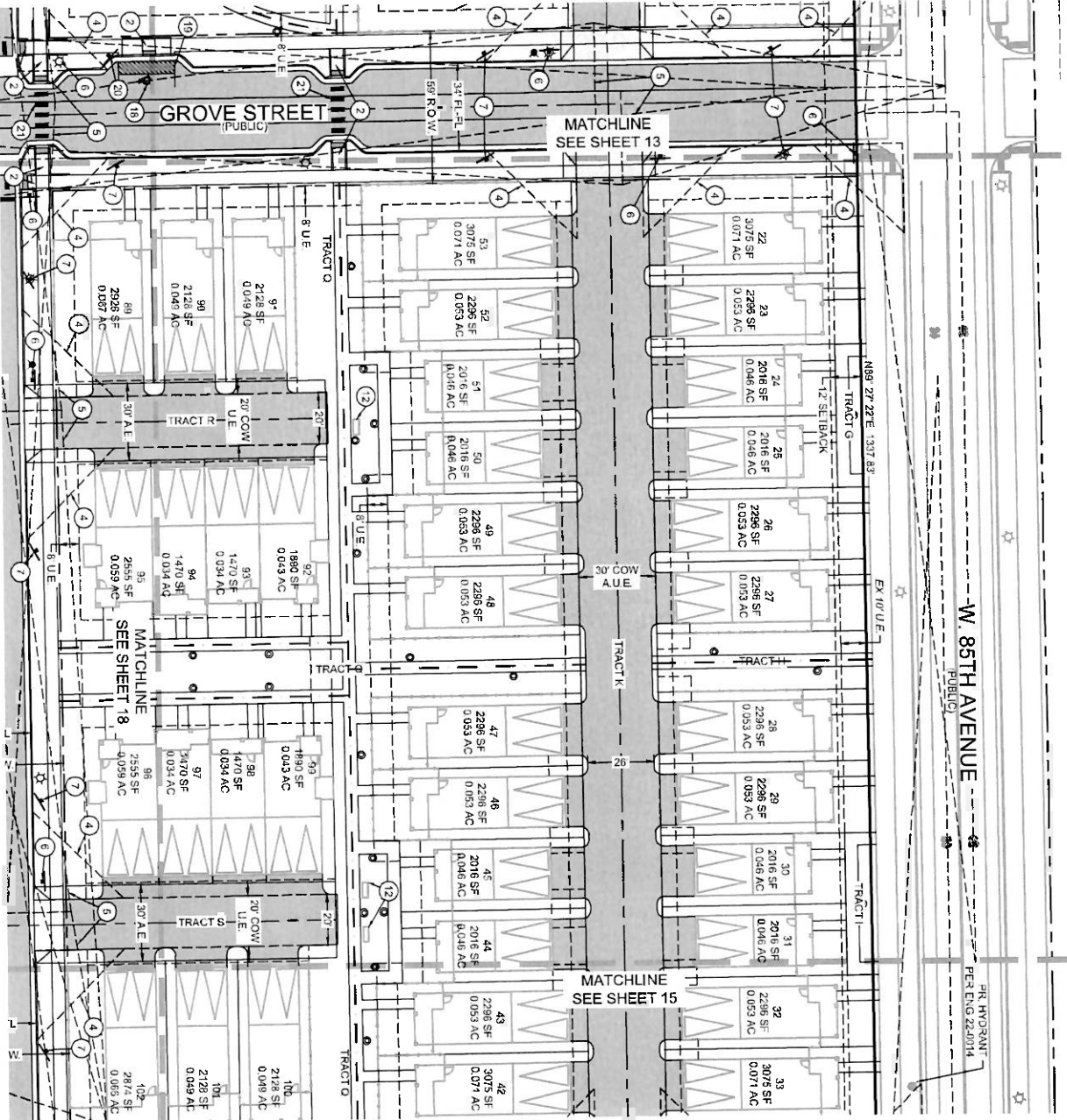
- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF COW
- UTILITY EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING

**KEYNOTE LEGEND:**

- 1. RR FIRE HYDRANT
- 2. CURB RAMP
- 3. MIS. RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4. LANDSCAPE TRIANGLE
- 5. SIGHT TRIANGLE
- 6. STOP SIGN (R1-1)
- 7. NO PARKING
- 8. FIRE LANE SIGN
- 9. SCREEN WALL
- 10. ACCENT WALL
- 11. BIKE RACK
- 12. MAIL KIOSK
- 13. BENCH
- 14. UMBRELLA TABLE
- 15. SHADE PAVILION
- 16. PICNIC TABLE
- 17. OUTDOOR KITCHEN
- 18. PLAY STRUCTURE
- 19. ACCESSIBLE PARKING SYMBOL PER IUTD FIGURE 3B.22
- 20. ACCESSIBLE PARKING STRIPING (45° YELLOW STRIPING @ 2' O.C.)
- 21. ACCESSIBLE PARKING SIGN
- 22. 2x6 CROSSWALK STRIPING

**NOTES:**

- 1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' WIDENESS UNLESS OTHERWISE NOTED
- 2. ALL PRIVATE WALKS TO SPD AND SPA ARE 4' WIDENESS UNLESS OTHERWISE NOTED
- 3. ALL PROPOSED CURB & CUTTER IS 6" VERTICAL
- 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
- 5. MAINTENANCE OF HOA WILL BE RESPONSIBLE FOR UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS
- 6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC EXCEPTS MAY EXIST IN ROW TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT



UPLANDS FILING NO. 1  
**BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024

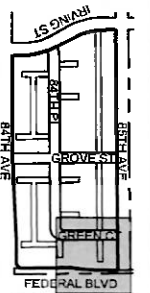


OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	



**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
 C.O.W. - PUBLIC ACCESS & COW UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 C.O.U. - COW UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 S.W. - SIDEWALK  
 PR - PRIVATE LIGHT POLE  
 PR - PUBLIC LIGHT POLE  
 PR - PUBLIC LIGHT POLE PER ENG 22-0014

**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 15 OF 107



**LEGEND:**

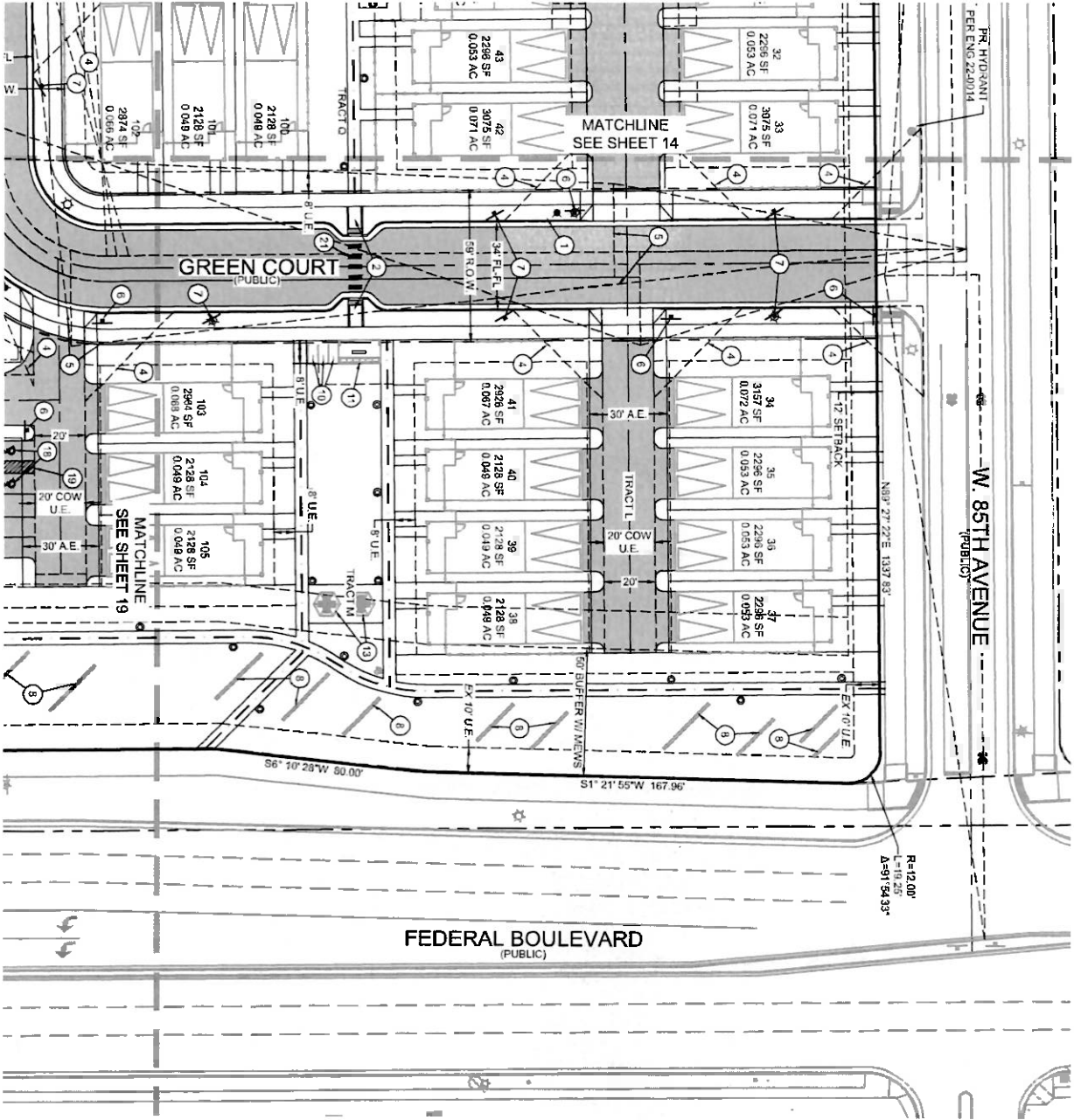
- PROPERTY LINE
- REQUIRED SETBACK
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING

**KEYNOTE LEGEND:**

- 1. PR. FIRE HYDRANT
- 2. CURB RAMP
- 3. MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4. LANDSCAPE TRIANGLE
- 5. SIGHT TRIANGLE
- 6. STOP SIGN (R1-1)
- 7. NO PARKING/ FIRE LANE SIGN
- 8. SCREEN WALL
- 9. ACCENT WALL
- 10. BIKE RACK
- 11. MAIL BOX
- 12. BENCH
- 13. UMBRELLA TABLE
- 14. SHADE PAVILION
- 15. PICNIC TABLE
- 16. OUTDOOR KITCHEN
- 17. PLAY STRUCTURE
- 18. ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 19. ACCESSIBLE PARKING STRIPING (45° 4" YELLOW STRIPING @ 2" O.C.)
- 20. ACCESSIBLE PARKING SIGN
- 21. 2x5 CROSSWALK STRIPING

**NOTES:**

1. ALL PROPOSED, PUBLIC SIDEWALKS ARE 5', UNLESS OTHERWISE NOTED
2. ALL PRIVATE WALKS TO SET AND STRA ARE 4'
3. ALL PROPOSED CURB & GUTTER IS 8" VERTICAL, PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING
4. FOOTPRINTS CHANGES WITHIN THESE FUTURE TRACT BUYERS ALLOWED PER THE UPLANDS HSA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS
5. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
6. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



**UPLANDS**

DATE: 05.02.2024

**UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

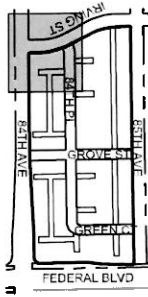
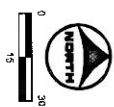
**REVISIONS**

SUB02: 03/07/24  
 SUB03: 05/02/24

15 OF 107  
 SITE PLAN

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 16 OF 107

- ABBREVIATIONS:
- A.E. - PUBLIC ACCESS EASEMENT
  - C.O.W. - PUBLIC ACCESS & COW UTILITY EASEMENT
  - C.O.W. - PUBLIC UTILITY EASEMENT
  - U.E. - UTILITY EASEMENT
  - SW - SIDEWALK
  - PR - PRIVATE LIGHT POLE
  - PR - PUBLIC LIGHT POLE
  - PR - PUBLIC LIGHT POLE PER ENG 22-0014



LEGEND:

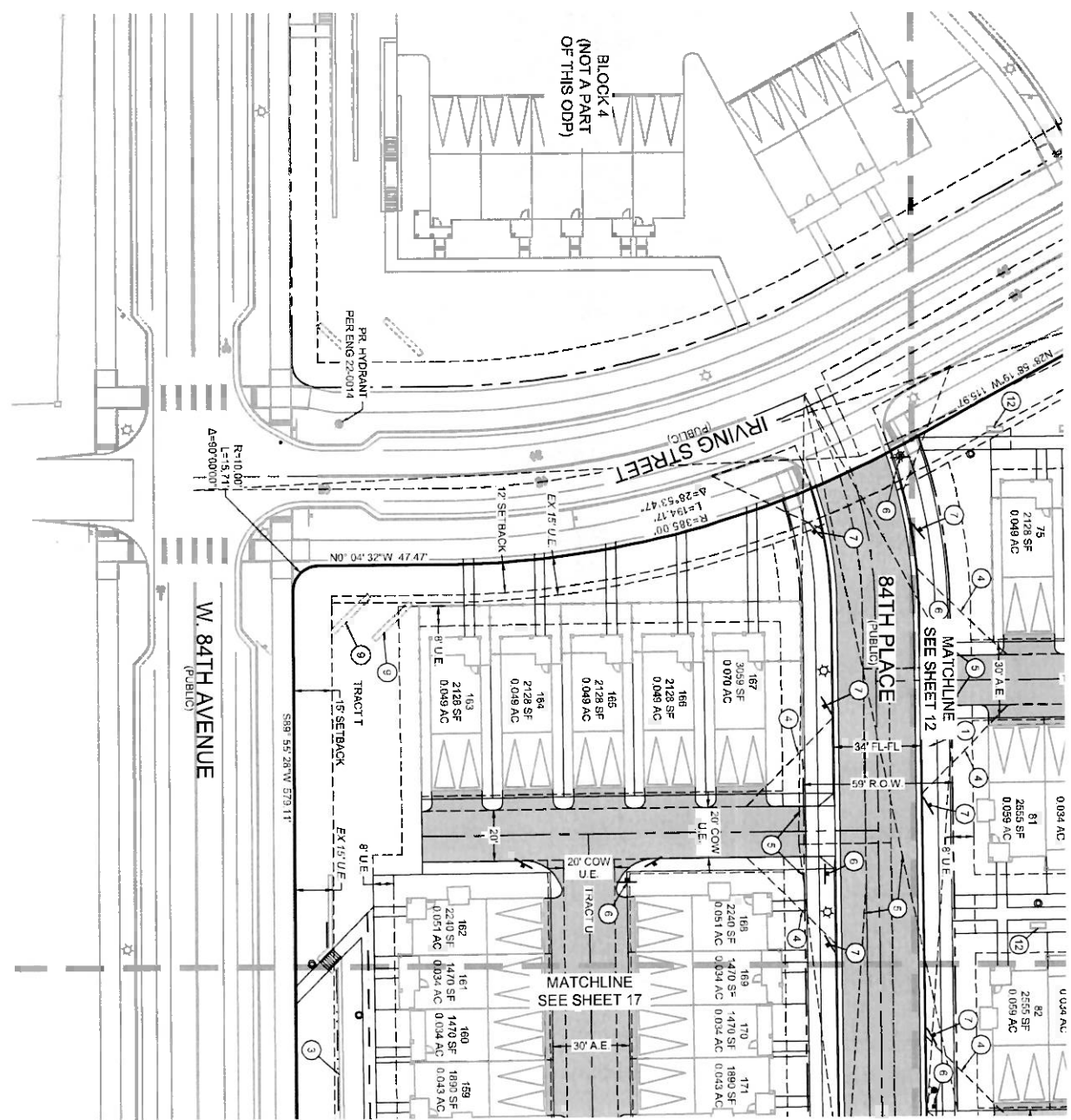
- PROPERTY LINE
- REQUIRED SETBACK
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING

KEYNOTE LEGEND:

- 1. PR. FIRE HYDRANT
- 2. CURB RAMP
- 3. USE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4. LANDSCAPE TRIANGLE
- 5. SIGHT TRIANGLE
- 6. STOP SIGN (R+)
- 7. NO PARKING / FIRE LANE SIGN
- 8. SCREEN WALL
- 9. ACCENT WALL
- 10. BIKE RACK
- 11. MAIL KIOSK
- 12. BENCH
- 13. UMBRELLA TABLE
- 14. SHADE PAVILION
- 15. PICNIC TABLE
- 16. OUTDOOR KITCHEN
- 17. PLAY STRUCTURE
- 18. ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 19. ACCESSIBLE PARKING STRIPING (45° YELLOW STRIPING @ 2' O.C.)
- 20. ACCESSIBLE PARKING SIGN
- 21. 2x6 CROSSWALK STRIPING

NOTES:

- 1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
- 2. ALL PRIVATE WALKS TO SPD AND SFA ARE 4'
- 3. ALL PROPOSED CURB & GUTTER IS 5' VERTICAL
- 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
- 5. UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS
- 6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
- 7. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
- 8. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
- 9. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
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- 21. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC



UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO



DATE: 05.02.2024

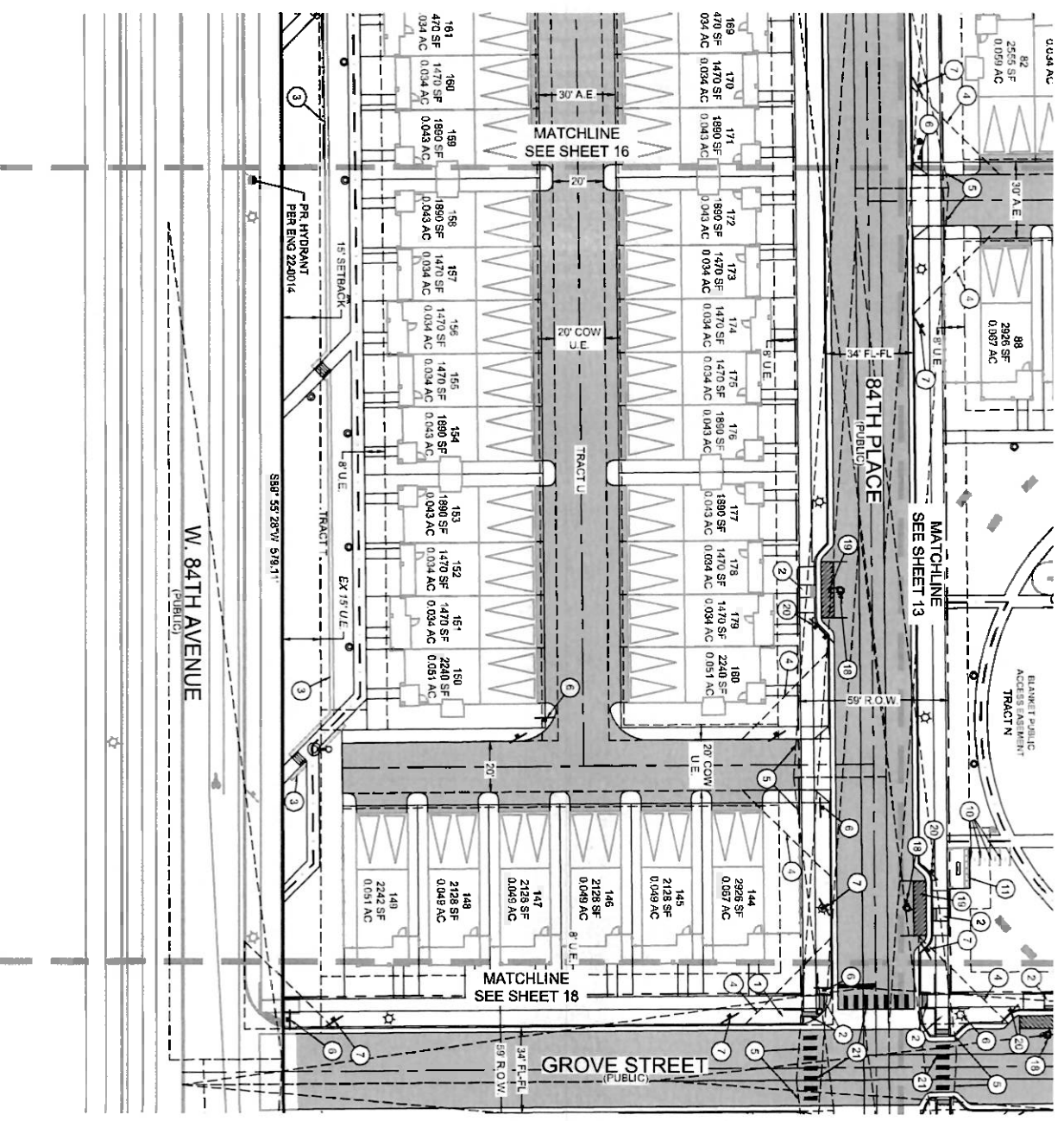
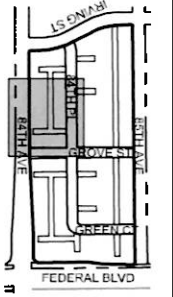


OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	



**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
 C.O.W. - PUBLIC ACCESS & COW UTILITY EASEMENT  
 C.O.W. - PUBLIC ACCESS & COW UTILITY EASEMENT  
 C.O.W. - PUBLIC ACCESS & COW UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 S.W. - SIDEWALK  
 P.R. - PRIVATE LIGHT POLE  
 P.R. - PUBLIC LIGHT POLE  
 P.R. - PUBLIC LIGHT POLE PER ENG 22-0014

**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 17 OF 107



**LEGEND:**

- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL RAILING

**KEYNOTE LEGEND:**

- 1. P.R. FIRE HYDRANT
- 2. CURB RAMP
- 3. MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4. LANDSCAPE TRIANGLE
- 5. SIGHT TRIANGLE
- 6. STOP SIGN (R-1)
- 7. NO PARKING
- 8. FIRE LANE SIGN
- 9. SCREEN WALL
- 10. ACCENT WALL
- 11. BIKE RACK
- 12. MAIL KIOSK
- 13. BENCH
- 14. UMBRELLA TABLE
- 15. SHADE PAVILION
- 16. PICNIC TABLE
- 17. OUTDOOR KITCHEN
- 18. PLAY STRUCTURE
- 19. ACCESSIBLE PARKING SWAGOL PER MUTCD FIGURE 3B.22
- 20. ACCESSIBLE PARKING STRIPING (45" x 10' YELLOW STRIPING @ 2" O.C.)
- 21. ACCESSIBLE PARKING SIGN
- 22. 2x6 CROSSWALK STRIPING

**NOTES:**

- 1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' WIDE.
- 2. ALL PRIVATE WALKS TO SPD AND SEA AREA 4.
- 3. ALL PROPOSED CURB & GUTTER IS 6" VERTICAL.
- 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS, CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
- 5. UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARK.
- 6. ALL LIGHTS LOCATED IN ROW OR PUBLIC.
- 7. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 10' IN HEIGHT.

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

**UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

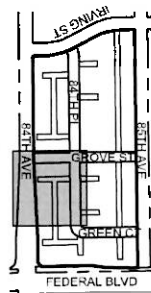
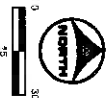
**UPLANDS**  
 DATE: 05.02.2024



**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
 C.O.W. A.U.E. - PUBLIC ACCESS & C.O.W. UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 C.O.W. U.E. - C.O.W. UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 S.W. - SIDEWALK

PR - PRIVATE LIGHT POLE  
 PR - PUBLIC LIGHT POLE  
 PR - PUBLIC LIGHT POLE PER ENG 22-0014

**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 18 OF 107



**LEGEND:**

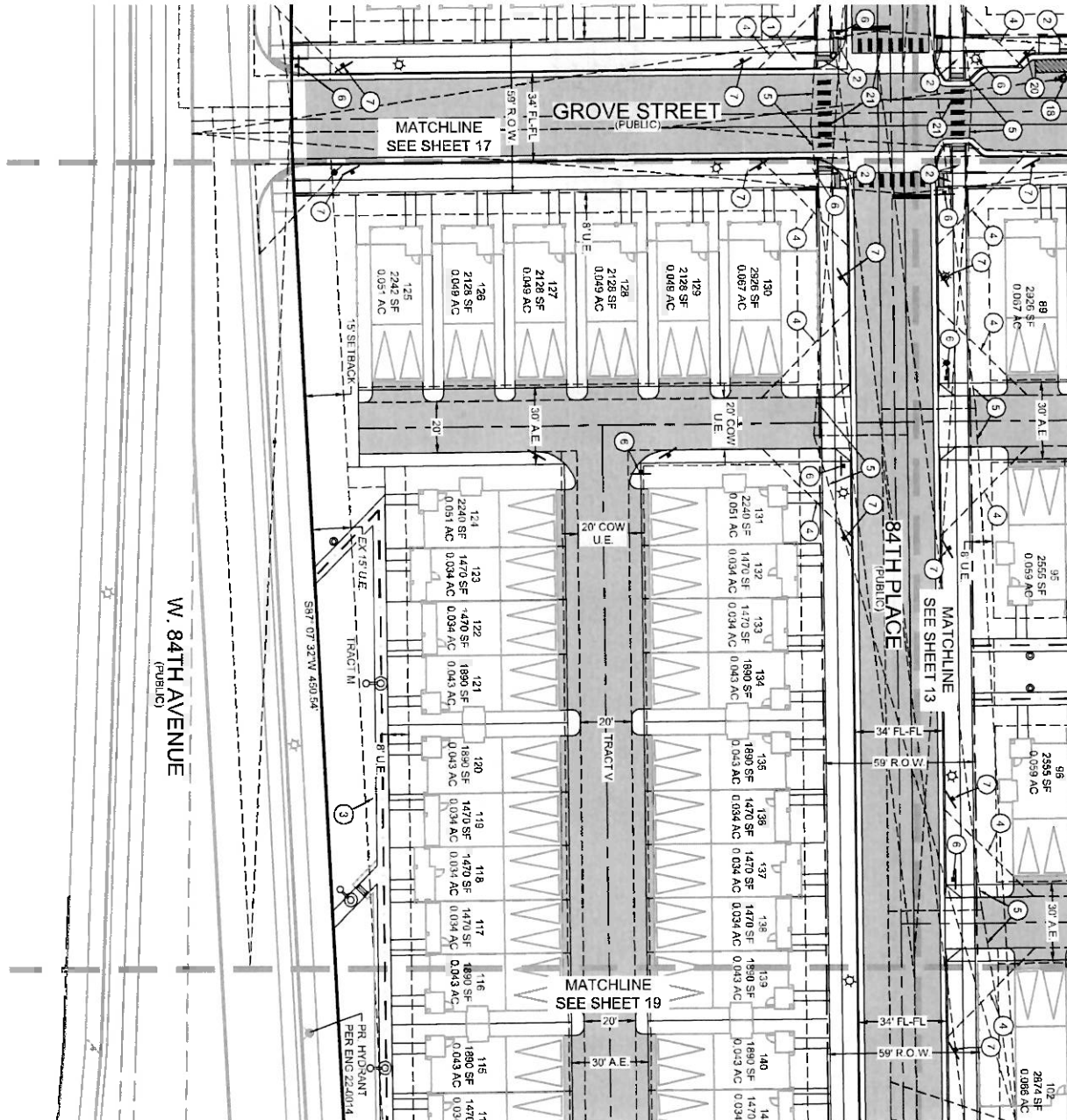
- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL PAULING

**KEYNOTE LEGEND:**

- 1. PR - FIRE HYDRANT
- 2. CURB RAMP
- 3. MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4. LANDSCAPE TRIANGLE
- 5. SIGHT TRIANGLE
- 6. STOP SIGN (R-1)
- 7. NO PARKING / FIRE LANE SIGN
- 8. SCREEN WALL
- 9. ACCENT WALL
- 10. BIKE RACK
- 11. MAIL KIOSK
- 12. BENCH
- 13. UMBRELLA TABLE
- 14. SHADE PAVILION
- 15. PICNIC TABLE
- 16. OUTDOOR KITCHEN
- 17. PLAY STRUCTURE
- 18. ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 9B-22
- 19. ACCESSIBLE PARKING STRIPING (45° + YELLOW STRIPING @ 2" O.C.)
- 20. ACCESSIBLE PARKING SIGN
- 21. 2x6 CROSSWALK STRIPING

**NOTES:**

- 1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED
- 2. ALL PRIVATE WALKS TO STD AND SFA ARE 4'
- 3. ALL PROPOSED CURB & GUTTER IS 5" VERTICAL
- 4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CONCRETE FINISHES AND FINISHES
- 5. PARALLELERS MAY BE ALLOWED PER THE FUTURE HOME BUYER
- 6. MAINTENANCE OF PARKS
- 7. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC
- 8. EXACT PAULING, LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.



