



Drexel, Barrell & Co.
Engineers-Surveyors
1376 MINERS DR., SUITE 107
LAFAYETTE, COLORADO 80026
LAFAYETTE
COLORADO SPRINGS

LEGAL DESCRIPTION

LOTS 10 THROUGH 14, INCLUSIVE, BLOCK 5, VALLEY VIEW ESTATES, COUNTY OF ADAMS, STATE OF COLORADO, RECORDED SEPTEMBER 25, 1963 AT THE ADAMS COUNTY RECORDS BOOK NO. 7, PAGE NO. 121, RECEPTION NO. 707602, FILE 11 MAP 121.

SURVEYOR'S CERTIFICATE

I, MATHEW E. SELDERS, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ P.L.S. #27275

PERMITTED USES

THE USES WILL BE LIMITED TO THOSE OUTLINED IN THE CITY COMPREHENSIVE LAND USE PLAN FOR RESIDENTIAL MEDIUM DENSITY (SINGLE-FAMILY ATTACHED UP TO 8.0 D.U. PER ACRE).

PROHIBITED USES

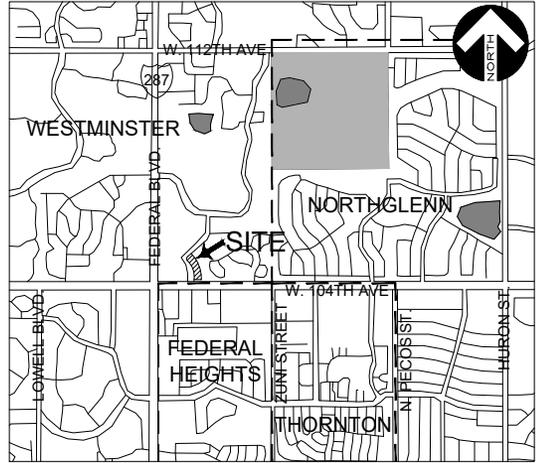
ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE

THIS PROJECT WILL CONSIST OF REPLATTING THE PROPERTY FROM 5 LOTS TO 12 LOTS TO ACCOMMODATE THE CONSTRUCTION OF 6 DUPLEX BUILDINGS CONSISTING OF A TOTAL OF 12 UNITS WITH 3 BEDROOMS PER UNIT. EACH LOT WILL BE INDIVIDUALLY OWNED AND A HOMEOWNERS ASSOCIATION WILL MAINTAIN THE TRACT WITH THE PARK, FRONT LANDSCAPING FOR EACH UNIT, AND THE TRACT WITH THE RAIN GARDEN.

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
VALLEY VIEW ESTATES
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 21

VICINITY MAP



ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	PUD	MEDIUM DENSITY RESIDENTIAL	RESIDENTIAL MEDIUM DENSITY
NORTH:	PUD/O-1	RETAIL COMMERCIAL/PARK	SERVICE COMMERCIAL/PARKS
SOUTH:	PUD	RETAIL COMMERCIAL	N.A. (FEDERAL HEIGHTS)
EAST:	PUD	LOW DENSITY RESIDENTIAL	RESIDENTIAL LOW DENSITY
WEST:	PUD /C-1	RETAIL COMMERCIAL/OFFICE	SERVICE COMMERCIAL/OFFICE

LOTS AND COVERAGE

TOTAL SITE AREA:	72,908 SF
NUMBER OF LOTS:	12
BUILDING COVERAGE (SF & %):	20,682 SF (28.4%)
PARKING AND DRIVES (SF & %):	9,424 SF (12.9%)
LANDSCAPE AREA (SF & %):	42,802 SF (58.7%)
MINIMUM LOT SIZE:	4,927 SF

PROJECT/SITE DATA

ODP BOUNDARY AREA (SF/ACRES):	72,908 SF (1.67 ACRES)
GFA (SF):	48,228 SF (4,019/UNIT)
FFA (SF):	28,824 SF (2,402/UNIT)
DU PER ACRE (#):	7.18 DU/ACRE
MAXIMUM BUILDING HEIGHT(S) (FT):	3-STORY (36'-1")

MINIMUM SETBACKS

	BUILDING		PARKING	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FROM RIGHT-OF-WAY (FT):	30'	20'	15'	20'
FROM INTERNAL PROPERTY LINES (FT):	7.5'	7.5'	15'	N.A.
BETWEEN BUILDINGS (FT):	15'	15'	N.A.	N.A.
FROM REAR (FT):	54'-1.5"	34'	N.A.	N.A.