**UPLANDS FILING NO. 1**  
**BLOCK 7**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

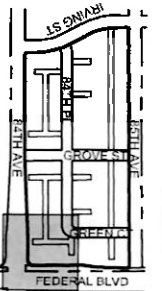
**REVISIONS**

SUB02: 03/07/24  
 SUB03: 05/02/24

18 OF 107  
 SITE PLAN

**ABBREVIATIONS:**  
 A.E. - PUBLIC ACCESS EASEMENT  
 C.O.W. - PUBLIC ACCESS & C.O.W. UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 C.O.W. - C.O.W. UTILITY EASEMENT  
 U.E. - UTILITY EASEMENT  
 S.W. - SIDEWALK  
 P.S. - PRIVATE LIGHT POLE  
 P.R. - PUBLIC LIGHT POLE  
 P.R. - PUBLIC LIGHT POLE PER ENG 22-0014

**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 19 OF 107



**LEGEND:**

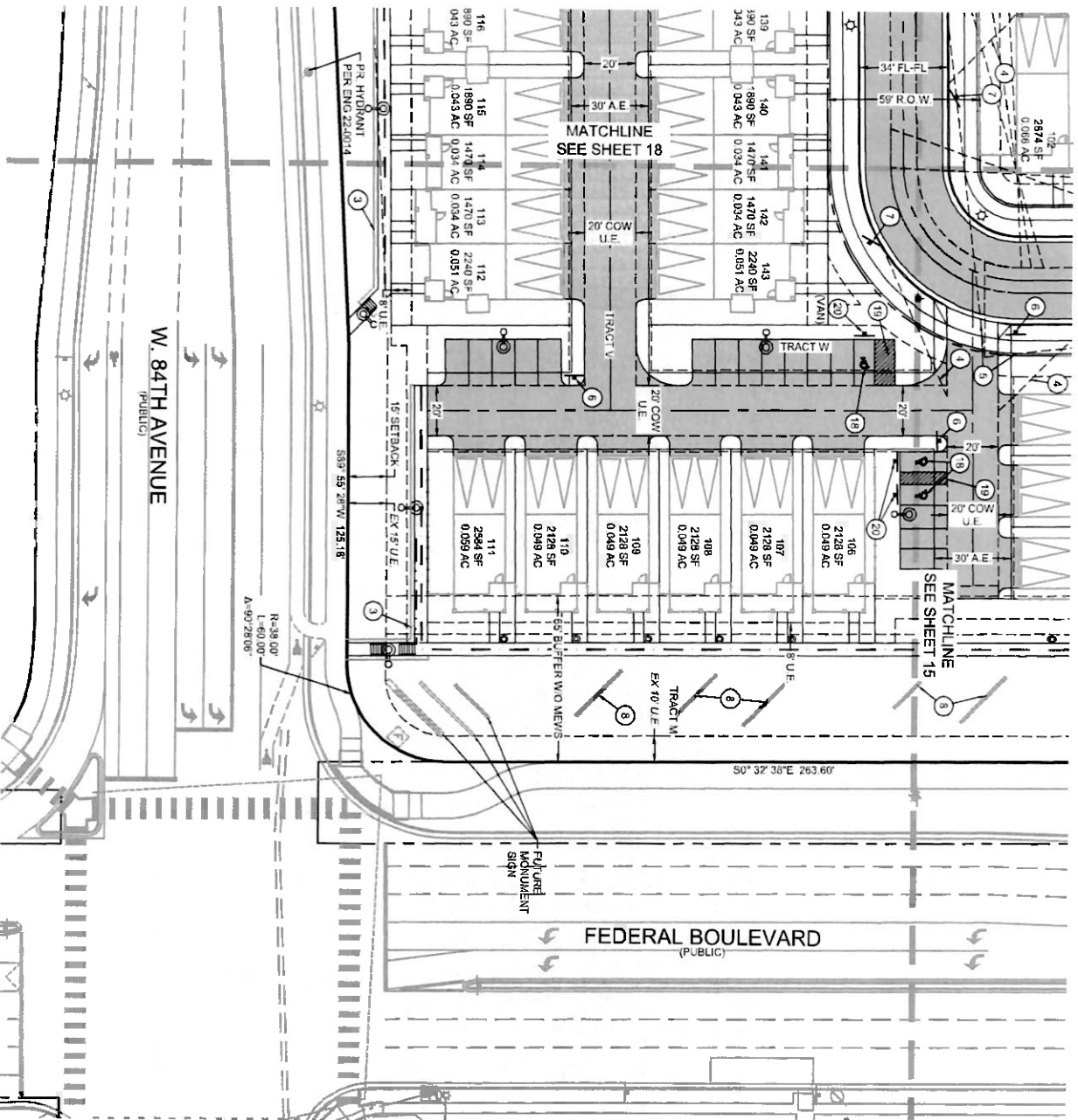
- PROPERTY LINE
- REQUIRED SETBACK
- EDGE OF CONCRETE
- RIGHT OF WAY
- EASEMENT LINE
- LOT LINE
- ACCESSIBLE ROUTE
- WALL PAULING

**KEYNOTE LEGEND:**

- 1 PR. FIRE HYDRANT
- 2 CURB RAMP
- 3 MSE RETAINING WALL (SEE NOTE 7 & DETAIL ON SHEET 20)
- 4 LANDSCAPE TRIANGLE
- 5 SIGHT TRIANGLE
- 6 STOP SIGN (R+1)
- 7 NO PARKING
- 8 FIRE LANE SIGN
- 9 SCREEN WALL
- 10 ACCENT WALL
- 11 BIKE RACK
- 12 MAIL BOX
- 13 BENCH
- 14 UMBRELLA TABLE
- 15 SHADE PAVILION
- 16 PICNIC TABLE
- 17 OUTDOOR KITCHEN
- 18 PLAY STRUCTURE
- 19 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 20 ACCESSIBLE PARKING STRIPING (45° 4" YELLOW STRIPING @ 2' O.C.)
- 21 ACCESSIBLE PARKING SIGN
- 22 2x5 CROSSWALK STRIPING

**NOTES:**

1. ALL PROPOSED PUBLIC SIDEWALKS ARE 5' UNLESS OTHERWISE NOTED.
2. ALL PRIVATE WALKS TO SFD AND SFA ARE 4'.
3. ALL PROPOSED CURB & GUTTER IS 6" VERTICAL.
4. PLEASE SEE BUILDING AND LOT TYPICALS FOR CRITICAL PARAMETERS OF BUILDING FOOTPRINTS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PER THE FUTURE HOME BUYER.
5. UPLANDS HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF PARKS.
6. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC. EXITS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 20' IN HEIGHT.



**UPLANDS FILING NO. 1**  
**BLOCK 7**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024

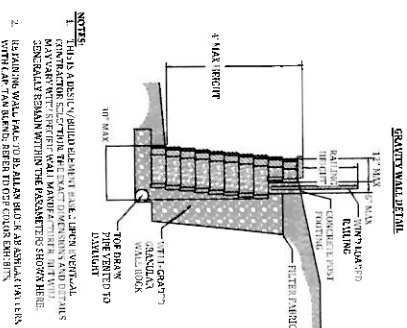


OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

**REVISIONS**

- SUB02: 03/07/24
- SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN  
 UNDS - FILING NO. 1 - BLOCK  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 20 OF 107

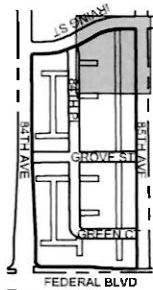
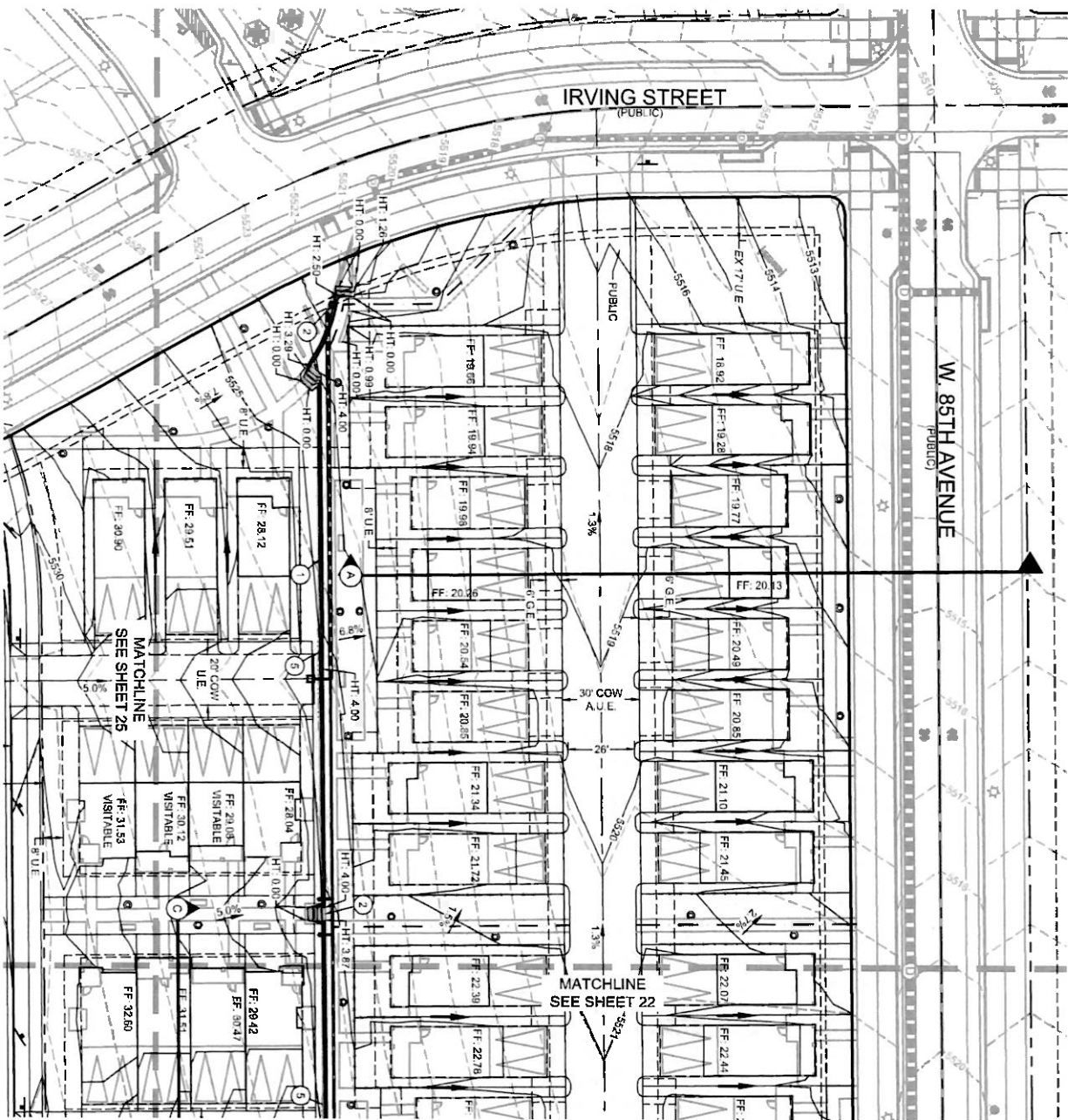


2. REMAINING WALL FAULT TO BE ALIAS BLDG. AS A STALL WALL RISE WITH CAP TAIL BOND, REFER TO OUR COLOR EXHIBITS.

[illegible]



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 21 OF 107



**LEGEND:**

- PROPERTY LINE
- LOT BOUNDARY
- RIGHT OF WAY
- 5560' PROPOSED MAJOR CONTOUR
- 5560' EXISTING MAJOR CONTOUR
- 5560' EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

**ABBREVIATIONS:**

- HT - HEIGHT OF WALL FROM BOTTOM
- AE - PUBLIC ACCESS EASEMENT
- COV - COW UTILITY EASEMENT
- COV - COW UTILITY EASEMENT
- GE - GAS EASEMENT
- UE - UTILITY EASEMENT

**KEYNOTE LEGEND:**

- 1 VARIABLE HEIGHT WISE WALL (SEE DETAIL ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK RAMP
- 4 SIDEWALK CHASE
- 5 WALL RAILING

**NOTES:**

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30' IN HEIGHT.
2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED.
3. SEE SHEET 28 - 31 FOR DETAILED PARK GRADING.



**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

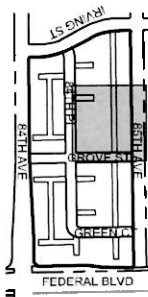
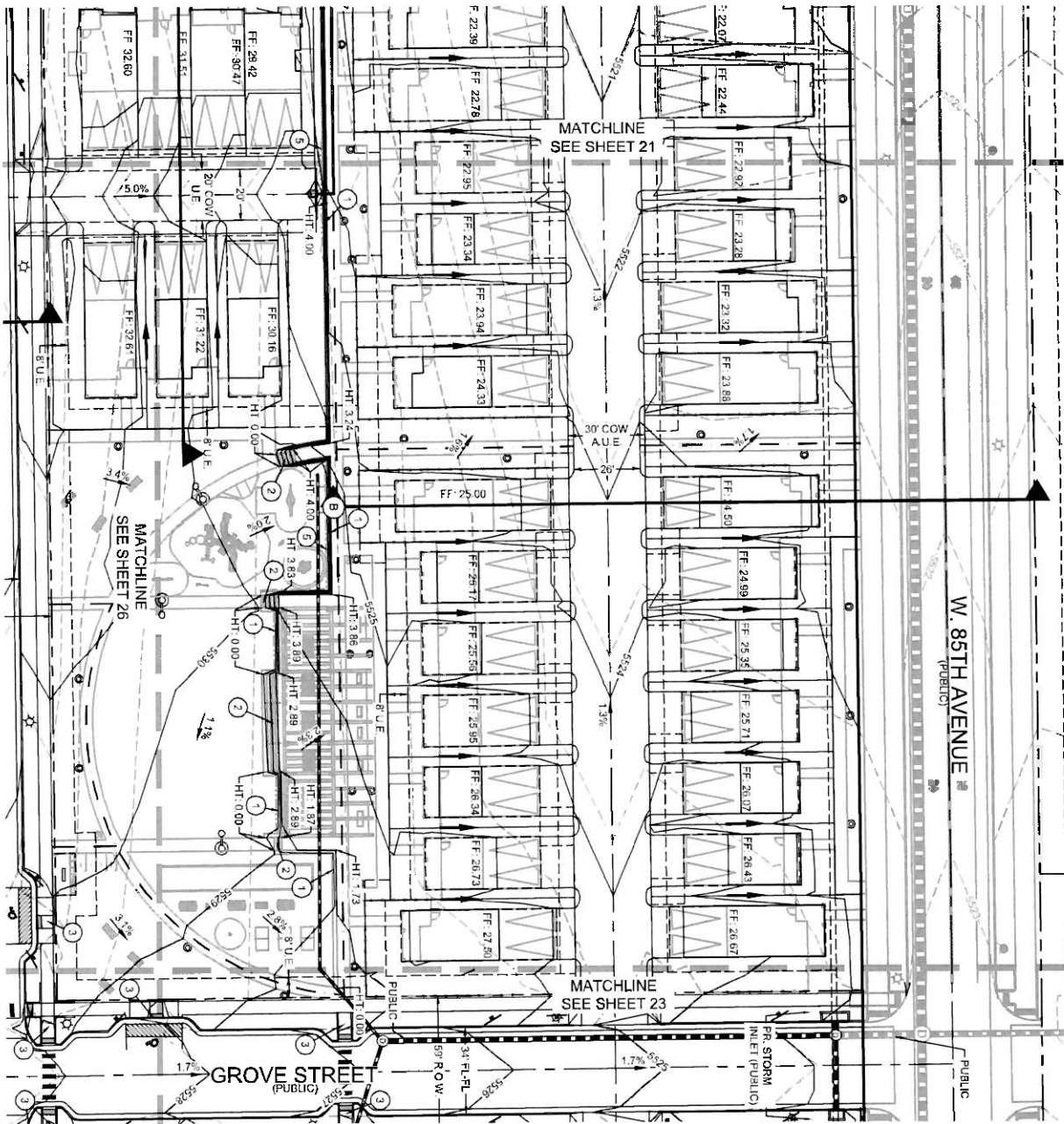
**REVISIONS**

SUB02: 03/07/24  
 SUB03: 05/02/24

21 OF 107  
 GRADING PLAN

# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 22 OF 107

W. 85TH AVENUE  
 (PUBLIC)



## LEGEND:

- PROPERTY LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

## ABBREVIATIONS:

- HT - HEIGHT OF WALL FROM BOTTOM
- AE - PUBLIC ACCESS EASEMENT
- COV A - COV UTILITY EASEMENT
- COV U.E. - COV UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

## KEYNOTE LEGEND:

- 1. VARIABLE HEIGHT WISE WALL (SEE DETAIL ON SHEET 20)
- 2. STAIRS
- 3. SIDEWALK RAMPS
- 4. SIDEWALK CHASE
- 5. WALL RAILING

## NOTES:

- SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT. SEWER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED. SEE SHEET 23-3 FOR DETAILED PARK GRADING.



UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

UPLANDS

DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

## REVISIONS

SUB02: 03/07/24  
 SUB03: 05/02/24

22 OF 107  
 GRADING PLAN



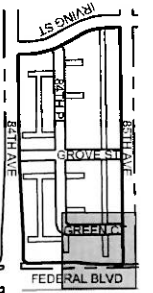
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 23 OF 107



DATE: 05.02.2024

23 OF 107

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 24 OF 107



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

**ABBREVIATIONS:**

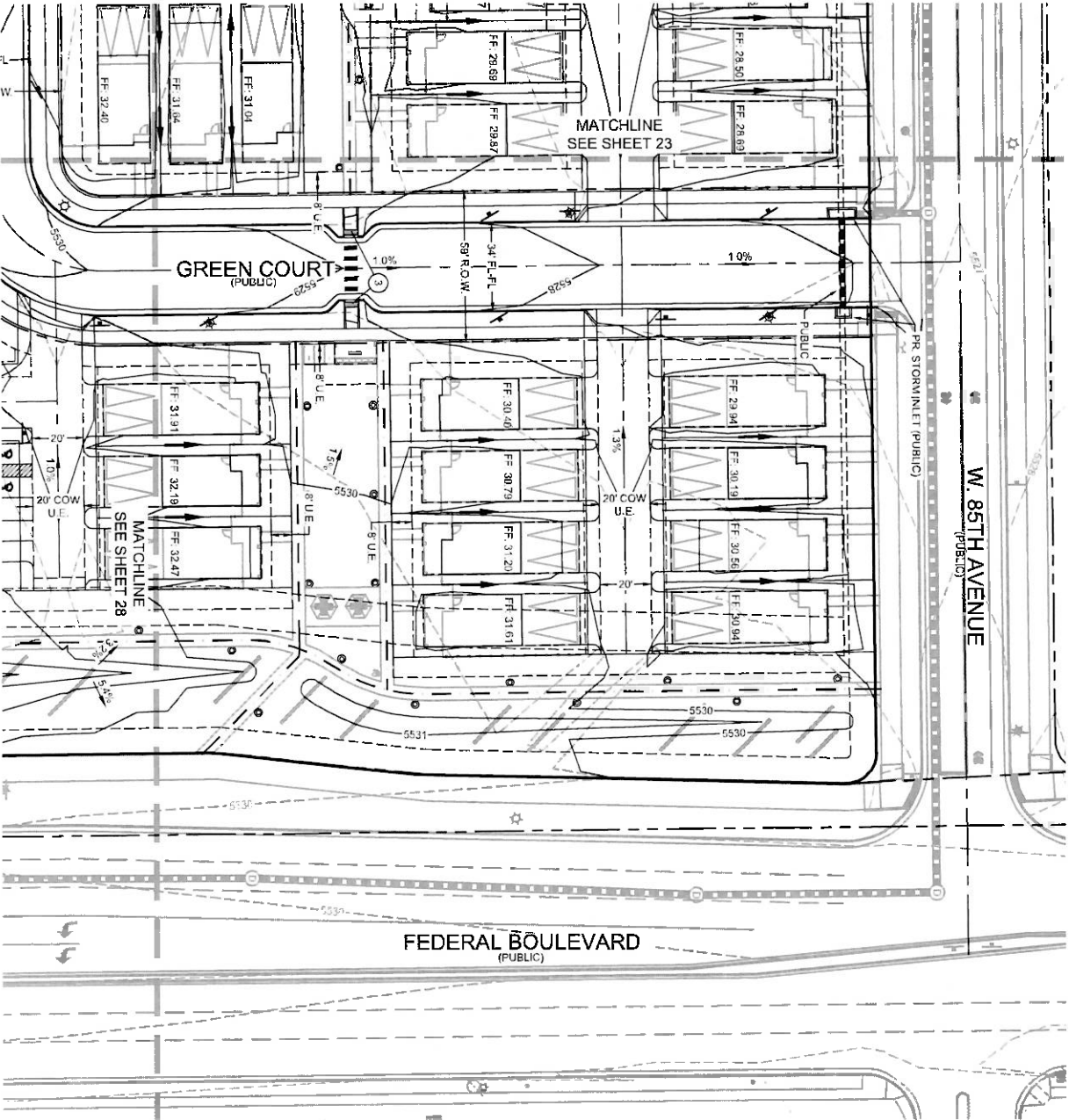
- H1 - HEIGHT OF WALL FROM BOTTOM
- A.E. - PUBLIC ACCESS EASEMENT
- COV A - COM. UTILITY EASEMENT
- COV U.E. - COM. UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

**KEYNOTE LEGEND:**

- ① VARIABLE HEIGHT W/SE WALL (SEE DETAIL, ON SHEET 20)
- ② STAIRS
- ③ SIDEWALK RAMP
- ④ SIDEWALK CHASE
- ⑤ WALL RAILING

**NOTES:**

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. HEIGHT FROM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED.
3. SEE SHEET 29-31 FOR DETAILED PARK GRADING.



OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

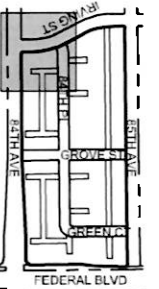
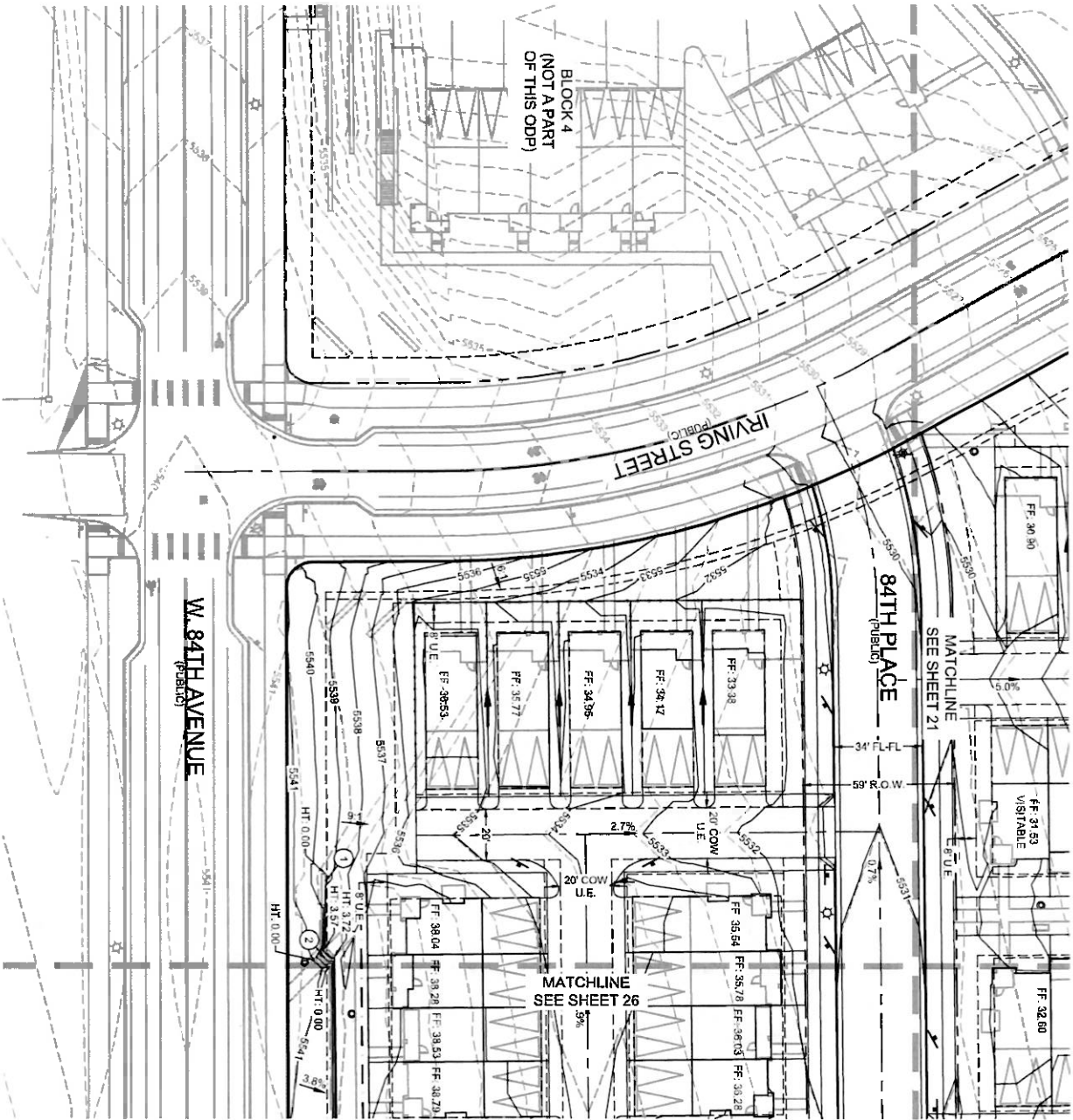
**UPLANDS**

DATE: 05.02.2024



24 OF 107  
 GRADING PLAN

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 25 OF 107



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

**ABBREVIATIONS:**

- HT - HEIGHT MEASURED FROM BOTTOM
- HT - HEIGHT MEASURED FROM TOP
- COW A.U.E. - PUBLIC ACCESS & UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

**KEYNOTE LEGEND:**

- ① VARIABLE HEIGHT INSE WALL (SEE DETAIL ON SHEET 20)
- ② STAIRS
- ③ SIDEWALK RAMPS
- ④ SIDEWALK CHASE
- ⑤ WALL RAILING

**NOTES:**

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENSIONS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STAIRS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND A.S.D. UNLESS OTHERWISE NOTED.
3. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO



DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

**REVISIONS**

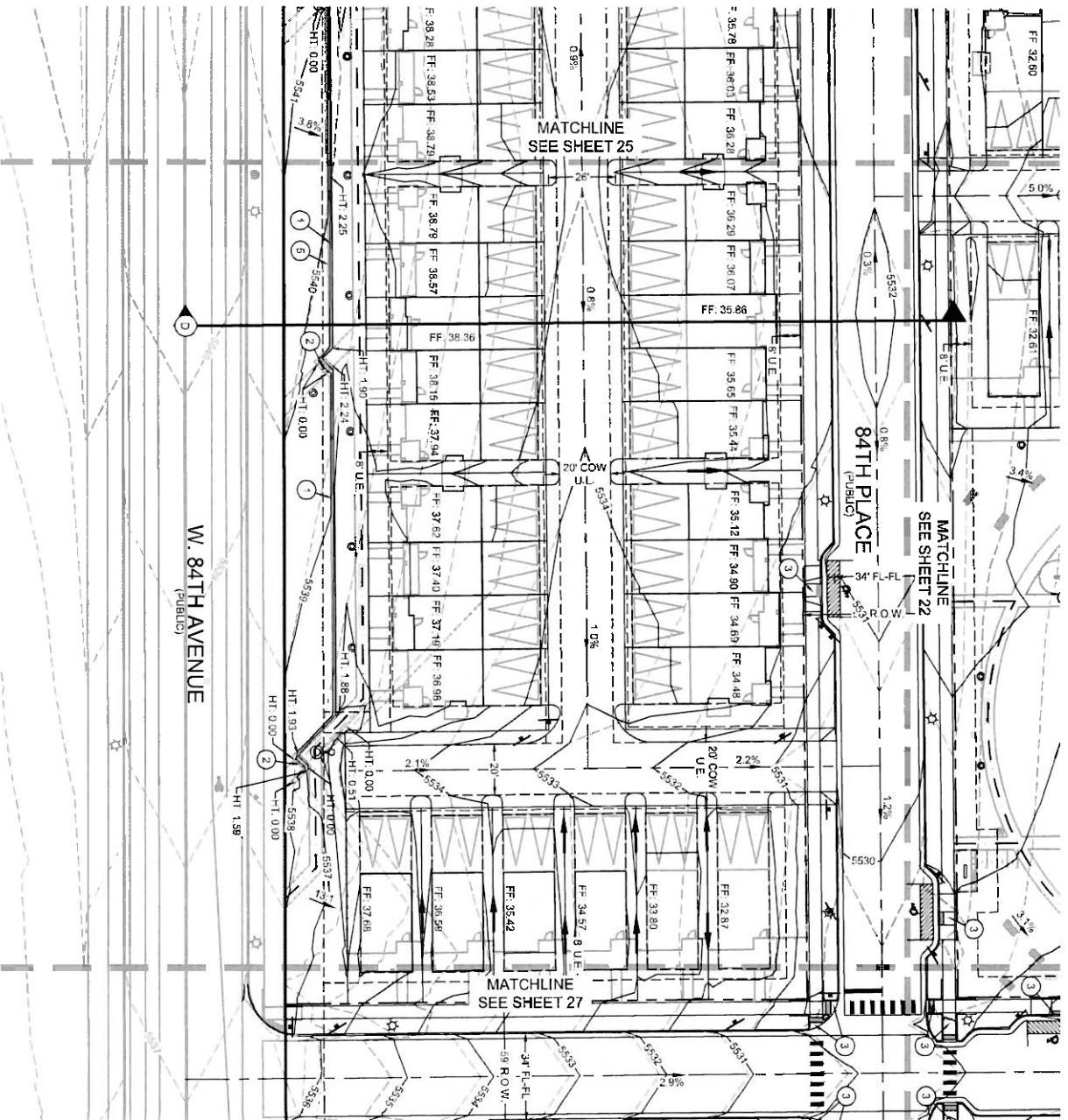
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| SUB02: 03/07/24 |
| SUB03: 05/02/24 |

25 OF 107  
 GRADING PLAN

## UPLANDS

**UPLANDS FILING NO. 1**  
**BLOCK 7**  
*OFFICIAL DEVELOPMENT PLAN*  
*WESTMINSTER, COLORADO*

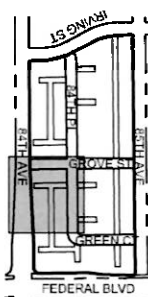
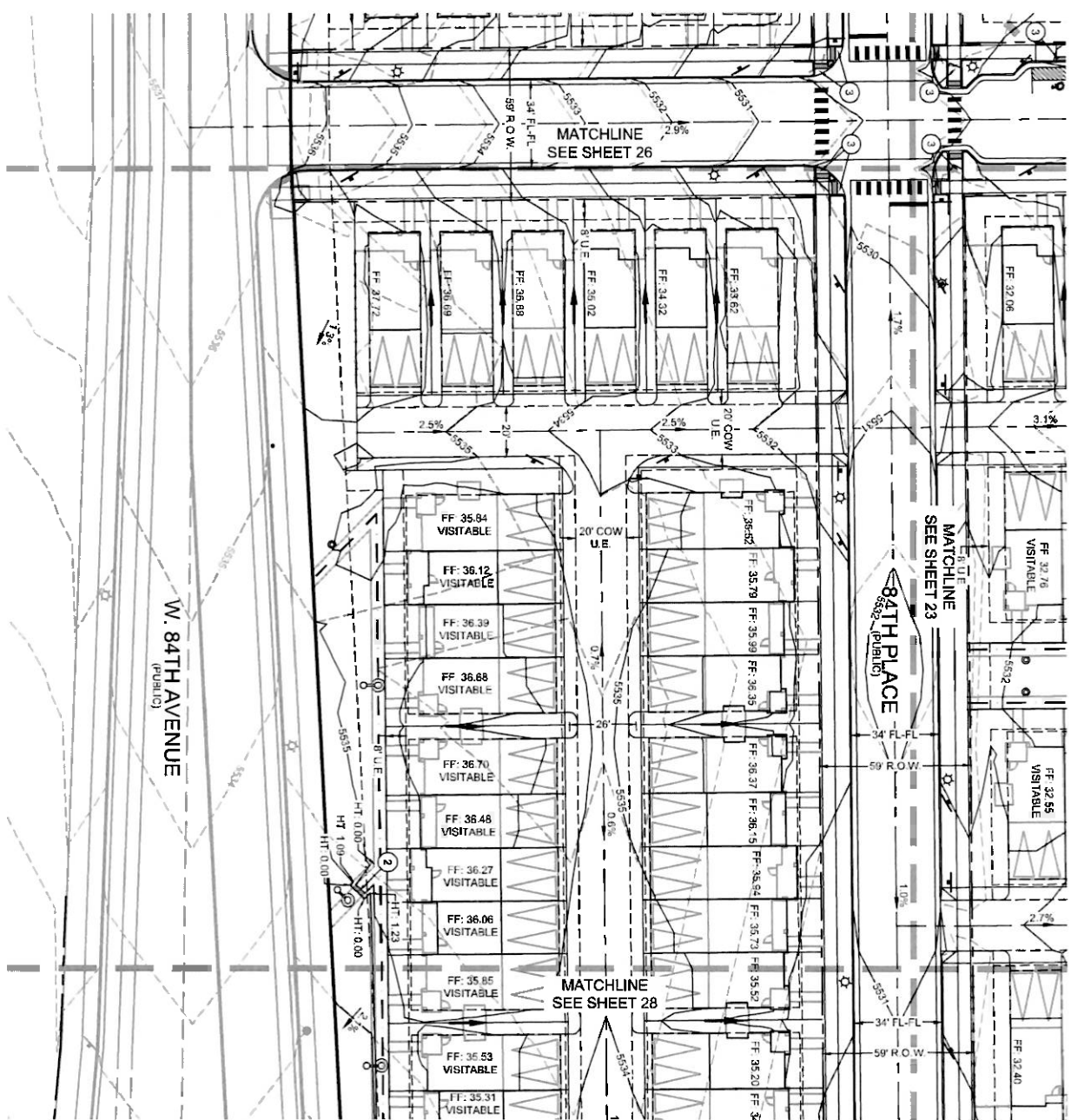
**26 OF 107**  
GRADING PLAN



1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE. UNLESS OTHERWISE NOTED, SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 27 OF 107



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SHALE
- WALL RAILING

**ABBREVIATIONS:**

- HT - HEIGHT OF WALL FROM BOTTOM
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

**KEYNOTE LEGEND:**

- 1 VARIABLE HEIGHT MISC WALL (SEE DETAIL ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK RAMPS
- 4 SIDEWALK CHASE
- 5 WALL RAILING

**NOTES:**

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STORM SEWERS INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



**UPLANDS**

DATE: 05.02.2024



**UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

**REVISIONS**

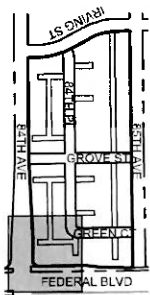
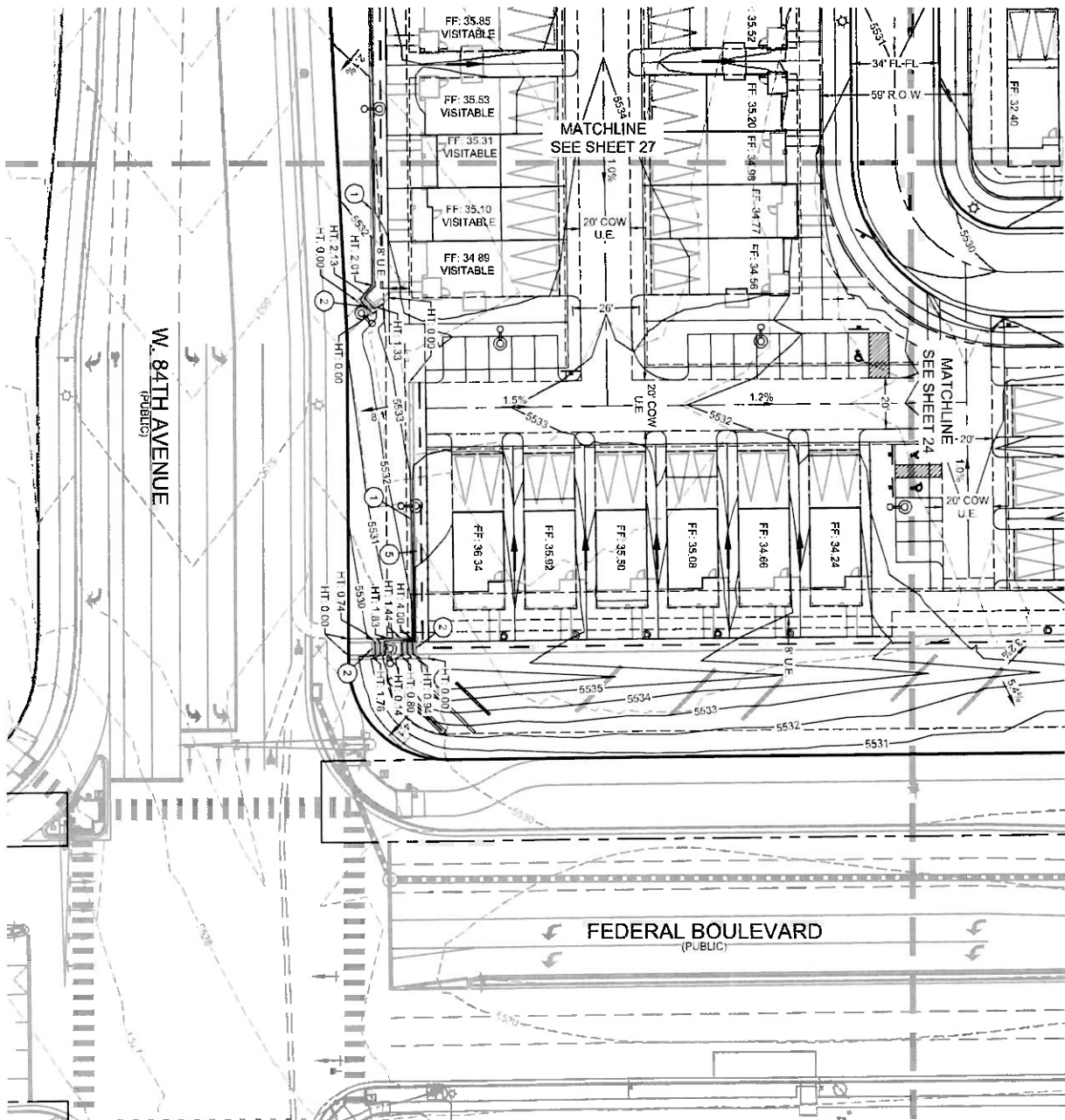
SUB02: 03/07/24
SUB03: 05/02/24

27 OF 107  
 GRADING PLAN



# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7

A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 28 OF 107



## LEGEND:

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED DRAINAGE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

## ABBREVIATIONS:

- H.T. - HEIGHT OF WALL FROM BOTTOM
- A.E. - PUBLIC ACCESS EASEMENT
- COW A.U.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.T.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

## KEYNOTE LEGEND:

- 1. VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
- 2. STAIRS
- 3. SIDEWALK RAMP
- 4. SIDEWALK CHASE
- 5. WALL RAILING

## NOTES:

- SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
- ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.



OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	
28 OF 107	GRADING PLAN

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

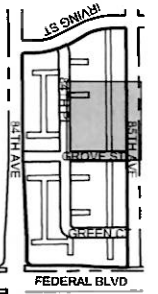
UPLANDS

DATE: 05.02.2024





OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 29 OF 107



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- 5500'
- PROPOSED MINOR CONTOUR
- 7500'
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- SEWER
- WATER
- STORM
- WALL RAILING

**ABBREVIATIONS:**

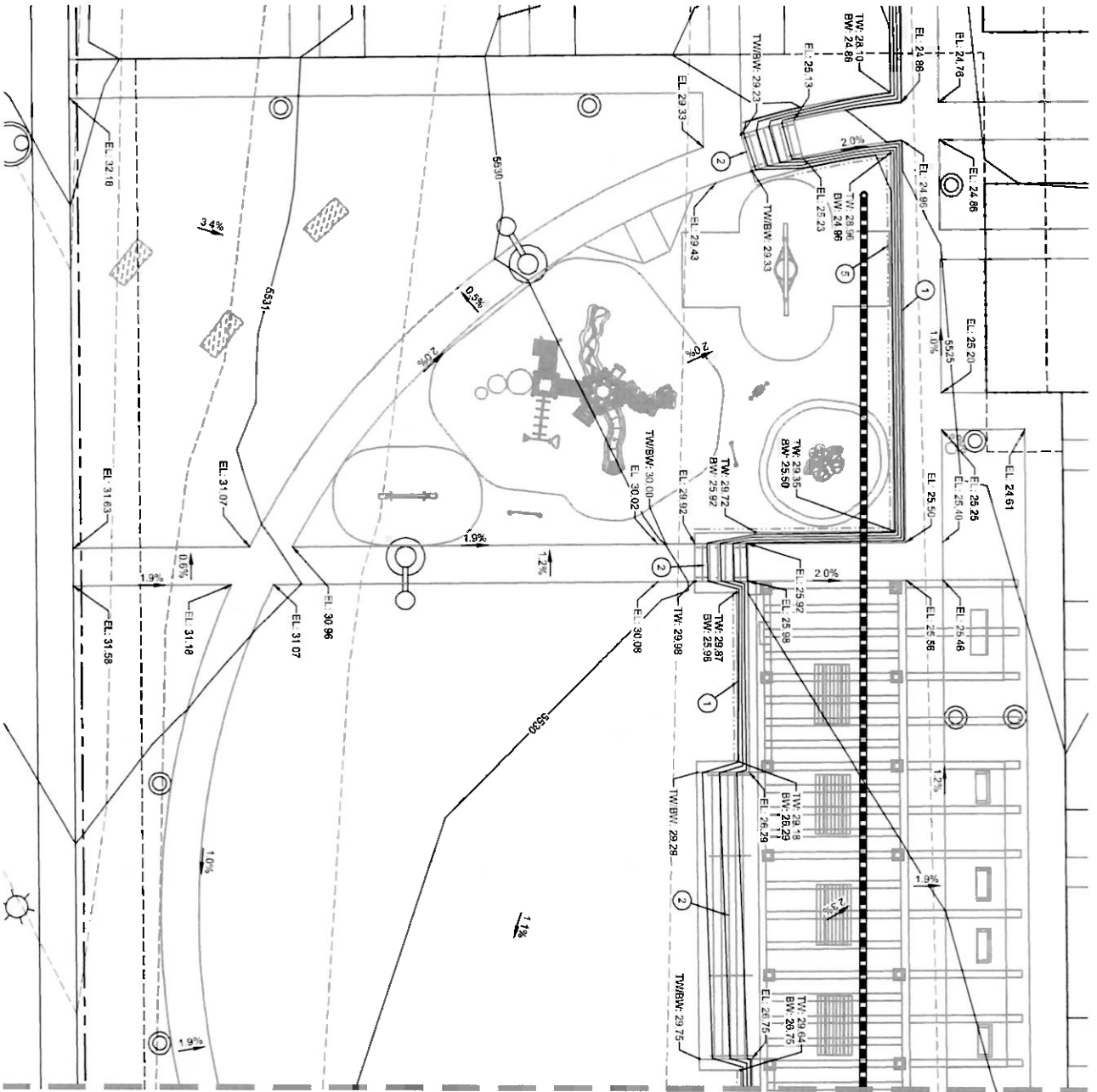
- HT - HEIGHT OF WALL FROM BOTTOM
- AE - PUBLIC ACCESS EASEMENT
- COV ALE - PUBLIC ACCESS & COV UTILITY EASEMENT
- COV ULE - COV UTILITY EASEMENT
- GE - GAS EASEMENT
- UE - UTILITY EASEMENT

**KEYNOTE LEGEND:**

- 1 VARIABLE HEIGHT BASE WALL (SEE DETAIL ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK RAMPS
- 4 SIDEWALK CHASE
- 5 WALL RAILING

**NOTES:**

1. SEE SITE PLAN FOR APPROXIMATE BUILDING LOCATIONS. EXACT BUILDING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. ALL STORM SEWER INFRASTRUCTURE IS PRIVATE, UNLESS OTHERWISE NOTED. SEE SHEET 29 - 31 FOR DETAILED PARK GRADING.
- 3.



MATCHLINE  
 SEE SHEET 30



29 OF 107 DETAILED GRADING PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

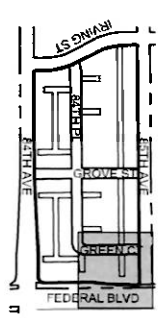
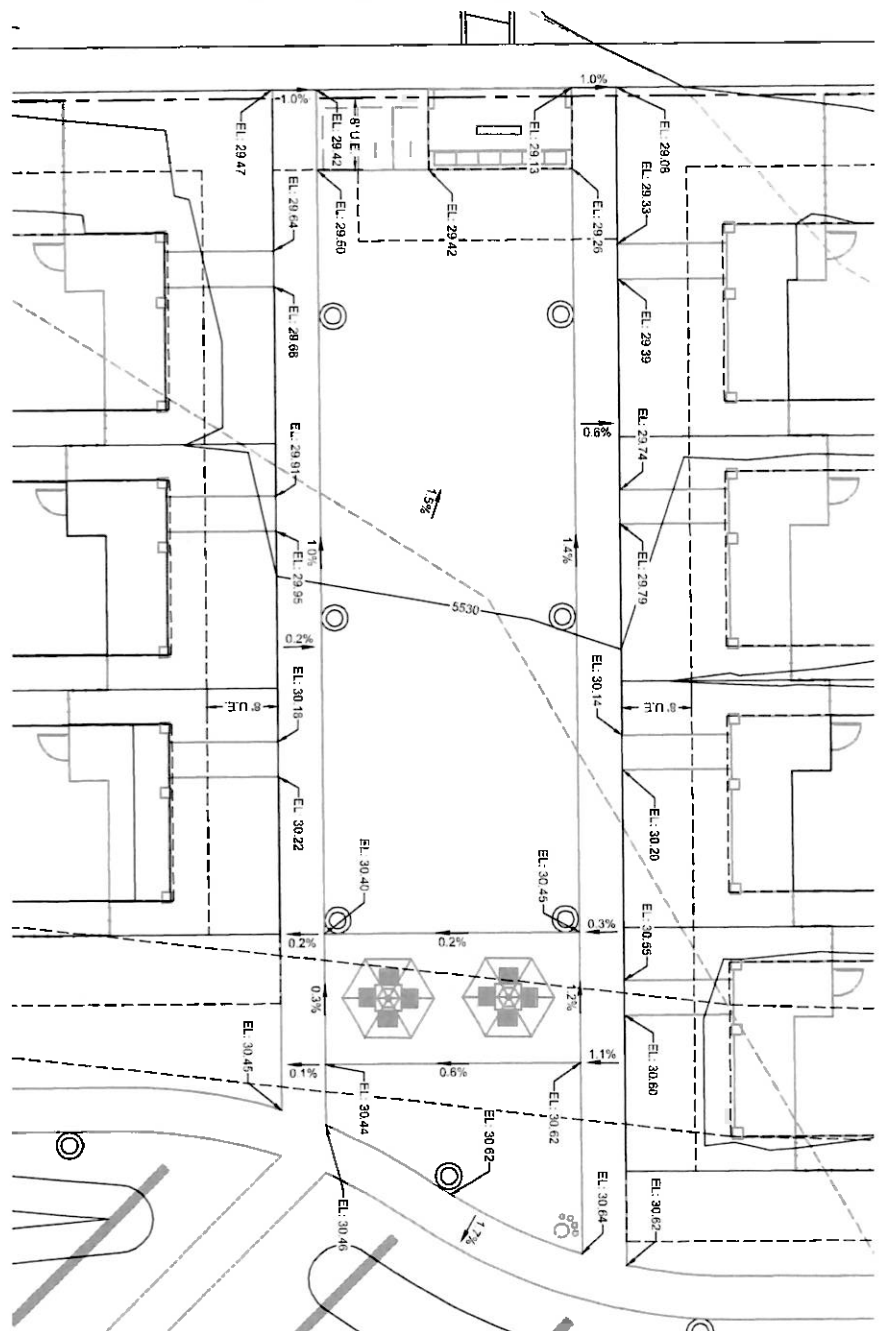
DATE: 05.02.2024



# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 30 OF 107

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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 31 OF 107



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ACCESSIBLE ROUTE
- DRAINAGE ARROW
- SWALE
- WALL RAILING

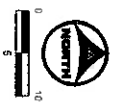
- ABBREVIATIONS:**
- U.E. - UTILITY EASEMENT
  - COV U.E. - COV UTILITY EASEMENT
  - G.E. - GAS EASEMENT
  - COV G.E. - COV GAS EASEMENT
  - COV U.E. - COV UTILITY EASEMENT
  - COV G.E. - COV GAS EASEMENT

**KEYNOTE LEGEND:**

- 1 VARIABLE HEIGHT MISE WALL (SEE DETAIL ON SHEET 20)
- 2 STAIRS
- 3 SIDEWALK RAMP
- 4 SIDEWALK CHASE
- 5 WALL RAILING

**NOTES:**

1. SEE SITE PLAN FOR APPROXIMATE RAILING LOCATIONS. EXACT RAILING LOCATIONS AND EXTENTS MAY BE ADJUSTED TO ENSURE THAT THEY ARE PROVIDED ON ALL WALLS OVER 30" IN HEIGHT.
2. PRIVATE UTILITY EASEMENTS ARE NOTED ON SHEET 29-31 FOR DETAILED PARK GRADING.



31 OF 107 DETAILED GRADING PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

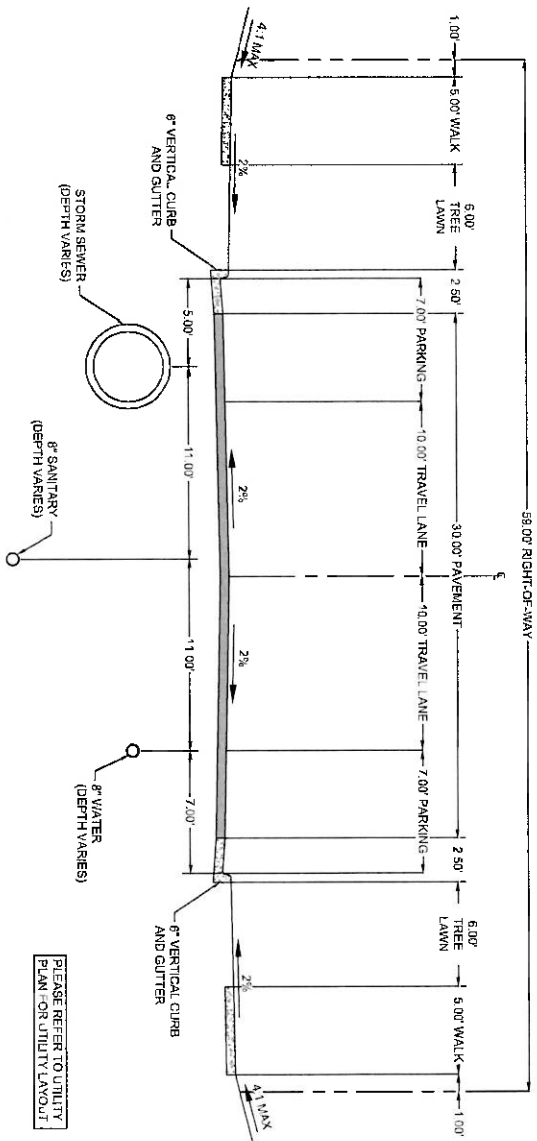
**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO



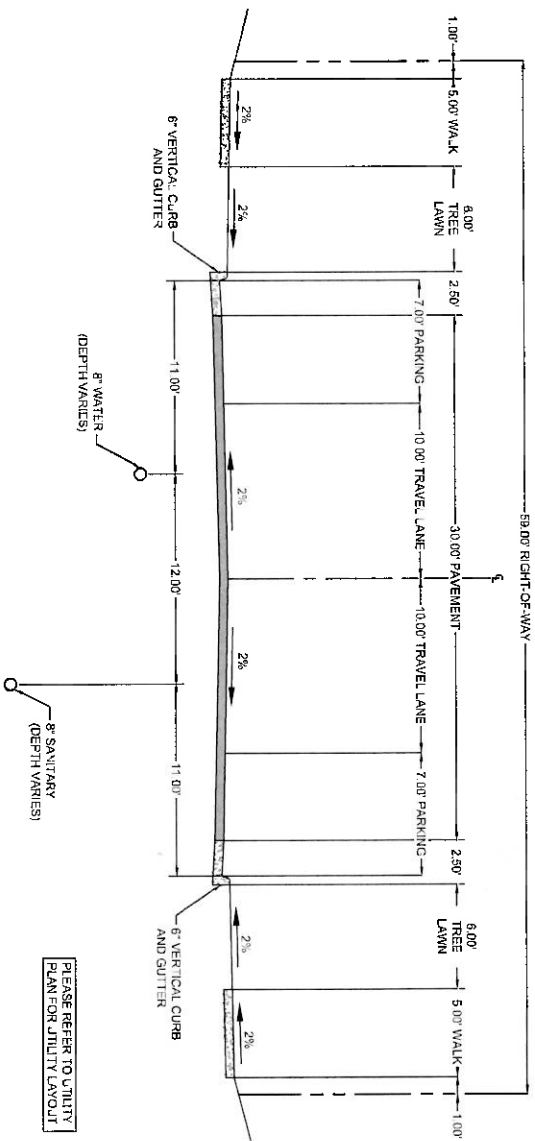
DATE: 05.02.2024



# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 32 OF 107



LOCAL W/ DETACHED WALK - 3 UTILITIES  
 W/ PARKING (58' ROW)



LOCAL W/ DETACHED WALK  
 W/ PARKING (59' ROW)

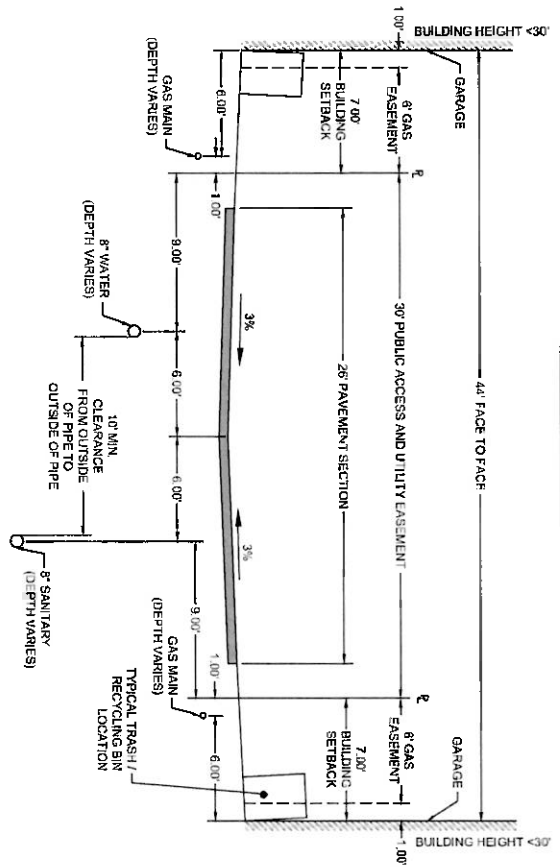
PLEASE REFER TO UTILITY  
 PLAN FOR UTILITY LAYOUT

PLEASE REFER TO UTILITY  
 PLAN FOR UTILITY LAYOUT

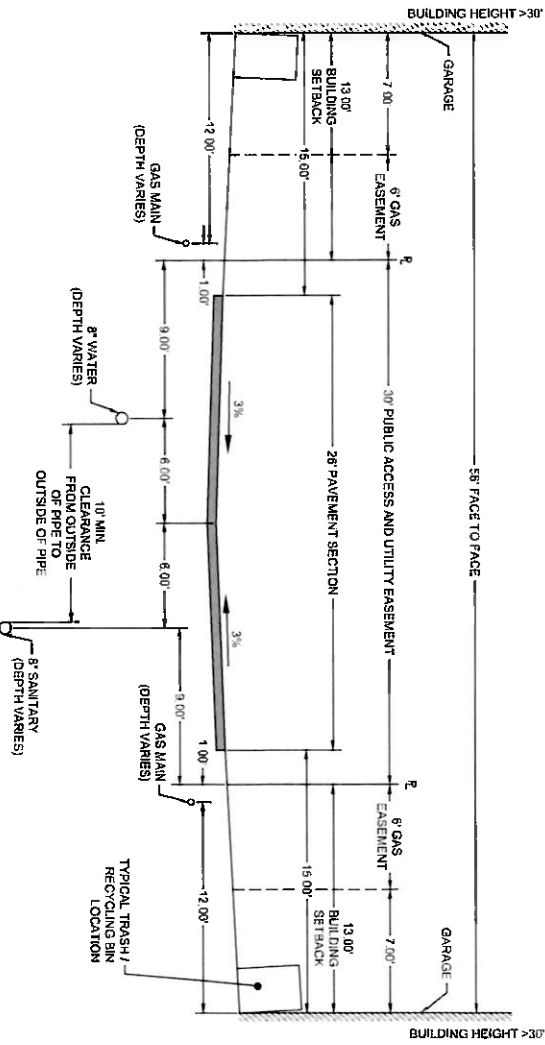
# UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 33 OF 107

## TWO UTILITIES



## 30' ALLEY SECTION (NO PARKING, FIRE ACCESS)



## 30' ALLEY SECTION (NO PARKING, FIRE ACCESS)

33 OF 107 TYPICAL STREET SECTIONS	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
	REVISIONS	
	SUB02: 03/07/24	
	SUB03: 05/02/24	

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

UPLANDS

DATE: 05.02.2024

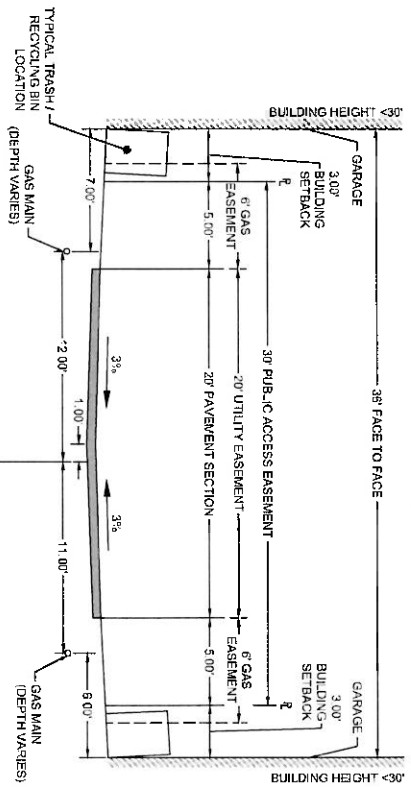




# UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 34 OF 107

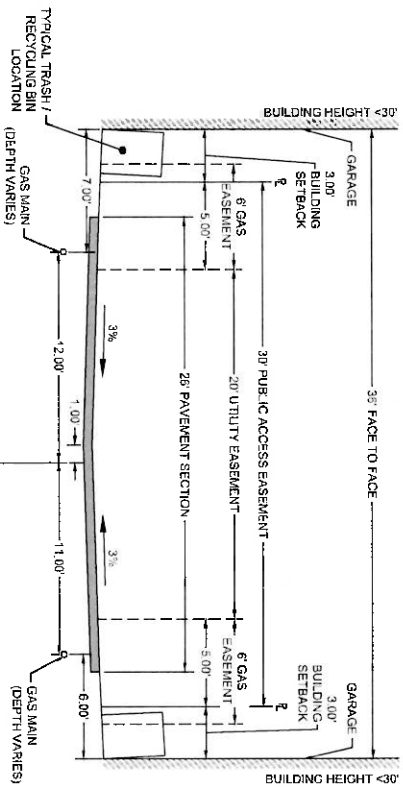
## ONE UTILITY



8" SANITARY (DEPTH VARIES)

PLEASE REFER TO UTILITY PLAN FOR UTILITY LAYOUT

## 30' ALLEY SECTION (NO PARKING, NO FIRE ACCESS)



8" SANITARY (DEPTH VARIES)

PLEASE REFER TO UTILITY PLAN FOR UTILITY LAYOUT

## 30' ALLEY SECTION (NO PARKING, FIRE ACCESS)



UPLANDS

DATE: 05.02.2024

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023

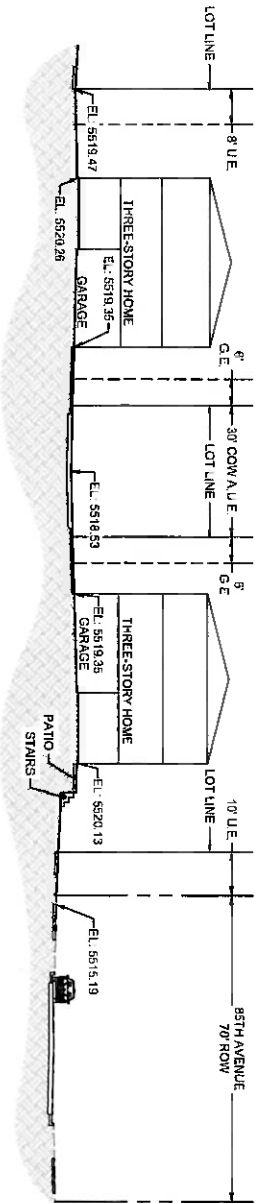
### REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

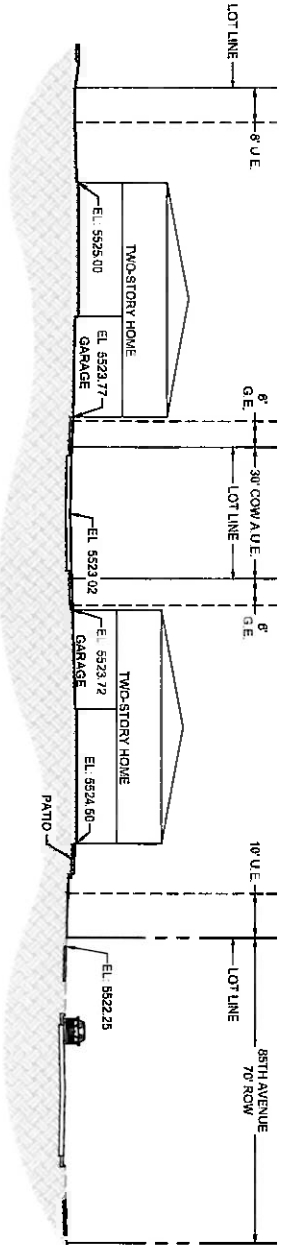
34 OF 107

TYPICAL STREET SECTIONS

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 35 OF 107



**SECTION A-A**  
 SCALE: 1" = 20'



**SECTION B-B**  
 SCALE: 1" = 20'



DATE: 05.02.2024



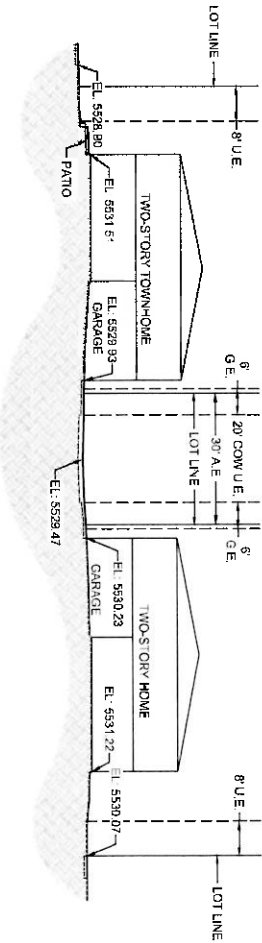
**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

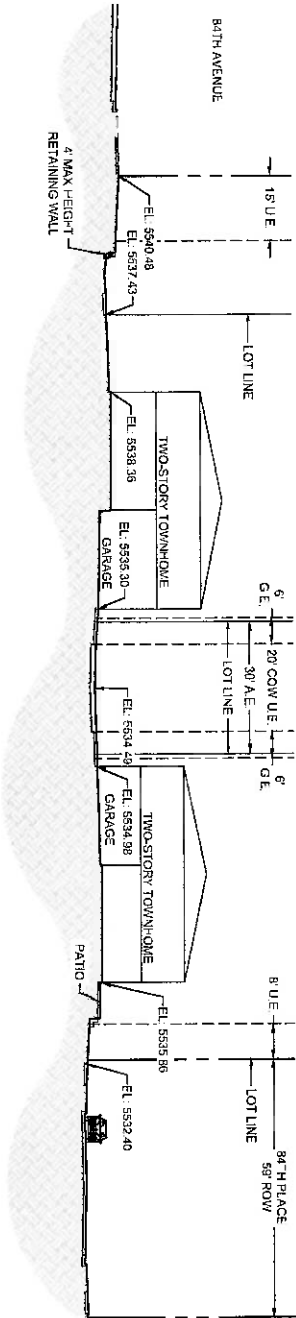
**REVISIONS**

SUB02: 03/07/24  
 SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 36 OF 107



**SECTION C-C**  
 SCALE: 1" = 20'



**SECTION D-D**  
 SCALE: 1" = 20'



**UPLANDS**

DATE: 05.02.2024

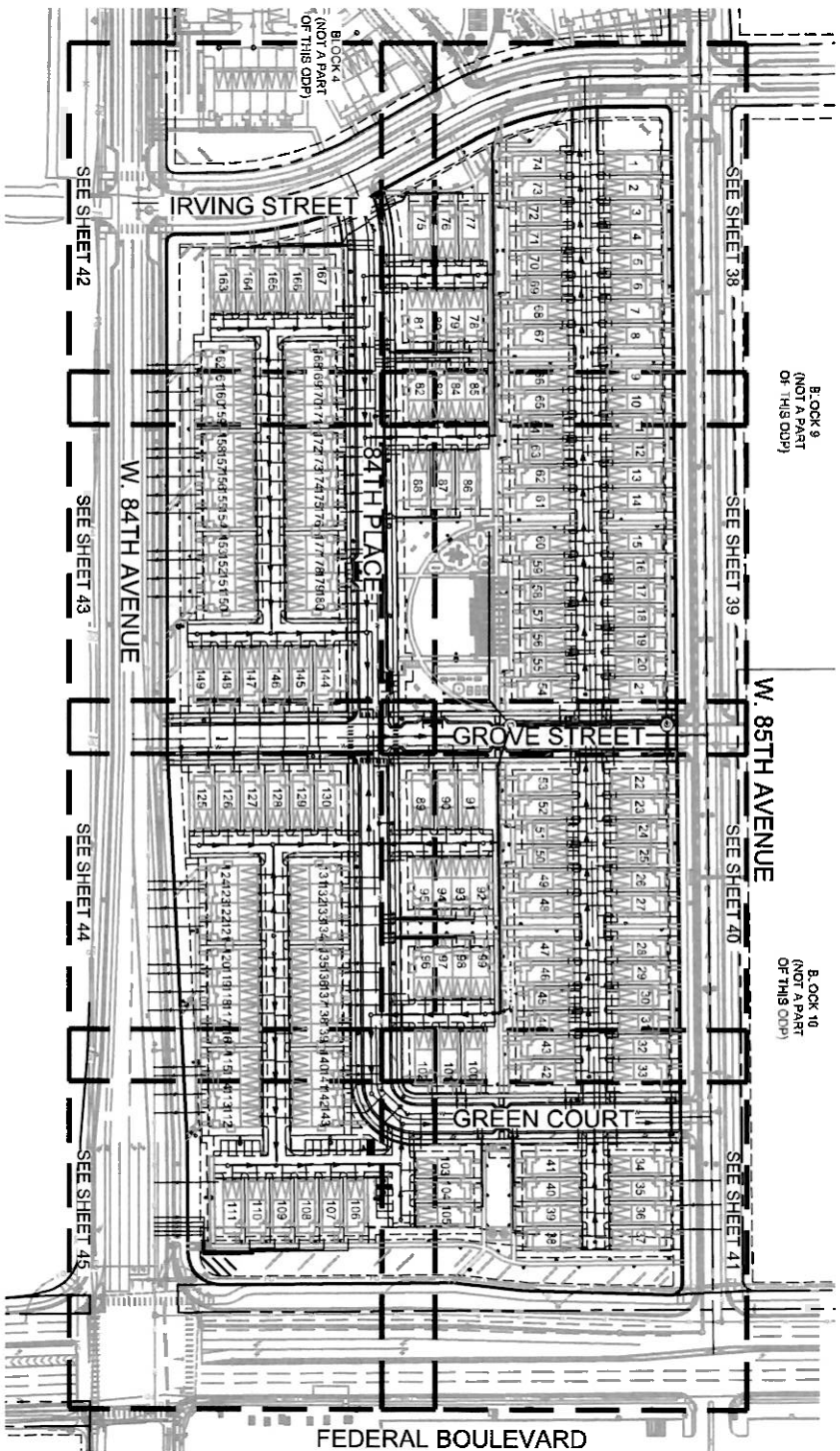
**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

**REVISIONS**

SUB02: 03/07/24  
 SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 37 OF 107



BLOCK 9  
(NOT A PART  
OF THIS DDP)

BLOCK 10  
(NOT A PART  
OF THIS DDP)

BLOCK 4  
(NOT A PART  
OF THIS DDP)

FEDERAL BOULEVARD

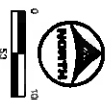
IRVING STREET

W. 84TH AVENUE

W. 85TH AVENUE

GREEN COURT

84TH PLACE



OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24  
 SUB03: 05/02/24

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024



ND-PLANNING NO. 1-BL  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 38 OF 107

SHEET 38 OF 107



DATE: 05.02.2024



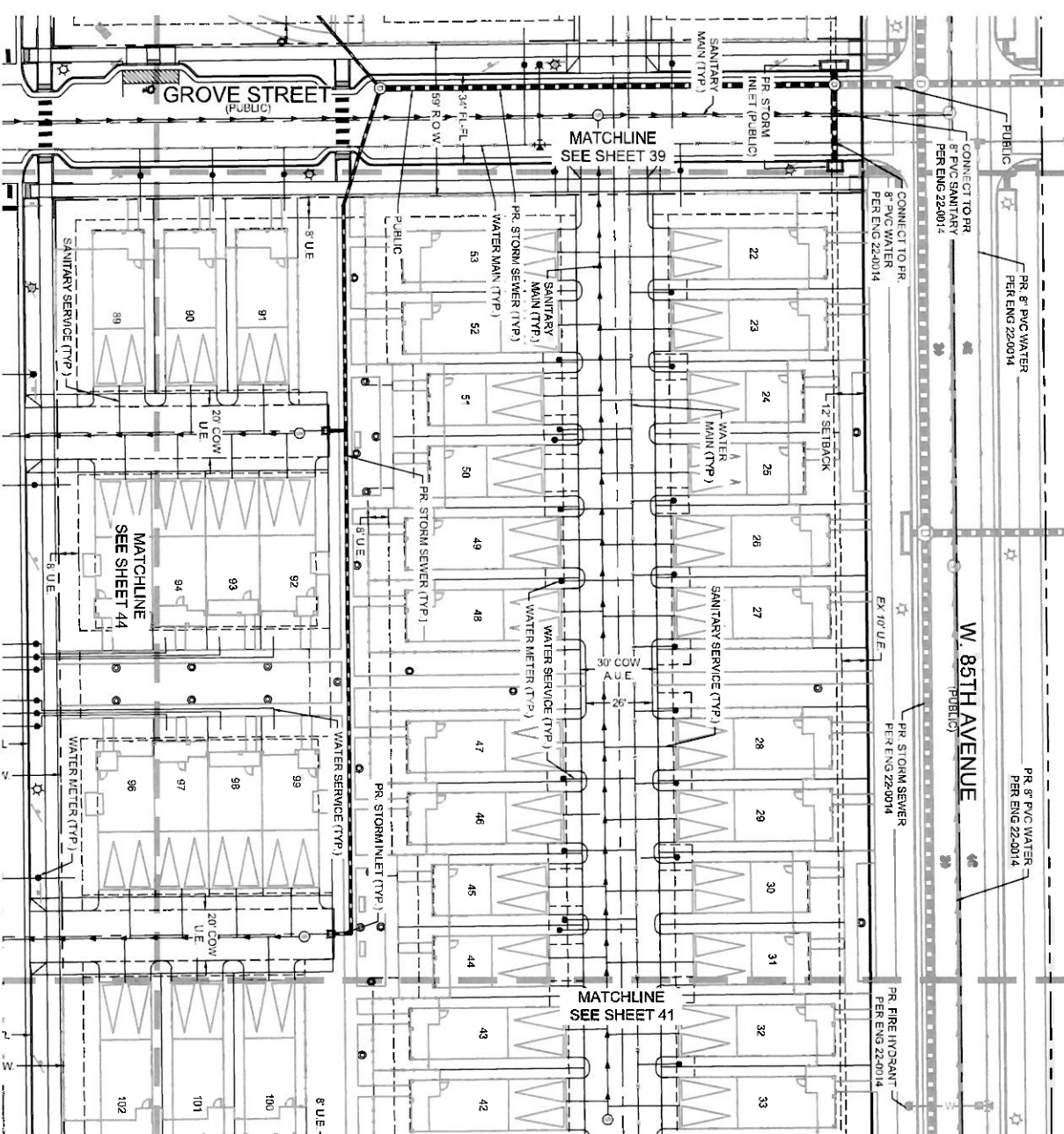
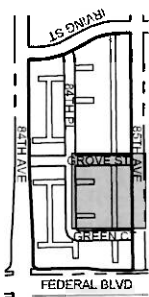
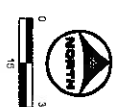
OTHERWISE NOTED.

38 OF 107  
UTILITY PLAN





# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 40 OF 107



## LEGEND:

- PROPERTY LINE
- LOT LINE
- PR. STORM MAIN
- PR. SANITARY MAIN
- PR. SANITARY MANHOLE
- EX. SANITARY MANHOLE
- PR. WATER LINE
- PR. WATER SERVICE & METER
- PR. FIRE HYDRANT
- EX. FIRE HYDRANT
- PR. FIRE HYDRANT
- PR. FIRE HYDRANT
- PR. STORM MANHOLE
- PR. STORM INLET
- EX. STORM SEWER
- EX. STORM MAN-OLE
- EX. STORM INLET
- PR. PRIVATE LIGHT POLE
- PR. PUBLIC LIGHT POLE
- PR. PUBLIC LIGHT POLE
- PER ENG 22-0014

## ABBREVIATIONS:

- A.E. - PUBLIC ACCESS EASEMENT
- COW AU.E. - PUBLIC ACCESS & COW UTILITY EASEMENT
- COW U.E. - COW UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

## NOTES:

1. ALL LIGHTS LOCATED IN ROW OR PUBLIC.
2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.

# UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO



DATE: 05.02.2024

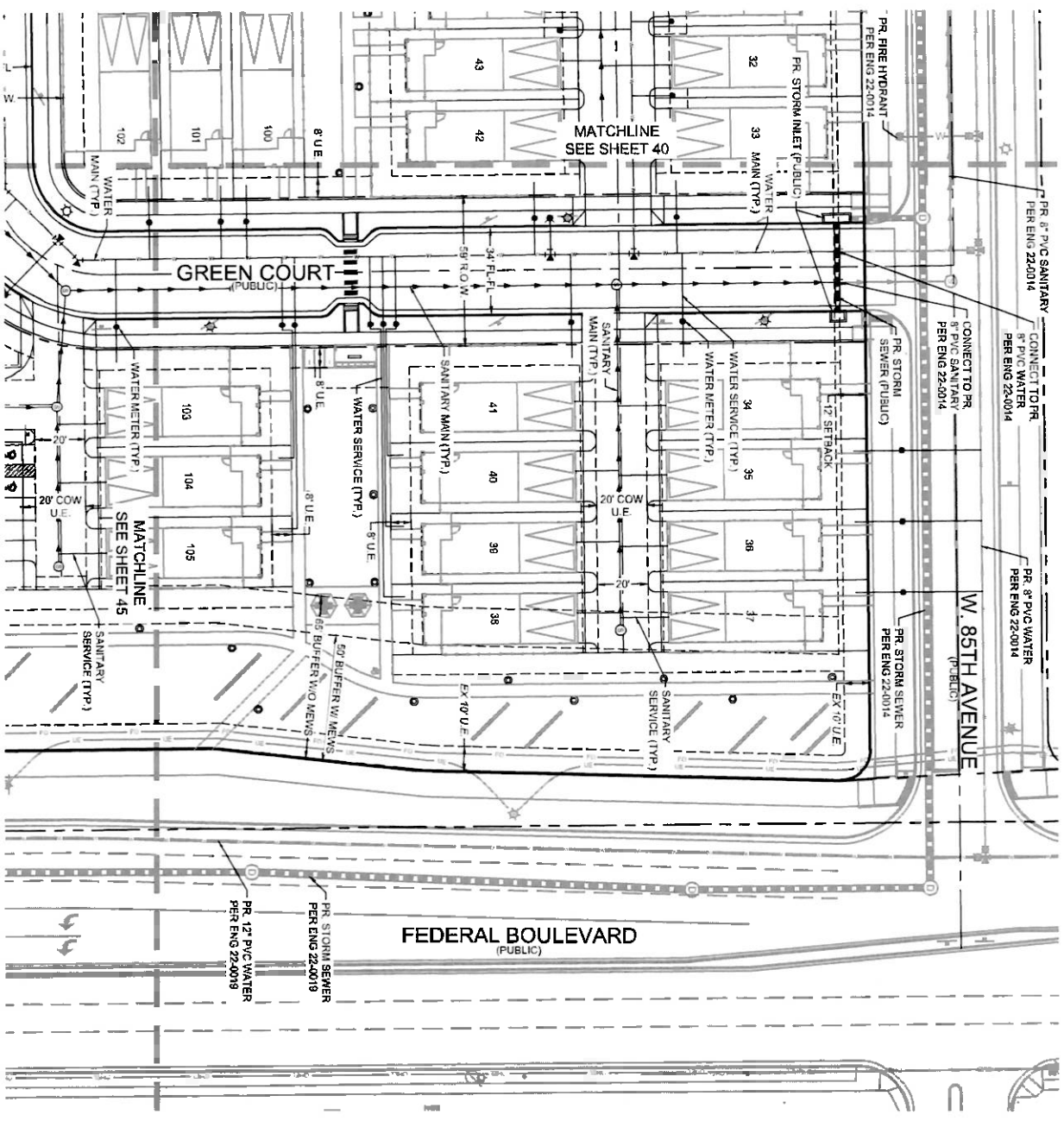
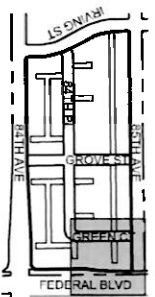


OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

## REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 41 OF 107



**LEGEND:**

- PROPERTY LINE
  - LOT LINE
  - RIGHT OF WAY
  - PR. SANITARY SEWER
  - PR. SANITARY MANHOLE
  - EX. SANITARY SEWER
  - EX. SANITARY MANHOLE
  - PR. WATER LINE
  - PR. WATER SERVICE A
  - METER
  - PR. FIRE HYDRANT
  - EX. WATER LINE
  - EX. FIRE HYDRANT
  - PR. STORM SEWER
  - PR. STORM MANHOLE
  - PR. STORM INLET
  - EX. STORM SEWER
  - EX. STORM MANHOLE
  - EX. STORM INLET
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  - PR. PUBLIC LIGHT POLE PER ENG 22-0014
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 COW U.E. - COW UTILITY EASEMENT  
 G.E. - GAS EASEMENT  
 U.E. - UTILITY EASEMENT
- NOTES:**  
 1. ALL LIGHTS LOCATED IN ROW OR PUBLIC ACCESS EASEMENT ARE PUBLIC. STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.

**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

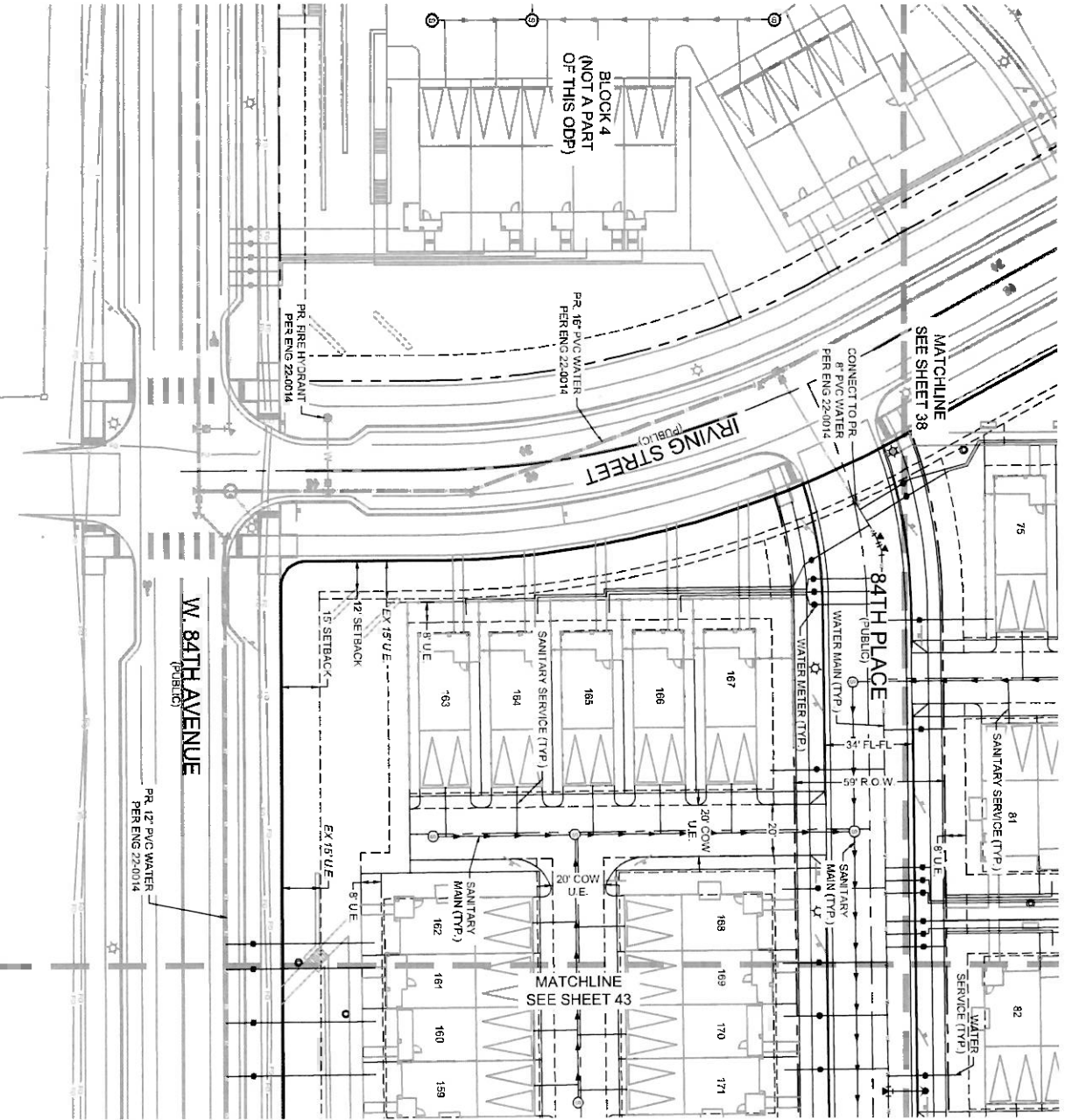
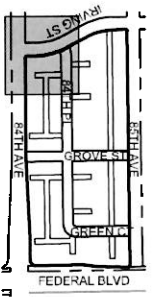


DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 42 OF 107

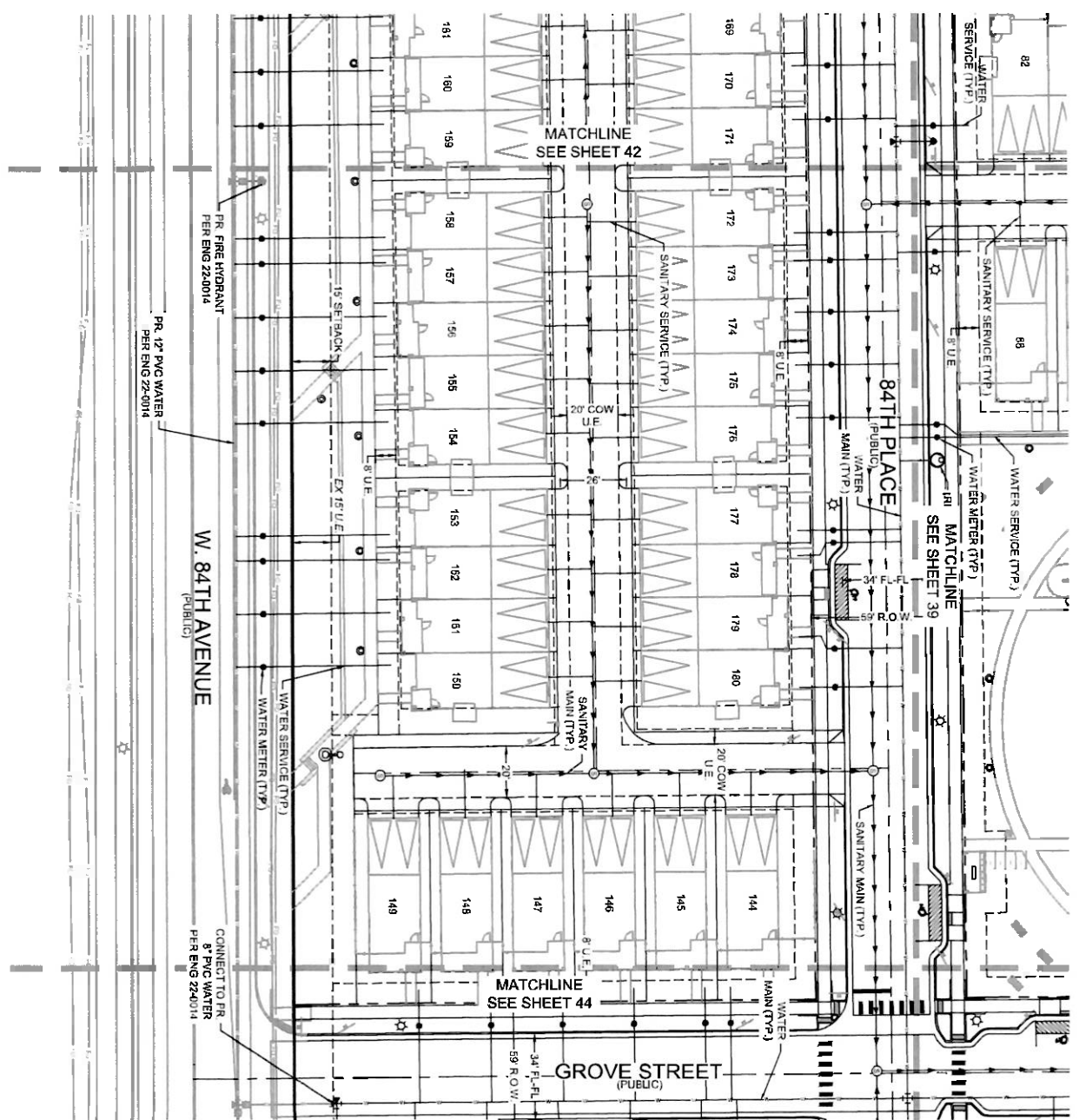
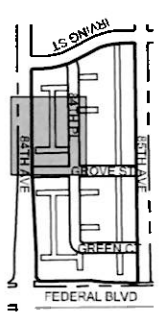


**LEGEND:**

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  - RIGHT OF WAY
  - PR SANITARY SEWER
  - PR SANITARY MANHOLE
  - EX SANITARY SEWER
  - EX SANITARY MANHOLE
  - PR WATER LINE
  - PR WATER SERVICE & METER
  - PR WATER HYDRANT
  - EX FIRE HYDRANT
  - PR STORM SEWER
  - PR STORM MANHOLE
  - EX STORM INLET
  - EX STORM SEWER
  - EX STORM MANHOLE
  - EX STORM INLET
  - PR PRIVATE LIGHT POLE
  - PR PUBLIC LIGHT POLE
  - PER ENG 22-0014
- ABBREVIATIONS:**
- A.E. - PUBLIC ACCESS EASEMENT
  - C.O.V. - PUBLIC ACCESS EASEMENT
  - C.O.V. - CONVEYANCE EASEMENT
  - C.O.V. - CONVEYANCE EASEMENT
  - U.E. - UTILITY EASEMENT
- NOTES:**
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  2. ALL STORM SEWERS IS PRIVATE UNLESS OTHERWISE NOTED.

42 OF 107 UTILITY PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	<h2 style="margin: 0;">UPLANDS FILING NO. 1 BLOCK 7</h2> <p style="margin: 0;">OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO</p>		DATE: 05.02.2024
	<b>REVISIONS</b>			
	SUB02: 03/07/24 SUB03: 05/02/24			

OFFICIAL DEVELOPMENT PLAN  
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 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 43 OF 107



**LEGEND:**

- PROPERTY LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- PR WATER LINE
- PR WATER SERVICE & METER
- PR FIRE HYDRANT
- EX WATER LINE
- EX FIRE HYDRANT
- PR STORM SEWER
- PR STORM MANHOLE
- EX STORM INLET
- EX STORM MANHOLE
- PR PRIVATE LIGHT POLE
- PR PUBLIC LIGHT POLE
- PR PUBLIC LIGHT POLE PER ENG 22-0074

**ABBREVIATIONS:**

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**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

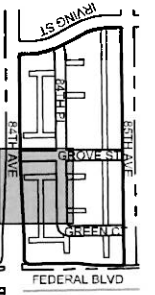
DATE: 05.02.2024



OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 44 OF 107



**LEGEND:**

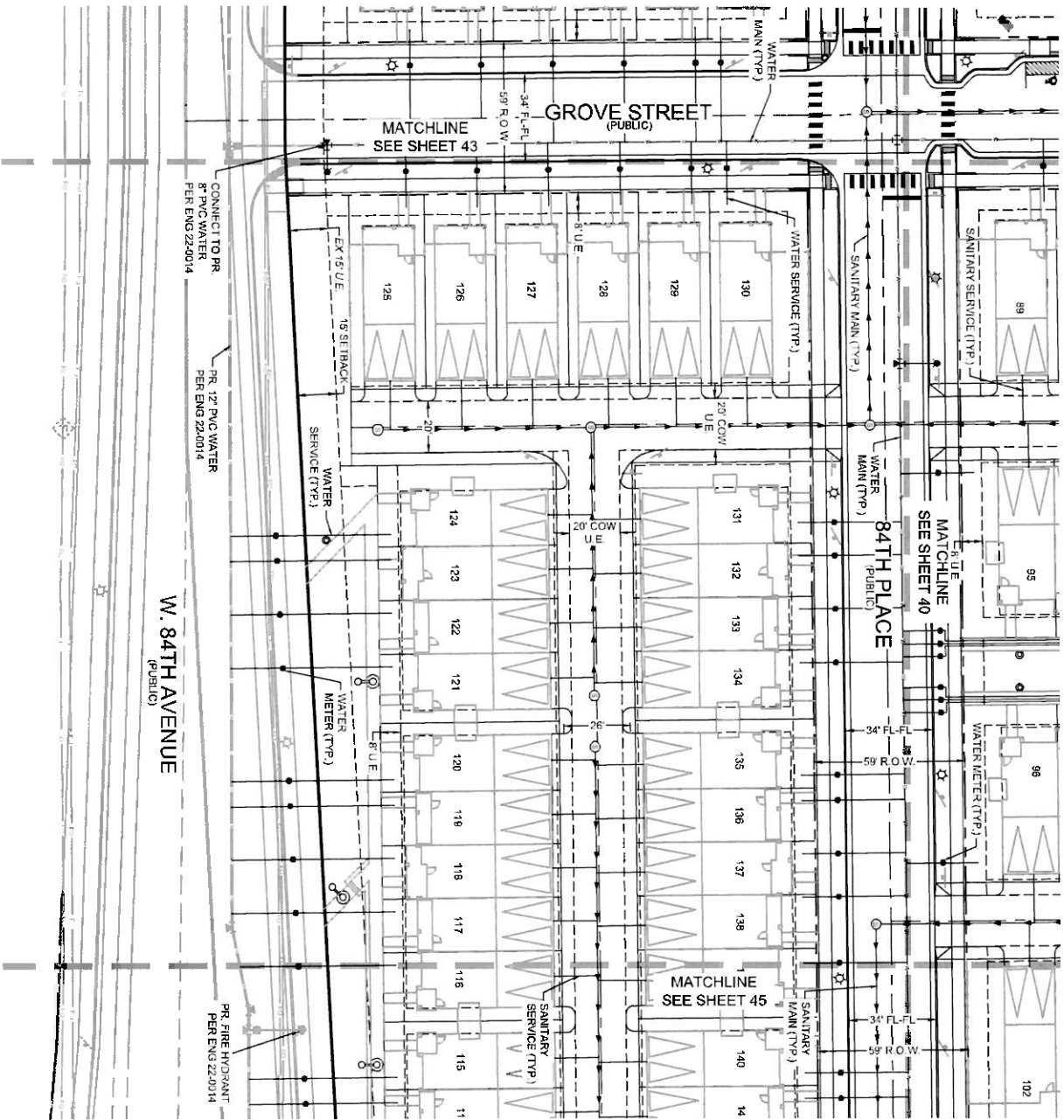
- PROPERTY LINE
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- EX STORM SEWER
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- PR PUBLIC LIGHT POLE PER ENG 22-0014

**ABBREVIATIONS:**

- A.E. - PUBLIC ACCESS EAST/ANT
- COW A.U.E. - PUBLIC ACCESS & COW U.E. - COV UTILITY EASEMENT
- G.E. - GAS EASEMENT
- U.E. - UTILITY EASEMENT

**NOTES:**

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**UPLANDS FILING NO. 1  
 BLOCK 7**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024

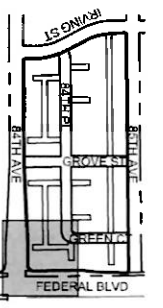


OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 45 OF 107

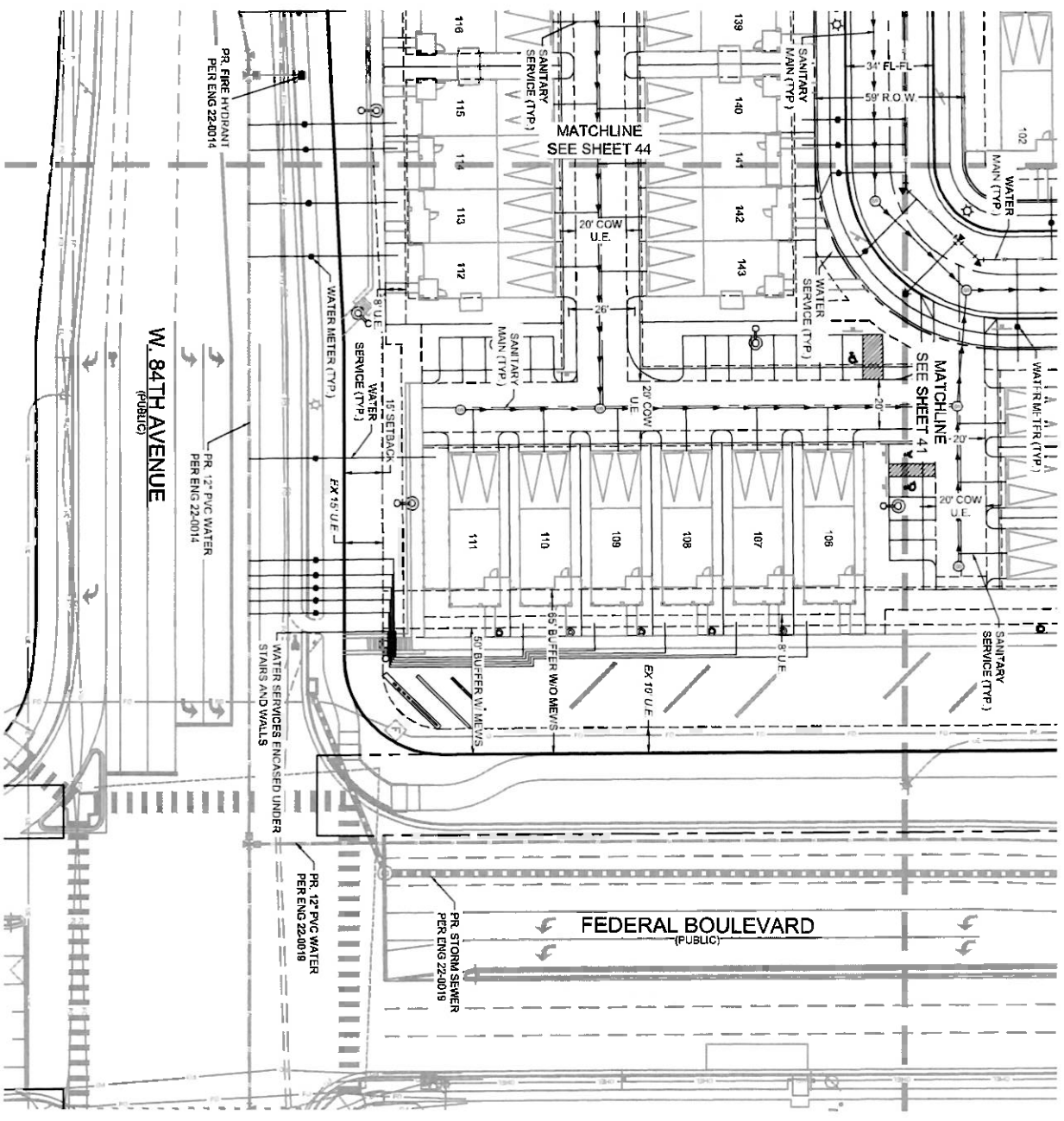


**LEGEND:**

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- LOT LINE
- RIGHT OF WAY
- PR SANITARY SEWER
- PR SANITARY MANHOLE
- EX SANITARY SEWER
- EX SANITARY MANHOLE
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**OFFICIAL DEVELOPMENT PLAN**  
**WESTMINSTER, COLORADO**

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UPLANDS - FILING NO. 1 - BLOCK 7  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 46 OF 106



UPLANDS

DATE: 05.02.2024

LANDSCAPE AREA (ROW EXCLUDED)* (211,869 SF = 29.0%)		RIGHT-OF-WAY LANDSCAPE AREA (48,222 SF)		TOTAL COMMON AREA LANDSCAPE (COMMON AREA AND RIGHT-OF-WAY LANDSCAPE) (ON-LOT EXCLUDED) (168,753 SF)		PUBLICLY ACCESSIBLE PRIVATE PARK (32,912 SF = 4.1%) (19,164 SF LANDSCAPE AREA)	
COMMON AREA LANDSCAPE (120,531) SF	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO
TREES	1 / 550 SF	219	226	1 / 550 SF	307	370	1 / 550 SF
SHRUBS	3 / 550 SF	657	1,272	3 / 550 SF	920	2,188	3 / 550 SF
TREES	1 / 550 SF	166	0**				
ON-LOT LANDSCAPE (91,338 SF)**	TREE EQUIVALENT (TE)	1 TREE = 10 SHRUBS (166 TES)	1,660** SHRUBS				
SHRUBS	3 / 550 SF	498	498				
TOTAL LANDSCAPE AREA (ROW EXCLUDED)*	TREES	1 / 550 SF	219**	226*			
	SHRUBS	3 / 550 SF	2,815	3,430*			

- NOTES:
- INCLUDES ON LOT HOA MAINTAINED FRONT YARD LANDSCAPE, PARK, AND ALL NON-ROW LANDSCAPE AREA.
  - ON LOT LANDSCAPE THROUGHOUT PAA(7) INCLUDES 1 TREE EQUIVALENT (IN THE FORM OF 10 SHRUBS AND 3 ADDITIONAL SHRUBS PER 550 SF) FOR ALL FRONT YARD LANDSCAPES. AN EXCEPTION HAS BEEN REQUESTED FOR THE REPLACEMENT OF REQUIRED ON LOT TREES WITH TREE EQUIVALENTS DUE TO SITE CONSTRAINTS. PLEASE SEE LOT AND LANDSCAPE TYPICALS FOR CRITICAL PARAMETERS OF LANDSCAPE PLANS. CHANGES WITHIN THESE PARAMETERS MAY BE ALLOWED PENDING FINAL PRODUCT CONFIGURATION.
  - ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES UNLESS OTHERWISE NOTED.

WESTMINSTER STANDARD STATEMENTS

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133 SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 16 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENT MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY) SHALL BE REPLACED WITHIN MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENT MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL, AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE APPLIED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. ROCK MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC. NO WEED FABRIC IS REQUIRED UNDER WOOD MULCH.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAN.
- K. THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

PAA(7)

LANDSCAPE QUANTITIES: HIGH WATER TURF AREA

TOTAL LANDSCAPE AREA	MAX HIGH WATER TURF AREA (LESS THAN 20%)	PROVIDED HIGH WATER TURF AREA
260,091 SF	< 52,018 SF	12,540 SF (4.8%)

PAA(7)

SOIL AMENDMENT REQUIRED

LANDSCAPE AREA (ROW EXCLUDED)	X 5 YDS/1000 SF =	CU. YDS.
211,869		1,059
RIGHT-OF-WAY AREA	X 5 YDS/1000 SF =	CU. YDS.
48,222		241
TOTAL: 260,091 SF		1,300 CU. YDS.

PAA(7)

LANDSCAPE WATER BUDGET

LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH	7.7	12,540	X 18 GAL = 225,720
MEDIUM	92.3	151,043	X 10 GAL = 1,510,430
TOTAL ALL HYDROZONES:	100	163,583	TOTAL GAL: 1,736,150
TOTAL GAL / TOTAL LANDSCAPED AREA =			10.6 GAL / SF
MEDIUM (PRIVATELY IRRIGATED AREA)*	100%	91,338	X 10 GAL = 913,380

NOTES:

\*PLEASE REFERENCE LANDSCAPE TYPICALS ON SHEET 9 FOR MORE INFORMATION ON PRIVATELY IRRIGATED AREA.

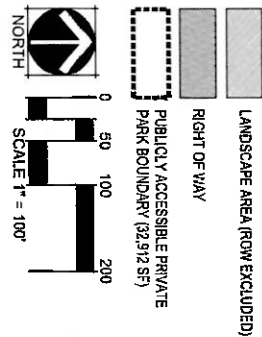
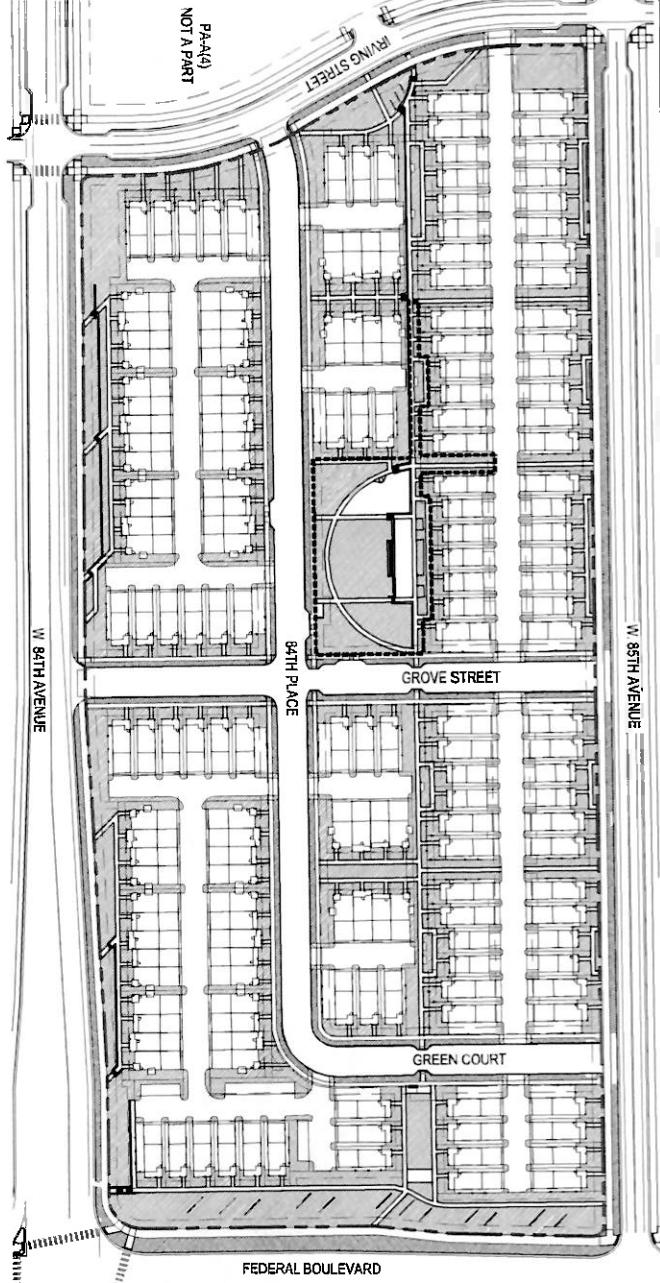


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PA-A(7) TOTAL LANDSCAPE AREA EXHIBIT

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SHEET 47 OF 106



LANDSCAPE MATERIAL SCHEDULE PA-A(7)						
CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
M-01	ROCK MULCH	3/4" BREKEN GOLD LANDSCAPE ROCK	PIONEER SAND OR APPROVED EQUAL	BREKEN GOLD	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-03	CRUSHER FINES	CRUSHER FINES	PIONEER SAND COMPANY OR APPROVED EQUAL	TAN OR APPROVED EQUAL	LESS THAN 3/8"	SEE LANDSCAPE NOTES FOR INSTALLATION DEPTH
M-05	PLAY SAFETY SURFACING	ENGINEERED WOOD FIBER	RECREATION PLUS LTD. OR APPROVED EQUAL	NATURAL	SEE PLAN FOR DIMENSIONS	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-06	STEEL EDGING	INTERLOCKING ROLLED TOP EDGER	RYERSON OR APPROVED EQUAL	BLACK	6" X 14" GAUGE	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-07	RETAINING WALL STONE	AS ASPHLAR PATTERN WITH CAP	ALLAN BLOCK OR APPROVED EQUAL	TAN BLEND	8" H X 12" D X 18" L	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
M-08	ENHANCED CONCRETE	CONCRETE COLOR PIGMENT	DAVIS COLORS OR APPROVED EQUAL	PEWTER 860 / LANDSCAPE FINISH OR APPROVED EQUAL	SCORING PER PLAN	MAX AND INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE 5.5X 56" MOCK-UP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
M-10	LANDSCAPE BOULDER - SIZE A	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-11	LANDSCAPE BOULDER - SIZE B	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS
M-12	LANDSCAPE BOULDER - SIZE C	LANDSCAPE BOULDER	LOCAL SUPPLIER OR APPROVED EQUAL	SANDSTONE	REFER TO DETAIL FOR SIZING INFORMATION	SEE DETAIL FOR INSTALLATION INSTRUCTIONS
M-13	ARTIFICIAL TURF	SYNBOCCE ARTIFICIAL GRASS	SYNLAWN OR APPROVED EQUAL	NYLON / VERDE	7/8" PILE HEIGHT	INSTALL PER MANUFACTURER SPECIFICATIONS.
M-14	WOOD MULCH	GORILLA HAIR CEDAR WOOD MULCH	PIONEER SAND OR APPROVED EQUAL	GORILLA HAIR CEDAR MULCH	3" DEPTH	REFER TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION



47 OF 106 LANDSCAPE SCHEDULES	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
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UPLANDS

DATE: 05.02.2024

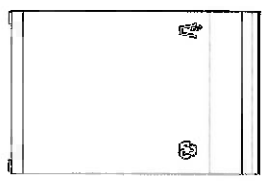


OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 48 OF 106

SITE AMENITY SCHEDULE:



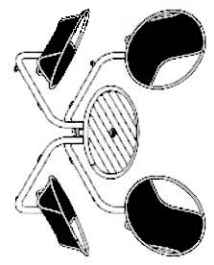
**S-01** DESCRIPTION: BIKE RACK  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE DUO BIKE RACK  
 OR APPROVED EQUAL  
 COLOR / FINISH: CAMPERE  
 EMBERS POWDER COAT  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S  
 SPECIFICATIONS.



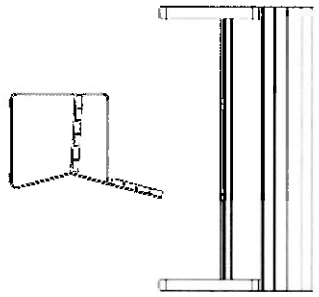
**S-02** DESCRIPTION: COMMON AREA  
 LITTER RECEPTACLE  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE EDGE LITTER BIN  
 (MIL-GLITTER-01) OR APPROVED EQUAL  
 COLOR / FINISH: MIDNIGHT POWDER COAT  
 EXTERIOR, CAMPERE EMBERS SYMBOLS  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.



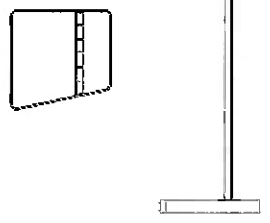
**S-03** DESCRIPTION: PET WASTE  
 STATION  
 MANUFACTURER: BARCO PRODUCTS.COM  
 MODEL: HEADER BAG PET WASTE STATION  
 OR APPROVED EQUAL  
 COLOR / FINISH: BROWN OR APPROVED  
 EQUAL  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.



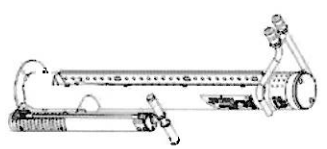
**S-04** DESCRIPTION: 4 TOP TABLE  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: 4 SEATS HOOP AND 3 SEATS HOOP ADA  
 VERSION OR APPROVED EQUAL  
 COLOR / FINISH: WHITE FRAME, STEEL HEAD  
 WOOD TABLE TOP, HOOP SEAT, CASUAL HEIGHT  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.  
 ACCESSIBILITY: MINIMUM OF ONE (1) TABLE PER  
 GROUPING OF TABLES TO BE ADA VERSION.  
 REFER TO PLAN FOR LOCATION.



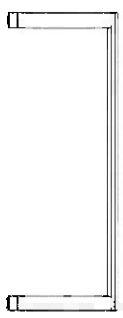
**S-05** DESCRIPTION: BACKED BENCH  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE BACKED BENCH  
 #MIL-BENCH-20 OR APPROVED EQUAL  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / MIDNIGHT POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.  
 ACCESSIBILITY: LENGTHENED CONCRETE  
 BENCH PADS ARE PROVIDED ALONG  
 ACCESSIBLE ROUTES TO ALLOW SPACE  
 FOR MOBILITY DEVICE ADJACENT TO  
 BENCH SEATING.



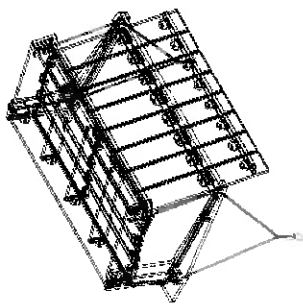
**S-06** DESCRIPTION: BACKLESS BENCH  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE FLAT BENCH  
 #MIL-FLAT-12 OR APPROVED EQUAL  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / MIDNIGHT POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.  
 ACCESSIBILITY: LENGTHENED CONCRETE  
 BENCH PADS ARE PROVIDED ALONG  
 ACCESSIBLE ROUTES TO ALLOW SPACE FOR  
 MOBILITY DEVICE ADJACENT TO BENCH  
 SEATING.



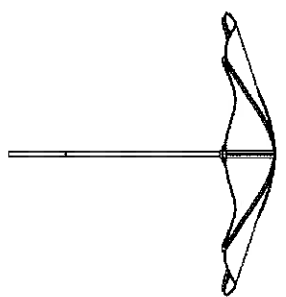
**S-07** DESCRIPTION: BIKE REPAIR STAND  
 MANUFACTURER: THE PARK CATALOG  
 MODEL: BIKE REPAIR STAND WITH AIR PUMP  
 OR APPROVED EQUAL  
 COLOR / FINISH: POWDERCOATED BLACK  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.



**S-08** DESCRIPTION: FARM TABLE  
 MANUFACTURER: SITE PIECES  
 MODEL: MONOLINE COMMUNITY TABLE  
 (MIL-COMT-32) AND ADA VERSION  
 (MIL-COMT-AD-112) OR APPROVED EQUAL  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / MIDNIGHT POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURER'S SPECIFICATIONS.  
 ACCESSIBILITY: MINIMUM OF ONE (1) TABLE  
 PER GROUPING OF TABLES TO BE ADA  
 VERSION. REFER TO PLAN FOR LOCATION.



**S-09** DESCRIPTION: PORCH SWING  
 MANUFACTURER: LOLL DESIGNS  
 MODEL: ADIRONDACK PORCH SWING OR  
 APPROVED EQUAL  
 COLOR / FINISH: LEAF GREEN  
 NOTES: REFERENCE DETAIL FOR  
 INSTALLATION INSTRUCTIONS.



**S-10** DESCRIPTION: UMBRELLA  
 MANUFACTURER: LANDSCAPE FORMS  
 MODEL: CYGNUS SOLTICE UMBRELLA OR  
 APPROVED EQUAL  
 COLOR / FINISH: BUTTERCUP  
 POWDER COATED METAL  
 NOTES: SECURE TO TABLE PER  
 MANUFACTURER'S SPECIFICATIONS. NO  
 SURFACE MOUNT STAND REQUIRED.



**UPLANDS**

DATE: 05.02.2024

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

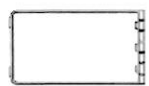
OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24



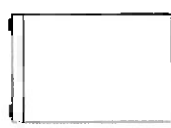
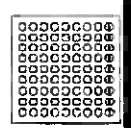


OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 49 OF 106

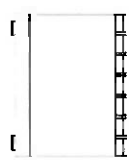
SITE AGENCY SCHEDULE CONT.



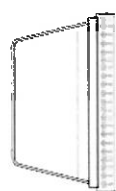
**S-25** DESCRIPTION: HIGH TOP TABLE  
 MANUFACTURER: SITE PIECES OR  
 APPROVED EQUIV.  
 MODEL: MONOLINE HIGH TOP TABLE  
 #ML-HIGHTBL-42  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / ORANGE POWDERCOAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURERS SPECIFICATIONS.



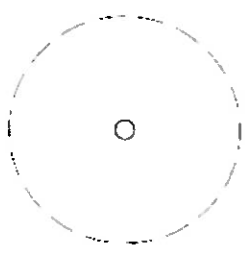
**S-26** DESCRIPTION: PERFORATED OPEN STOOL  
 MANUFACTURER: SITE PIECES OR  
 APPROVED EQUIV.  
 MODEL: MONOLINE OPEN STOOL 20 X 20  
 (PERFORATED) #ML-OST20X20PT  
 COLOR / FINISH: MIDNIGHT POWDERCOAT  
 FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURERS SPECIFICATIONS.



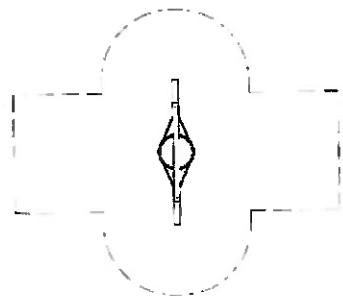
**S-27** DESCRIPTION: OPEN STOOL  
 MANUFACTURER: SITE PIECES OR  
 APPROVED EQUIV.  
 MODEL: MONOLINE OPEN STOOL 40 X 20  
 #ML-OST-FRECT4016  
 COLOR / FINISH: DARK CHERRY ALUMINUM  
 SLATS / CAMPERE EMBERS POWDERCOAT  
 FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURERS SPECIFICATIONS.



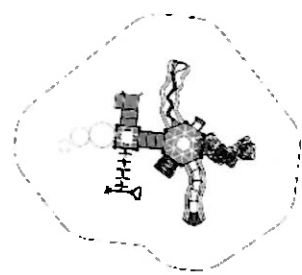
**S-28** DESCRIPTION: PING PONG TABLE  
 MANUFACTURER: SITE PIECES OR  
 APPROVED EQUIV.  
 MODEL: MONOLINE PING PONG TABLE  
 #ML-PONG  
 COLOR / FINISH: TABLE TOP: MIDNIGHT  
 POWDER COAT FINISH / LEGS AND NET:  
 WHITE POWDER COAT FINISH  
 NOTES: SURFACE MOUNT PER  
 MANUFACTURERS SPECIFICATIONS.



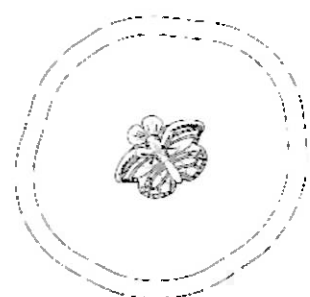
**S-29** DESCRIPTION: PLAY STRUCTURE - TETHERBALL  
 MANUFACTURER: PLAYWORLD OR APPROVED  
 EQUIV.  
 MODEL: TETHERBALL #Z2XX1079  
 COLOR / FINISH: STEEL POST, YELLOW BALL  
 NOTES: INSTALL PER MANUFACTURERS  
 SPECIFICATIONS.



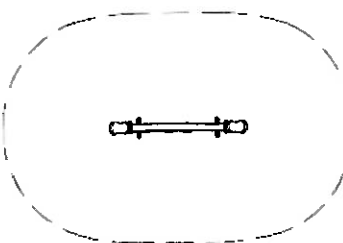
**S-30** DESCRIPTION: PLAY STRUCTURE - BIGGO  
 SWING  
 MANUFACTURER: DYNAMO PLAYGROUNDS  
 OR APPROVED EQUIV.  
 MODEL: BIGGO SOLO SWING #D3X3100  
 COLOR / FINISH: POST COLOR: YELLOW  
 GREEN, SWING COLOR: RED  
 NOTES: INSTALL PER MANUFACTURERS  
 SPECIFICATIONS.  
 ACCESSIBILITY: PRODUCT MEETS ADAAG  
 GUIDELINES FOR ACCESSIBILITY WHERE  
 PROPER SURFACING IS USED.



**S-31** DESCRIPTION: PLAY STRUCTURE - JUNGLE  
 EXCURSION  
 MANUFACTURER: PLAYWORLD OR  
 APPROVED EQUIV.  
 MODEL: JUNGLE EXCURSION #JSG-2203  
 COLOR / FINISH: POST COLOR: BROWN, SLIDE  
 AND HANDLE COLORS: GREEN, MUSHROOM  
 COLOR: RED  
 NOTES: INSTALL PER MANUFACTURERS  
 SPECIFICATIONS.  
 ACCESSIBILITY: STRUCTURE IS ADA  
 ACCESSIBLE. 7 ACCESSIBLE ELEVATED PLAY  
 ACTIVITIES PROVIDED. 2 ACCESSIBLE  
 GROUNDLEVEL PLAY ACTIVITIES PROVIDED.



**S-32** DESCRIPTION: PLAY STRUCTURE -  
 BUTTERFLY CLIMBER  
 MANUFACTURER: PLAYWORLD OR  
 APPROVED EQUIV.  
 MODEL: BLUE BUTTERFLY CLIMBER  
 #Z2TP2004M  
 COLOR / FINISH: BLUE  
 NOTES: INSTALL PER MANUFACTURERS  
 SPECIFICATIONS.  
 ACCESSIBILITY: ADA ACCESSIBLE WHERE  
 PROPER SURFACING IS USED.



**S-33** DESCRIPTION: PLAY STRUCTURE -  
 DUO SEESAW  
 MANUFACTURER: PLAYWORLD OR  
 APPROVED EQUIV.  
 MODEL: DUO SEESAW #Z2XX0506  
 COLOR / FINISH: BLUE & YELLOW  
 NOTES: INSTALL PER MANUFACTURERS  
 SPECIFICATIONS.  
 ACCESSIBILITY: ADA ACCESSIBLE WHERE  
 PROPER SURFACING IS USED. EQUIPMENT  
 HAS BACKED SEATS AND PLATFORM AT  
 TRANSFER HEIGHT.



**S-34** DESCRIPTION: PLAY STRUCTURE -  
 GARDEN PANEL  
 MANUFACTURER: PLAYWORLD OR  
 APPROVED EQUIV.  
 MODEL: GARDEN PANEL #Z2CH4528  
 COLOR / FINISH: PLASTIC 1: LIME GREEN,  
 PLASTIC 2: FOREST GREEN, COMPONENTS:  
 PURPLE  
 NOTES: INSTALL PER MANUFACTURERS  
 SPECIFICATIONS.  
 ACCESSIBILITY: ADA ACCESSIBLE WHERE  
 PROPER SURFACING IS USED.



OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO



DATE: 05.02.2024



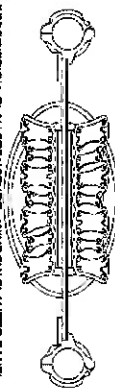
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 7

A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 50 OF 106

SOD AND SEED

NATURAL GRASS - SOD: NATURE'S PRAIRIE TURF<sup>®</sup> BY TURF MASTER SOD, LLC  
NATURE'S PRAIRIE TURF<sup>®</sup> BLEND

IRRIGATED TURF - SOD: VOTEX TEXAS HYBRID BLEND BY KORBAY SOD, LLC  
VOTEX TEXAS HYBRID BLUEGRASS BLEND



S-35 DESCRIPTION: PLAY STRUCTURE - WINDOW PLANTER PANEL  
MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
MODEL: WINDOW PLANTER PANEL #Z23H4625

COLOR: FINISH POST COLOR: BROWN, PLASTIC COLOR:  
BROWN AND BEIGE, PLANTER PLASTIC COLOR: GREEN  
NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS  
ACCESSIBILITY: ADA ACCESSIBLE WHERE PROPER  
SURFACING IS USED



S-36 DESCRIPTION: PLAY STRUCTURE - BUSH HALF PANEL  
MANUFACTURER: PLAYWORLD OR APPROVED EQUAL  
MODEL: BUSH HALF PANEL #Z23M405

COLOR / FINISH: FOREST GREEN/BEECH  
NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS  
ACCESSIBILITY: ADA ACCESSIBLE WHERE PROPER  
SURFACING IS USED, HALF PANEL PROVIDES MOBILITY  
DEVICE WITH CLOSER ACCESS THAN FULL PANEL

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD
DECIDUOUS TREES								
AC SE	19	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER MAPLE	B & B	2" CAL.	LOW	25-30'	20-25'
AC PS	14	ACER PSEUDOPLATANUS	SYCAMORE MAPLE	B & B	2" CAL.	MOD	40-50'	30-40'
AC GM	8	ACER SACCHARUM 'GREEN MOUNTAIN' TM	GREEN MOUNTAIN SUGAR MAPLE	B & B	3" CAL.	MOD	40-50'	25-30'
CA SP	12	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL.	LOW	40-50'	25-30'
CE OC	23	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL.	VERY LOW	50-60'	30-40'
GY DI	26	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEE TREE	B & B	2" CAL.	VERY LOW	40-50'	30-40'
QU MA	10	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL.	VERY LOW	50-60'	40-60'
QU WU	4	QUERCUS MUEHL. ENERGEI	CHINKAPIN OAK	B & B	2" CAL.	LOW	40-50'	40-60'
UL PR	24	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3" CAL.	MOD	50-60'	40-60'
UL AL	14	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	B & B	2" CAL.	MOD	40-50'	30-40'
UL MG	2	ULMUS X 'WORTON GLOSSY' TM	TRIUMPH ELM	B & B	2" CAL.	MOD	40-50'	30-40'
TOTAL 155								
EVERGREEN TREES								
JO SP	9	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6" HEIGHT	LOW	15-20'	4-6'
JU RM	15	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6" HEIGHT	VERY LOW	25-30'	8-10'
JU ME	8	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	6" HEIGHT	VERY LOW	15-20'	4-6'
JU SK	18	JUNIPERUS SCOPULORUM 'SYRACUSE'	SYRACUSE JUNIPER	B & B	6" HEIGHT	LOW	15-20'	4-6'
PI UV	8	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	B & B	6" HEIGHT	MOD	20-25'	8-10'
PI BA	8	PICEA PUNGENS 'GLAUCA BAKER'	BAKER BLUE SPRUCE	B & B	6" HEIGHT	MOD	25-30'	8-10'
PI AR	5	PINUS ARISTATA	BRISTLECONE PINE	B & B	8" HEIGHT	LOW	25-30'	10-15'
PI ED	7	PINUS EDULIS	PINON PINE	B & B	6" HEIGHT	VERY LOW	20-25'	10-15'
PI HE	21	PINUS HELDREICHII	BOSNAIAN PINE	B & B	5" HEIGHT	MOD	25-30'	10-15'
PS ME	11	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B & B	8" HEIGHT	MOD	50-60'	20-25'
TOTAL 111								
ORNAMENTAL TREES								
AC HW	12	ACER TATARIANUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL.	LOW	20-25'	15-20'
AM AB	9	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6" CLUMP	MOD	20-25'	15-20'
CE CA	10	CERCIS CANADENSIS	EASTERN REBLOD	B & B	6" CLUMP	MOD	25-30'	25-30'
CR IN	6	CRATAEGUS CRUSGALLI 'NEBARS'	THORNLESS COCKSPUR Hawthorn	B & B	2" CAL.	LOW	20-25'	15-20'
KO PA	3	KOELERUTERIA PANCULATA	GOLDENRAIN TREE	B & B	2" CAL.	VERY LOW	25-30'	25-30'
MA TH	6	MALUS X 'THUNDERCHILD'	THUNDERCHILD CRAB APPLE	B & B	2" CAL.	LOW	15-20'	10-15'
MA PR	14	MALUS X 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	B & B	2" CAL.	MOD	15-20'	10-15'
PR MO	11	PRUNUS AMENACIA 'MOORPARK'	MOORPARK APRICOT	B & B	2" CAL.	MOD	20-25'	20-25'
PR IT	15	PRUNUS PERSICA 'ELBERTA'	ELBERTA PEACH	B & B	2" CAL.	MOD	15-20'	10-15'
SY RE	18	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2" CAL.	MOD	20-25'	15-20'
TOTAL 103								
DECIDUOUS SHRUBS								
AR ER	20	ARONIA ARBUTIFOLIA 'ERECTA'	UPRIGHT RED CHOKEBERRY	CONT.	#5	LOW	6-7'	3-4'
BE TA	21	BERBERIS X 'TARA'	EMERALD CAROUSEL <sup>®</sup> BARBERRY	CONT.	#5	LOW	5-6'	5-6'
CA BM	12	CARYOPTERIS X CLAUDONENSIS 'BLUE MIST'	BLUE MIST BLUEBARD	CONT.	#5	LOW	3-4'	2-3'
CH MI	77	CHAMAENATHRIA MILLEFOLIUM	FERNBUSH	CONT.	#5	VERY LOW	4-5'	5-6'
CO AF	120	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	#5	MOD	3-4'	3-4'
CO IS	62	CORNUS SERICEA 'ISANT'	ISANT REOSIER DOGWOOD	CONT.	#5	MOD	4-5'	5-6'
CO KE	47	CORNUS SERICEA 'KEISEY'	KEISEY DOGWOOD	CONT.	#5	MOD	2-3'	2-3'
ER NA	36	ERICAMERIA NAUSEOSA	RUBBER RABBITBUSH	CONT.	#5	VERY LOW	5-6'	4-5'

NOTE:  
20% MIN. SHADE TREES ARE INCREASED  
TO 3" CAL. AND 20% MIN. OF EVERGREEN  
TREES ARE INCREASED TO 8" HEIGHT.

REQUIRED EVERGREEN TOTALS	
TOTAL TREES	370
HOW TREES	145
COMMON ARE A (NON ROW) TREES	226
TOTAL EVERGREEN TREES	110
TOTAL PERCENTAGE OF EVERGREEN TREES MUST BE AT LEAST 33%	30%
PERCENTAGE OF EVERGREEN TREES (EXCLUDING ROW TREES)	49%

UPLANDS

DATE: 05.02.2024

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24  
SUB03: 05/02/24



50 OF 106  
LANDSCAPE SCHEDULES

# UPLANDS - FILING NO. 1 - BLOCK 7

OFFICIAL DEVELOPMENT PLAN  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 51 OF 106

PLANT SCHEDULE CONT.

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	HEIGHT	SPREAD	NOTE
EE AI	131	ERICACEA NAUSEOSA NAUSEOSA	DIABOL BLUE RABBITBRUSH	CONT.	#5	VERY LOW	2-3'	2-3'	20% MIN. SHADE TREES ARE INCREASED TO 3' CAL AND 20% MIN OF EVERGREEN TREES ARE INCREASED TO 8' HEIGHT.
EL CO	102	EUNOMIA ALATUS COMPACTUS	COMPACT BURNING BUSH	CONT.	#5	MOD	5-6'	5-6'	
FO AR	12	FORSYTHIA X ARNOLD'S DYNAR	ARNOLD'S DIABOL FORSYTHIA	CONT.	#5	LOW	2-3'	5-6'	
FO SP	19	FORSYTHIA X INTERMEDIA 'SPRING GLO'	SPRING GLO' FORSYTHIA	CONT.	#5	LOW	7-8'	4-5'	
HY AN	67	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	CONT.	#5	MOD	4-5'	3-4'	
LLO	52	LIGUSTRIUM VILGARE 'LODENSE	LODENSE PRUNE	CONT.	#5	LOW	2-3'	3-4'	
PE AT	108	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	#5	VERY LOW	3-4'	3-4'	
PE LS	261	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPRE 'TM	LITTLE SPRE RUSSIAN SAGE	CONT.	#5	VERY LOW	2-3'	2-3'	
PE MI	45	PHYSCARPUS OPILOPOLIS 'MINDA 'TM	COOPERITA NINEBAR	CONT.	#5	LOW	9-12'	9-10'	
PO DR	172	POTENTILLA FRUTICOSA 'GOLD DROP	GOLD DROP BUSH CINQUEFOIL	CONT.	#5	LOW	2-3'	2-3'	
PO MC	88	POTENTILLA FRUTICOSA 'WICK'S WHITE	WICK'S WHITE BUSH CINQUEFOIL	CONT.	#5	LOW	2-3'	2-3'	
PO PB	44	POTENTILLA FRUTICOSA 'PINK BEAUTY	PINK BEAUTY POTENTILLA	CONT.	#5	LOW	2-3'	2-3'	
PR BS	56	PRUNUS BESSEYI	WESTERN SAND CHERRY	CONT.	#5	VERY LOW	5-6'	5-6'	
PR PB	141	PRUNUS BESSEYI 'PAMMEE BUTTES	PAMMEE BUTTES SAND CHERRY	CONT.	#5	VERY LOW	1-2'	5-6'	
RH GR	13	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	CONT.	#5	MOD	2-3'	3-4'	
RO FL	179	ROSA X 'FLOWER CARPET CORAL	CORAL FLOWER CARPET ROSE	CONT.	#5	MOD	2-3'	3-4'	
RO MD	6	ROSA X 'NEARLY WILD'	NEARLY WILD R. ORBUNDA ROSE	CONT.	#5	VERY LOW	4-5'	4-5'	
ST MI	8	STYNGIA PATULA 'WISS KIM'	WISS KIM KOREAN LILAC	CONT.	#5	MOD	5-6'	7-8'	
VI CA	22	VIBURNUM CARLESI	KOREANSPICE VIBURNUM	CONT.	#5	MOD	5-6'	7-8'	
TOTAL: 1916									
EVERGREEN SHRUBS									
BU GM	63	BUDUS X 'GREEN MOUNTAIN	GREEN MOUNTAIN BOXWOOD	CONT.	#5	LOW	4-5'	3-4'	
HE PA	56	HESPERALOE PARVIFLORA	RED YUCCA	CONT.	#5	VERY LOW	3-4'	3-4'	
JL BR	12	JUNIPERUS HORIZONTALIS 'BAR HARBOR	BAR HARBOR CREEPING JUNIPER	CONT.	#5	LOW	1-2'	7-8'	
JL BR	27	JUNIPERUS SABINA 'BROADMOOR	BROADMOOR JUNIPER	CONT.	#5	LOW	1-2'	7-8'	
JU CC	36	JUNIPERUS SABINA 'CALGARY CARPET 'TM	CALGARY CARPET JUNIPER	CONT.	#5	LOW	1-2'	7-8'	
MA CO	35	MAHONIA AQUIFOLIUM 'COMPACTA	COMPACT OREGON GRAPE	CONT.	#5	LOW	2-3'	2-3'	
PI MO	43	PINUS MUGO 'MOPS'	MOPS MUGO PINE	CONT.	#5	LOW	3-4'	2-3'	
PI SL	6	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	CONT.	#5	LOW	4-5'	2-3'	
TOTAL: 278									
TOTAL SHRUBS: 2,194									
GRASSES									
AN WI	117	ANDROPOGON GERARDII 'WINDWALKER	WINDWALKER BIG BLUE STEM	CONT.	#1	LOW	5-6'	2-3'	
AN SC	78	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	CONT.	#1	VERY LOW	2-3'	1-2'	
BO BA	986	BOUTELOUA GRACILIS 'BLONDE AMBITON	BLOND AMBITON BLUE GRAMA GRASS	CONT.	#1	VERY LOW	1-2'	1-2'	
CA BR	30	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	CONT.	#1	LOW	3-4'	2-3'	
CA KF	383	CALAMAGROSTIS X ACUTIFLORA 'VAR. L. FOERSTER	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	LOW	4-5'	2-3'	
EL RA	48	ERIANTHUS RAVENNAE	RAVENNA GRASS	CONT.	#1	MOD	9-12'	3-4'	
HA AU	297	HAEMODORUM MACRUM 'AUREOLAE	GOLDEN VARIATED FOREST GRASS	CONT.	#1	HIGH	1-2'	1-2'	
HE SE	292	HELIOTRICHON SENFERWIRENS	BLUE OAT GRASS	CONT.	#1	LOW	2-3'	1-2'	
IM ML	126	MISCANTHUS SINENSIS 'MORNING LIGHT	MORNING LIGHT MAIDEN GRASS	CONT.	#1	MOD	4-5'	2-3'	
IM VA	46	MISCANTHUS SINENSIS 'VAREGATUS	VAREGATED MAIDEN GRASS	CONT.	#1	MOD	4-5'	2-3'	
PN SH	245	PANICUM VIRGATUM 'SHEWANDA'	SHEWANDA SWITCH GRASS	CONT.	#1	LOW	3-4'	2-3'	
SC SC	210	SCHIZACHYRIUM SCOPARIUM 'BLAZE	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	3-4'	2-3'	
SP HE	510	SPOROBOLUS HETEROLENS	PRAIRIE DROPSEED	CONT.	#1	LOW	2-3'	1-2'	
TOTAL ORNAMENTAL GRASSES: 3,368									
PERENNIALS									
AC MO	257	ACHILLEA X 'MOONSHINE	MOONSHINE YARROW	CONT.	#1	VERY LOW	2-3'	1-2'	
AA AP	154	AGASTACHE RUPESTRIS 'ARACHE SUNSET	ARACHE SUNSET THREADED LEAF HYSSOP	CONT.	#1	LOW	1-2'	1-2'	
AN SR	10	ANEMONE X HYBRIDA 'SERENADE	SERENADE JAPANESE ANEMONE	CONT.	#1	MOD	1-2'	1-2'	
CA RA	16	CAMPIS RADICANS	TRUMPET CREEPER	CONT.	#1	LOW	13-16'	3-4'	
EC PU	131	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	#1	LOW	1-2'	1-2'	
EN PE	18	ENGELMANNIA PERISTENA	ENGELMANN'S DAISSY	CONT.	#1	LOW	1-2'	2-3'	
GL OD	68	GALUM ODOURATUM	SWEET WOODRUFF	CONT.	#1	MOD	<1'	1-2'	
GE RZ	77	GERANIUM X 'GERVAT	KOZANNE GERANIUM	CONT.	#1	MOD	1-2'	1-2'	
HE PP	222	HEUCHERA MICRANTHA 'PURPLE PALACE	PURPLE PALACE CORAL BELLS	CONT.	#1	MOD	1-2'	1-2'	
HE SA	55	HEUCHERA X 'SNOW ANGEL	SNOW ANGEL CORAL BELLS	CONT.	#1	MOD	1-2'	1-2'	
HO PA	58	HOSTA FORTUNEI 'PATRIOT	PATRIOT HOSTA	CONT.	#1	MOD	1-2'	2-3'	
HO RA	29	HOSTA X 'KROSSA REGAL	KROSSA REGAL HOSTA	CONT.	#1	MOD	2-3'	3-4'	
LA AN	80	LAVANDULA ANGSTIFOLIA 'MUNSTEAD'	MUNSTEAD ENGLISH LAVENDER	CONT.	#1	LOW	1-2'	1-2'	
LY AU	132	LYSIMACHIA NUMMULARIA 'AUREA'	GOLDEN CREEPING JENNY	CONT.	#1	MOD	3-4'	1-2'	
NE WL	477	NETETIA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT.	#1	LOW	2-3'	2-3'	
RU FU	92	RUBICEKIA FULGIDA 'GO-DUSTY'	BLACK-EYED SUSAN	CONT.	#1	LOW	2-3'	1-2'	
VI BV	186	VINCA MINOR 'BOWLES'	BOWLES COMMON PERIWINKLE	CONT.	#1	LOW	<1'	1-2'	
TOTAL PERENNIALS: 2,341									



UPLANDS

DATE: 05.02.2024

UPLANDS FILING NO. 1  
BLOCK 7  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 12.07.2023

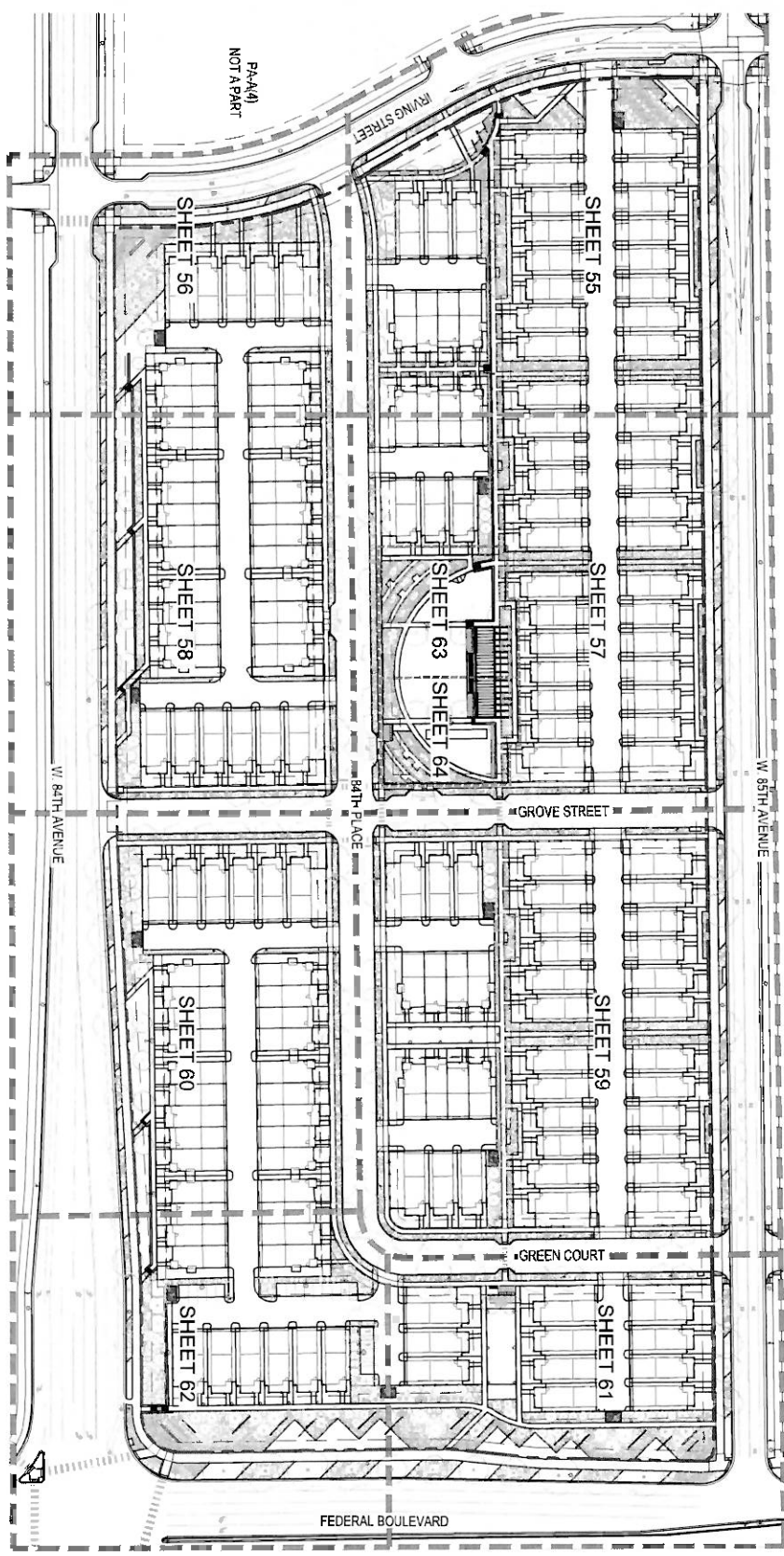
REVISIONS

SUB02: 03/07/24  
SUB03: 05/02/24



51 OF 106  
LANDSCAPE SCHEDULES

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 52 OF 106



- LEGEND
- SNOW STORAGE LOCATIONS
  - MATCH LINE
  - - - SITE BOUNDARY

NOTE:  
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



52 OF 106 OVERALL LANDSCAPE PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

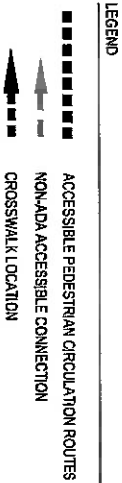
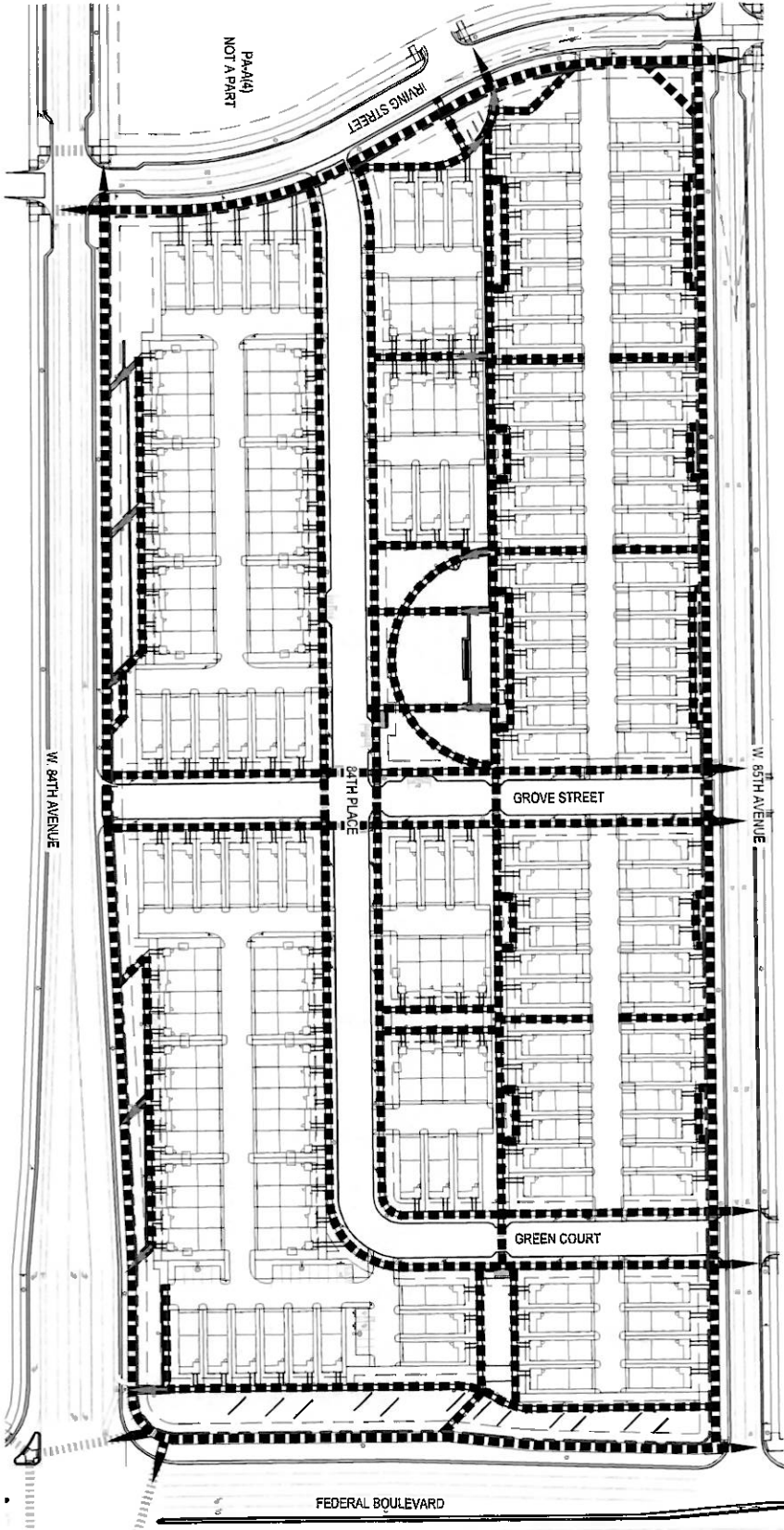


DATE: 05.02.2024

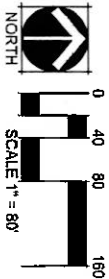


LANDSCAPE ARCHITECT

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 7**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 53 OF 106



NOTE:  
 1. TO PROMOTE SAFE PEDESTRIAN CROSSING, ADDITIONAL CROSSINGS MAY BE PROVIDED ONCE ADJACENT NEIGHBORHOOD LAYOUTS ARE DETERMINED.



53 OF 106 PEDESTRIAN CIRCULATION PLAN	OFFICIAL DEVELOPMENT PLAN PREPARED 12.07.2023
	REVISIONS
	SUB02: 03/07/24
	SUB03: 05/02/24

**UPLANDS FILING NO. 1  
 BLOCK 7**  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024

**NORRIS  
 DESIGN**  
1700 WEST 13TH AVENUE  
 SUITE 100  
 DENVER, CO 80202  
 303.733.1111  
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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 54 OF 106



MODERATE WATER USE

HIGH WATER USE

SITE BOUNDARY

1. THE AVERAGE GALLONS PER SQUARE FOOT CANNOT EXCEED 15 GALLONS PER SQUARE FOOT.
2. TOTAL LANDSCAPE AREA EXCLUDES SPD HOMES.
3. ALL IRRIGATION USES A POTABLE WATER SOURCE.
4. WOOD MULCH AS SPECIFIED IN MATERIAL SCHEDULE SHALL BE USED UNDER ALL SHRUBS, TREES, PERENNIALS, AND GRASSES.
5. HOST BBS WILL BE PROVIDED FOR INDIVIDUAL HOMEOWNER USE ON ALL SPD AND PAIRED HOMES.



## REVISIONS

54 OF 106  
HYDROZONE PLAN

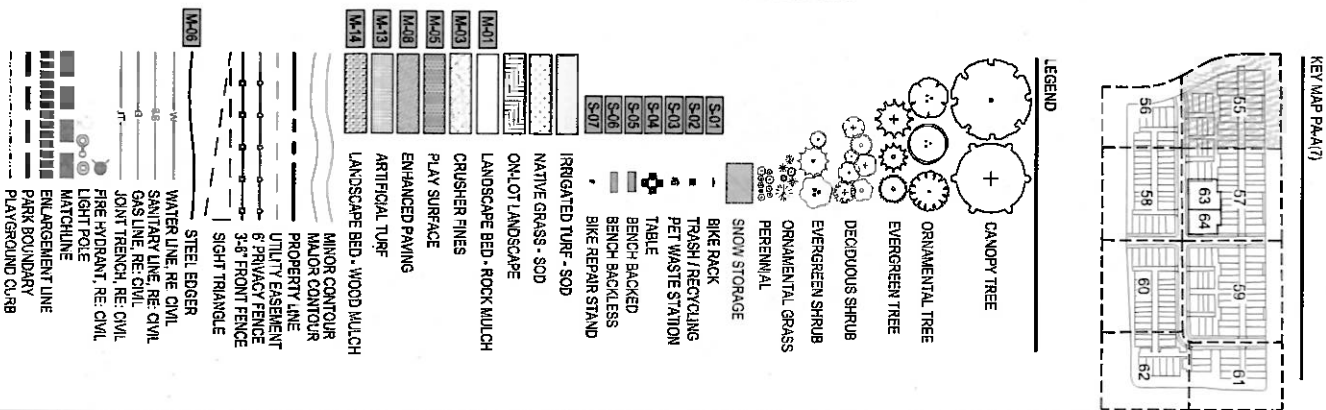
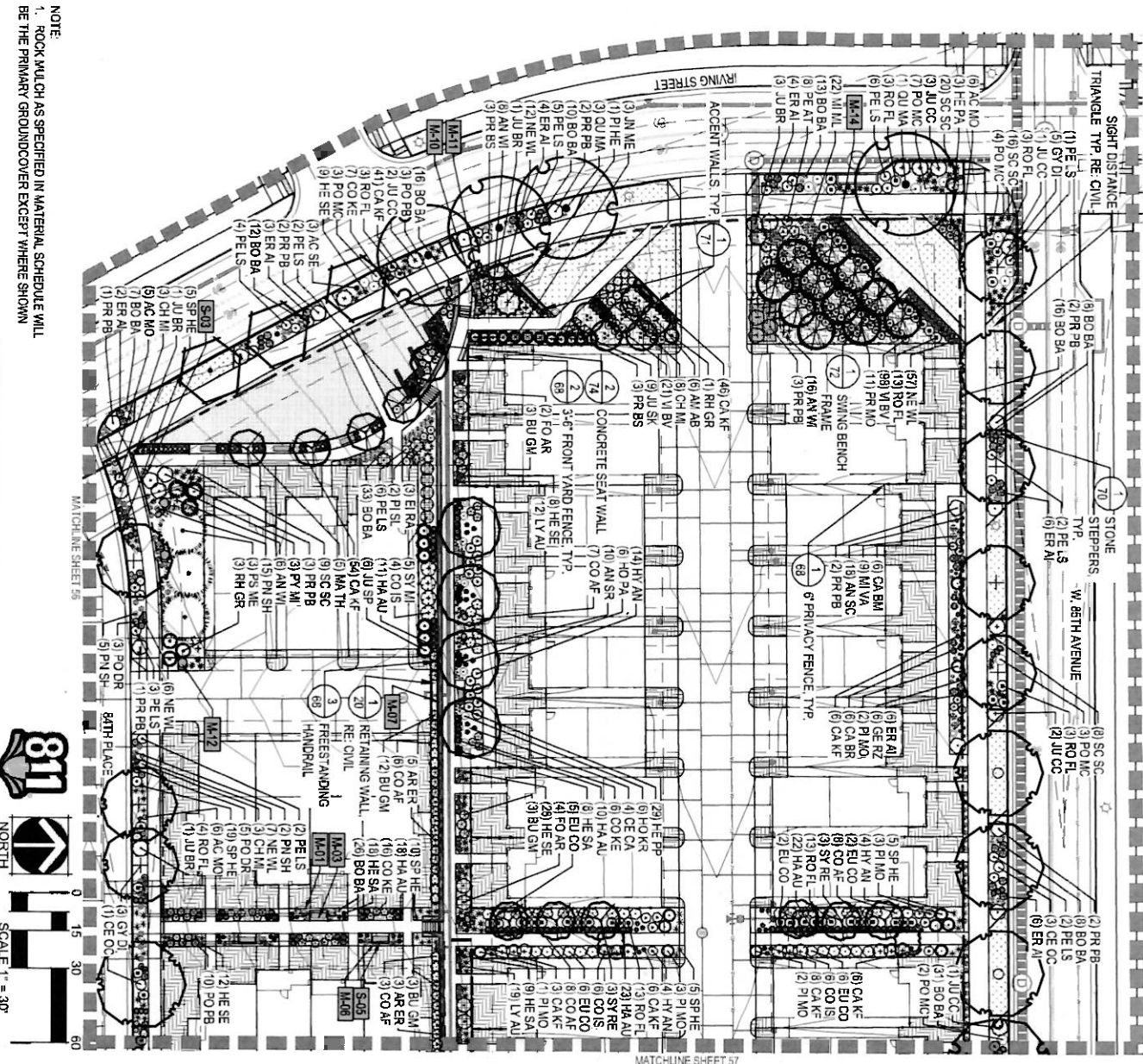
# UPLANDS

DATE: 05.02.2024

**NORRIS  
DESIGN**



OFFICIAL DEVELOPMENT PLAN  
 UPLANDS - FILING NO. 1 - BLOCK 7  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 55 OF 106



55 OF 106  
LANDSCAPE PLAN

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

DATE: 05.02.2024

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 12.07.2023

REVISIONS

SUB02: 03/07/24
SUB03: 05/02/24

**UPLANDS**

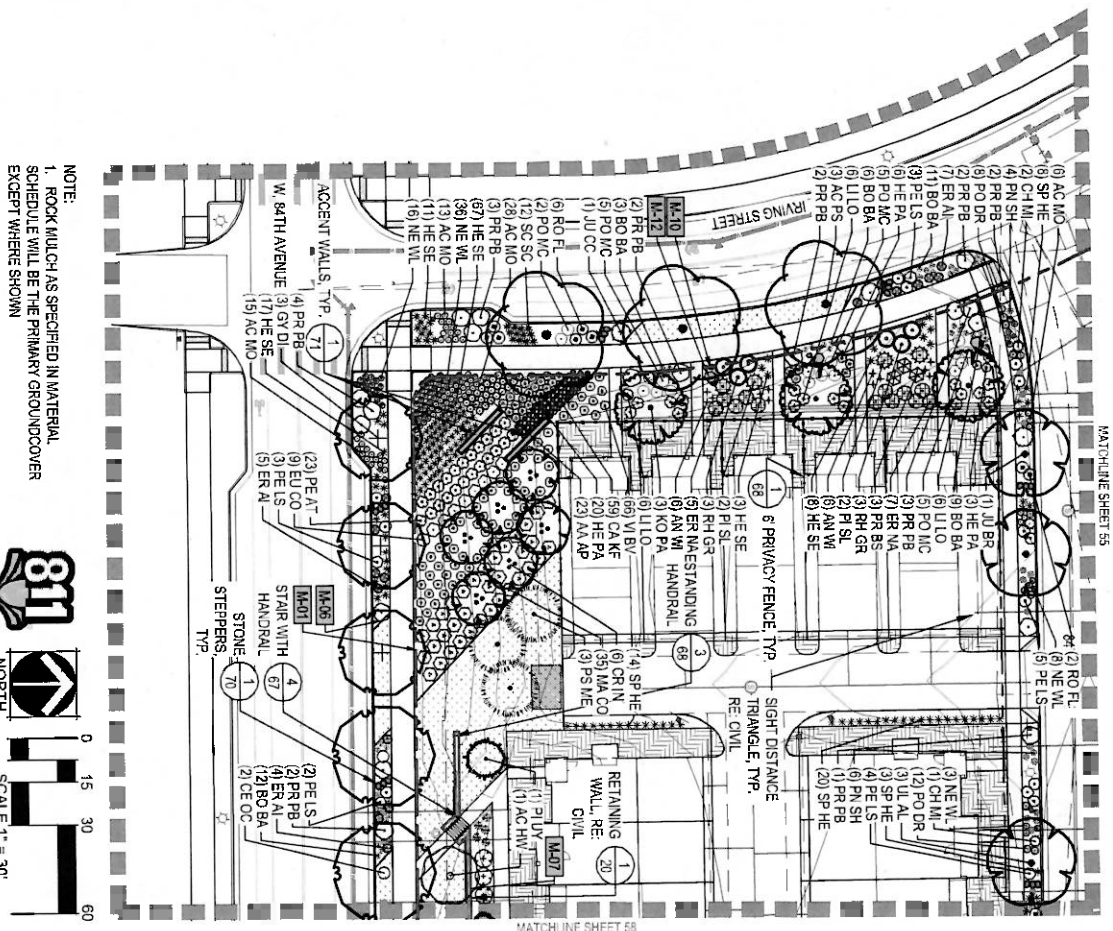
DESIGN

17700 E. 10TH AVE.  
 DENVER, CO 80231  
 (303) 751-1100

KEY MAP P(A)(7)

# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7

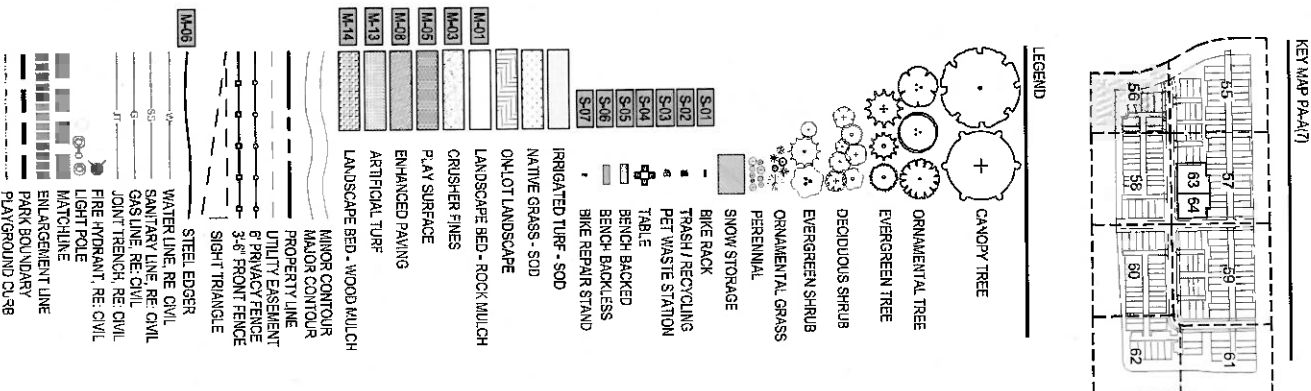
A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 56 OF 106



NOTE:  
 1. ROCK MULCH AS SPECIFIED IN MATERIAL  
 SCHEDULE WILL BE THE PRIMARY GROUND COVER  
 EXCEPT WHERE SHOWN



SCALE 1" = 30'



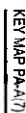
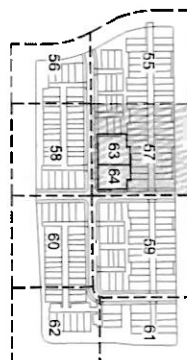
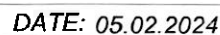
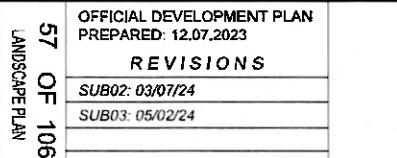
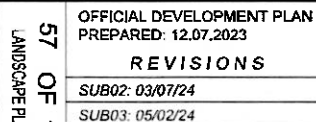
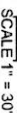
56 OF 106	LANDSCAPE PLAN
OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

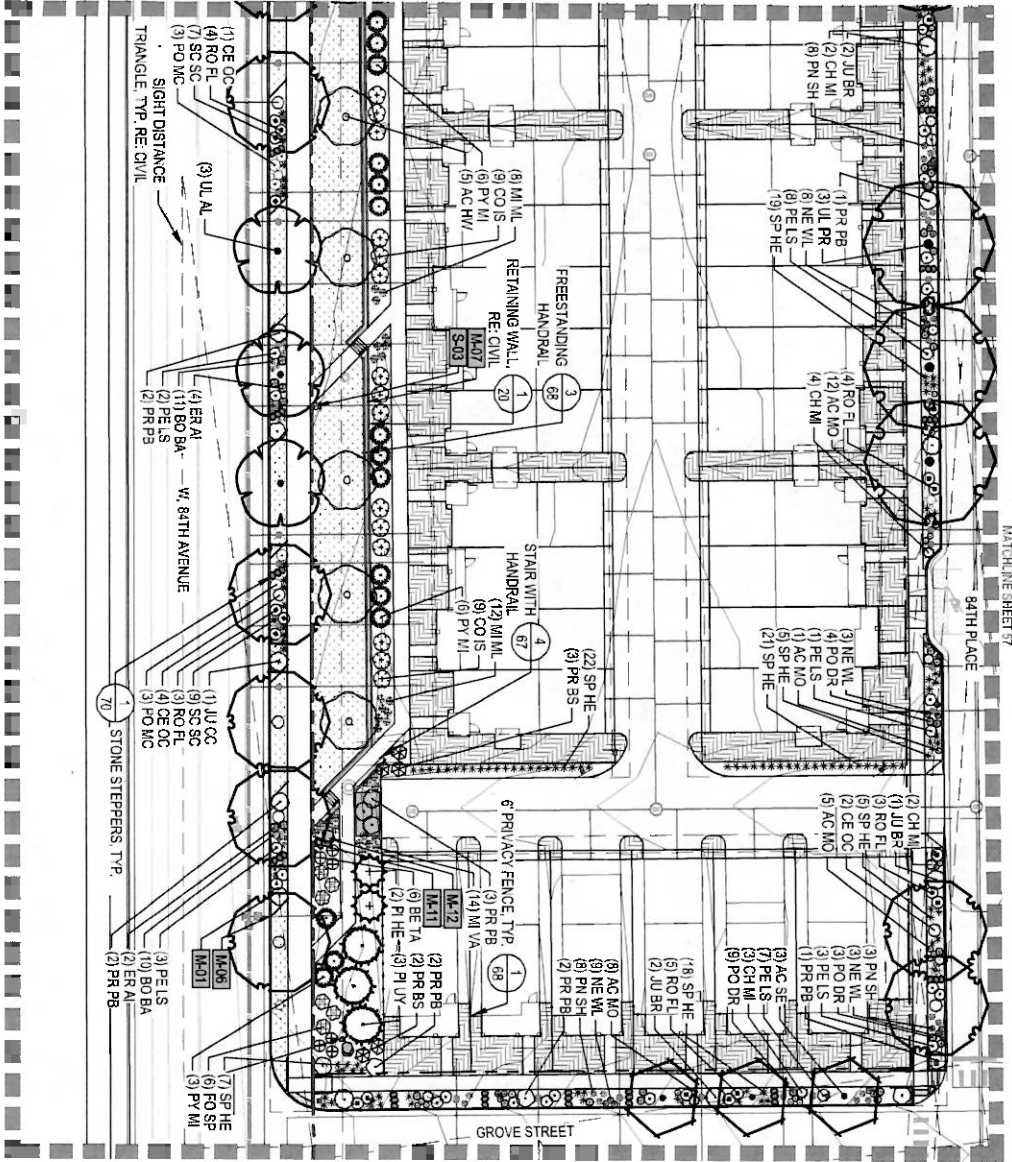
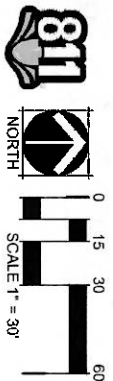
DATE: 05.02.2024

**NORRIS DESIGN**  
 1111 14TH AVENUE  
 WESTMINSTER, CO 80057  
 PHONE: 303.440.1111  
 WWW.NORRISDESIGN.COM



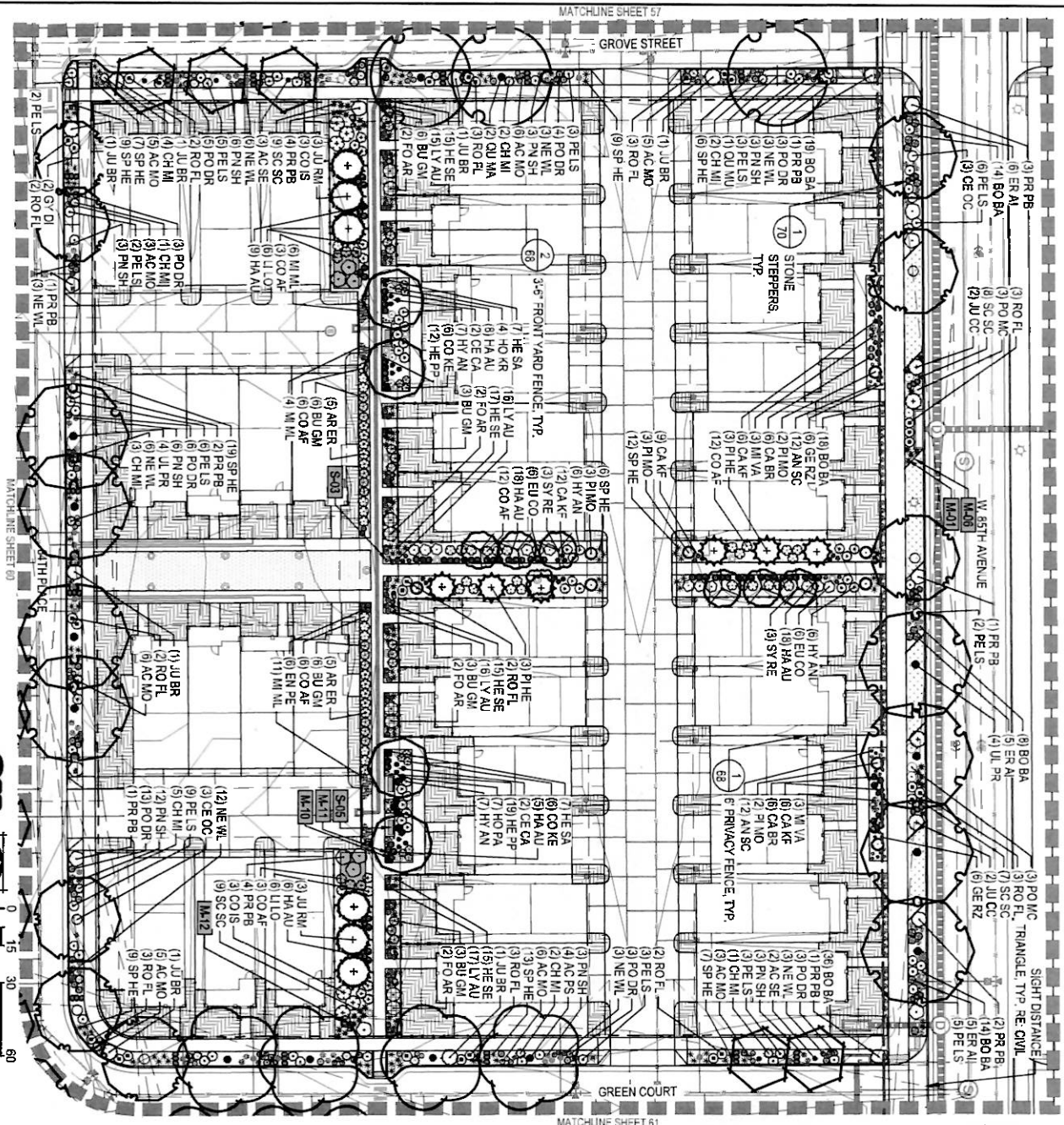
# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 38 OF 108

811

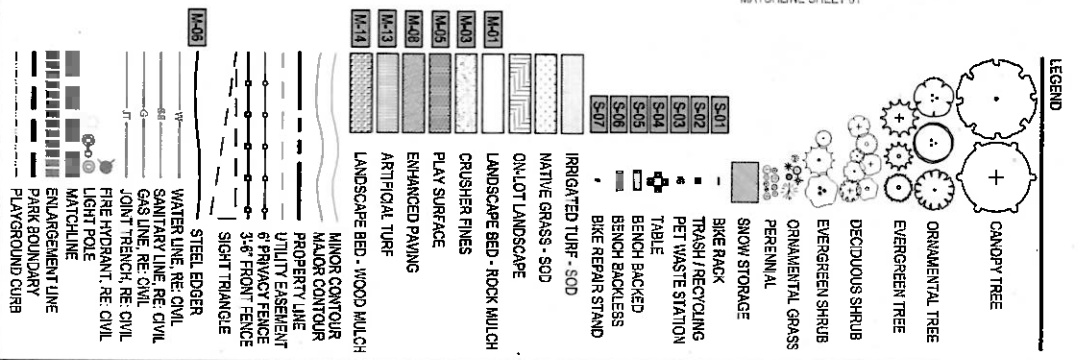
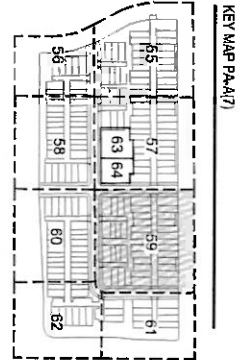




# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 59 OF 106



NOTE  
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
 BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



59 OF 106	LANDSCAPE PLAN
OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	

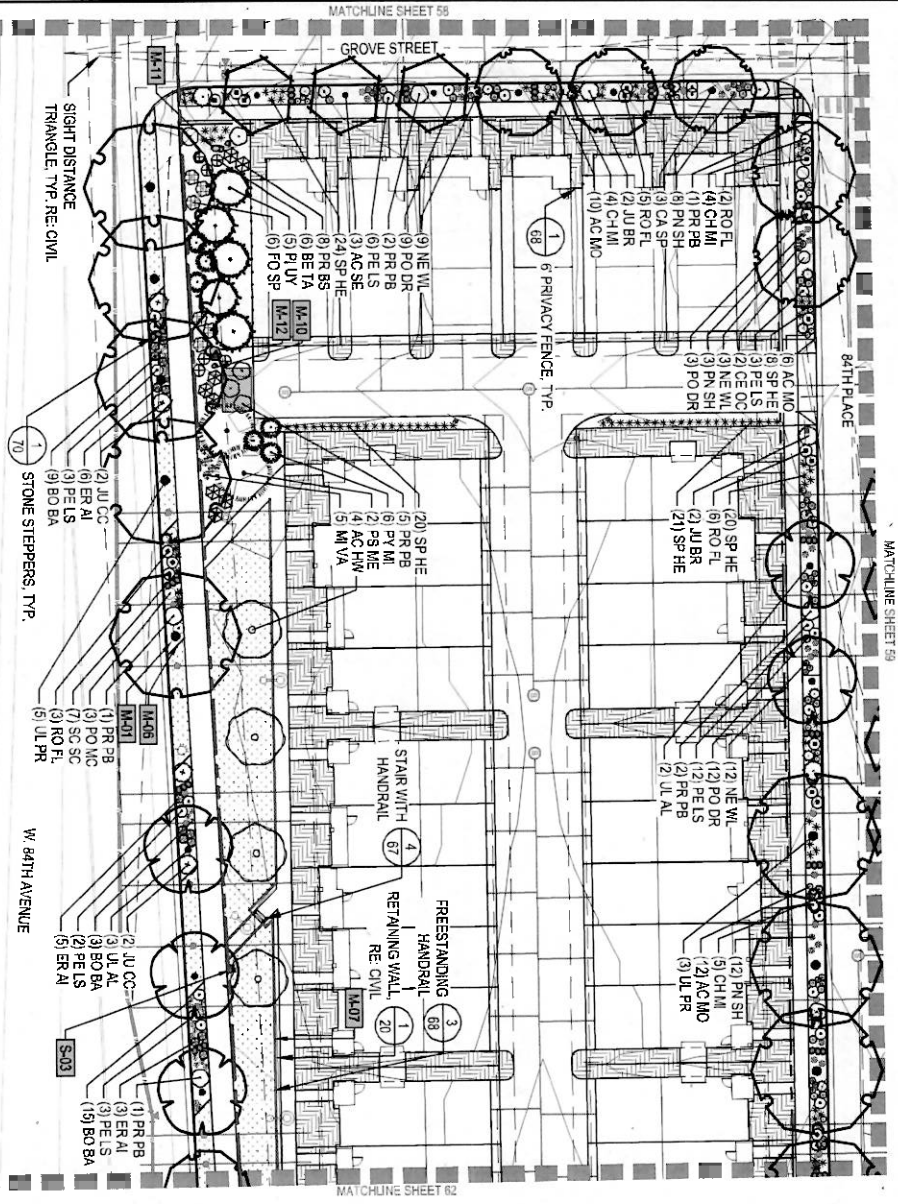
UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

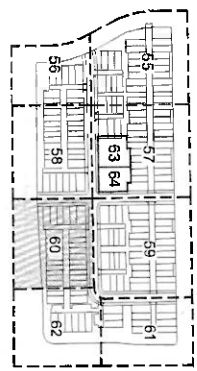
DATE: 05.02.2024

**NORRIS DESIGN**  
 LANDSCAPE ARCHITECTS  
 1721 WEST 86TH AVENUE  
 SUITE 100  
 WESTMINSTER, CO 80056  
 P. 303.426.1100  
 F. 303.426.1101  
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# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 60 OF 106



NOTE:  
 1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
 BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



- LEGEND**
- CANOPY TREE
  - ORNAMENTAL TREE
  - EVERGREEN TREE
  - DECIDUOUS SHRUB
  - EVERGREEN SHRUB
  - ORNAMENTAL GRASS
  - PERENNIAL
  - SNOW STORAGE
  - BIKE RACK
  - TRASH / RECYCLING
  - PET WASTE STATION
  - BENCH BACKED
  - BENCH BACKLESS
  - BIKE REPAIR STAND
  - IRRIGATED TURF - SOD
  - NATIVE GRASS - SOD
  - ON-LOT LANDSCAPE
  - LANDSCAPE BED - ROCK MULCH
  - CRUSHER FINES
  - PLAY SURFACE
  - ENHANCED PAVING
  - ARTIFICIAL TURF
  - LANDSCAPE BED - WOOD MULCH
  - MINOR CONTOUR
  - MAJOR CONTOUR
  - PROPERTY LINE
  - UTILITY EASEMENT
  - 3-6 FRONT FENCE
  - SIGHT TRIANGLE
  - STEEL EDGER
  - WATER LINE, RE. CIVIL
  - SANITARY LINE, RE. CIVIL
  - GAS LINE, RE. CIVIL
  - JOINT TRENCH, RE. CIVIL
  - FIRE HYDRANT, RE. CIVIL
  - LIGHT POLE
  - MATCHLINE
  - ENLARGEMENT LINE
  - PARK BOUNDARY
  - PLAYGROUND CLRB

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023	
REVISIONS	
SUB02: 03/07/24	
SUB03: 05/02/24	
60 OF 106	LANDSCAPE PLAN

UPLANDS FILING NO. 1  
 BLOCK 7  
 OFFICIAL DEVELOPMENT PLAN  
 WESTMINSTER, COLORADO

**UPLANDS**

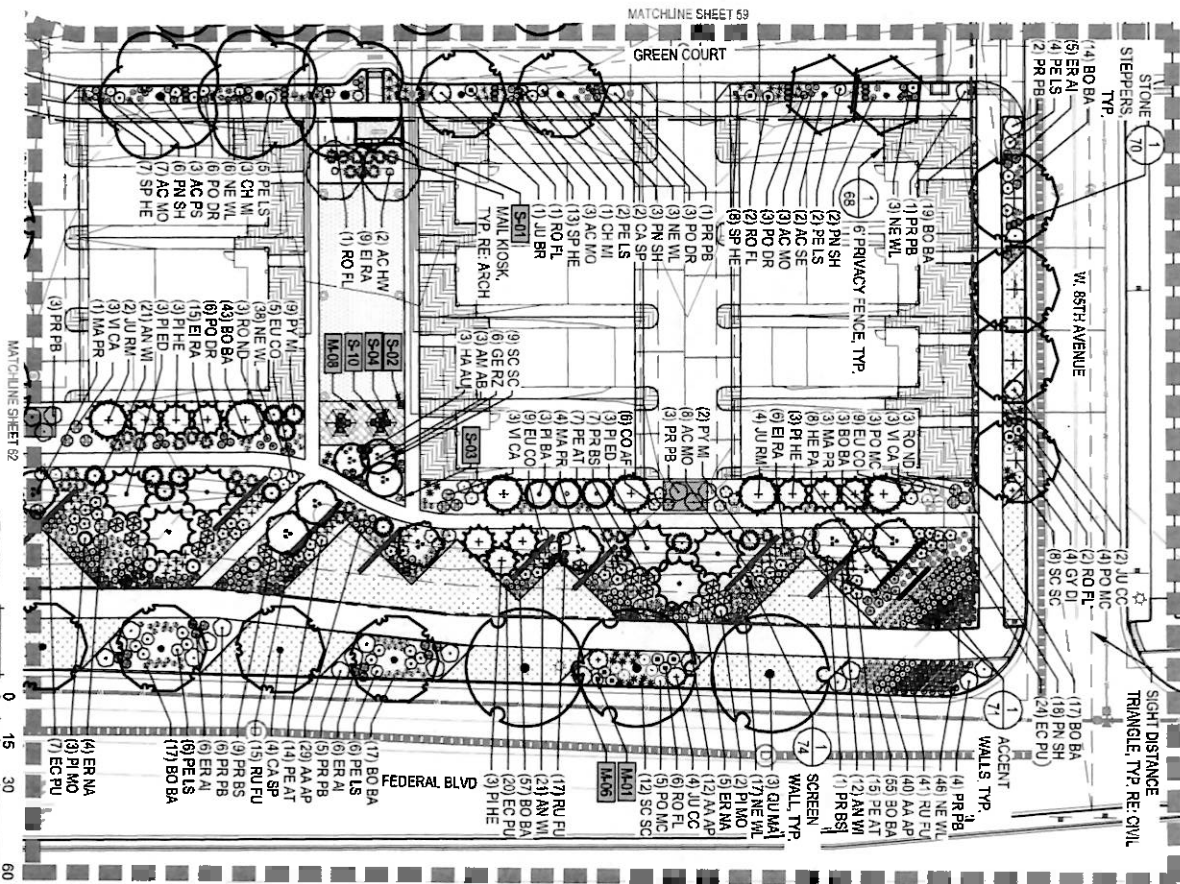
DATE: 05.02.2024

**NORRIS DESIGN**  
 1110 PARK AVENUE, SUITE 200  
 DENVER, CO 80202  
 303.733.1111  
 www.norrisdesign.com

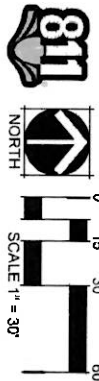


# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7

A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 61 OF 106



NOTE  
1. ROCK MULCH AS SPECIFIED IN MATERIAL SCHEDULE WILL  
BE THE PRIMARY GROUND COVER EXCEPT WHERE SHOWN



KEY MAP PPA-17

## LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- SNOW STORAGE
- BIKE RACK
- TRASH/RECYCLING
- PET WASTE STATION
- TABLE
- BENCH BACKED
- BENCH BACKLESS
- BIKE REPAIR STAND
- IRRIGATED TURF - SOD
- NATIVE GRASS - SOD
- ON LOT LANDSCAPE
- LANDSCAPE BED - ROCK MULCH
- CRUSHER FINES
- PLAY SURFACE
- ENHANCED PAVING
- ARTIFICIAL TURF
- LANDSCAPE BED - WOOD MULCH
- MINOR CONTOUR
- MAJOR CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- 6' PRIVACY FENCE
- 3'-6" FRONT FENCE
- SIGHT TRIANGLE
- STEEL EDGER
- WATER LINE, RE: CIVIL
- SEWAGE LINE, RE: CIVIL
- GAS LINE, RE: CIVIL
- JOINT TRENCH, RE: CIVIL
- FIRE HYDRANT, RE: CIVIL
- LIGHT POLE
- MATCHLINE
- ENLIGHTENMENT
- PARK BOUNDARY
- PLAYGROUND CURB

## UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

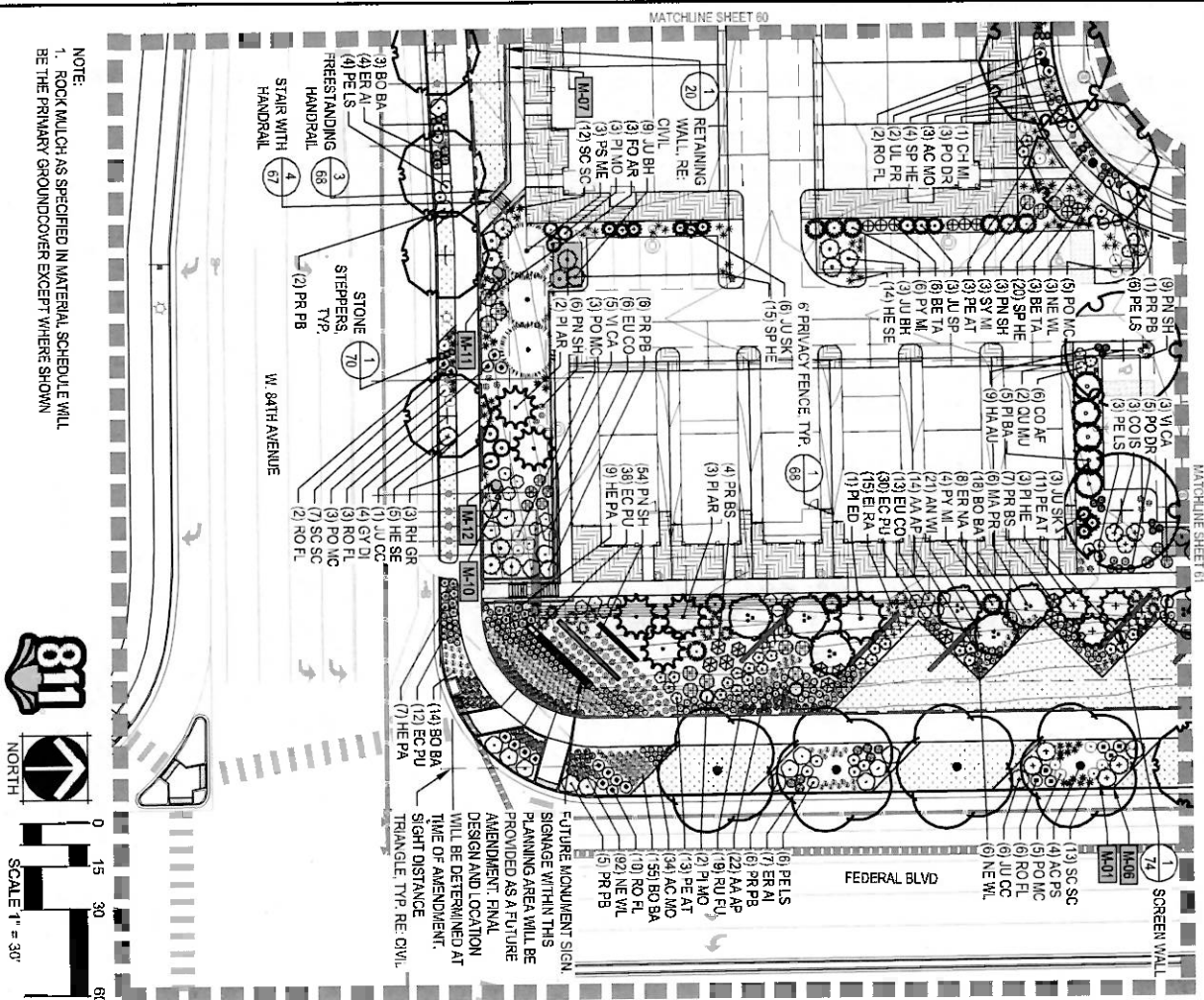
**UPLANDS**

DATE: 05.02.2024

**NORRIS  
DESIGN**  
LANDSCAPE ARCHITECTS  
1000 13TH AVENUE, SUITE 100  
DENVER, CO 80202  
303.733.1111  
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OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24

# OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 7 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 62 OF 106



## LEGEND

	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	SNOW STORAGE
	BIKE RACK
	TRASH / RECYCLING
	PET WASTE STATION
	TABLE
	BENCH BACKLESS
	BIKE REPAIR STAND
	IRRIGATED TURF - SOD
	NATIVE GRASS - SOD
	ON-LOT LANDSCAPE
	LANDSCAPE BED - ROCK MULCH
	CRUSHER FINES
	PLAY SURFACE
	ENHANCED PAVING
	ARTIFICIAL TURF
	LANDSCAPE BED - WOOD MULCH
	MINOR CONTOUR
	MAJOR CONTOUR
	PROPERTY LINE
	UTILITY EASEMENT
	6' PRIVACY FENCE
	3-4' FRONT FENCE
	SIGHT TRIANGLE
	STEEL EDGER
	WATER LINE - RE CIVIL
	SANITARY LINE - RE CIVIL
	GAS LINE - RE CIVIL
	JOINT TRENCH - RE CIVIL
	FIRE HYDRANT - RE CIVIL
	LIGHT POLE
	MATCHLINE
	ENLARGEMENT LINE
	PARK BOUNDARY
	PLAYGROUND CURB

## UPLANDS FILING NO. 1 BLOCK 7 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

**UPLANDS**

DATE: 05.02.2024

OFFICIAL DEVELOPMENT PLAN PREPARED: 12.07.2023
REVISIONS
SUB02: 03/07/24
SUB03: 05/02/24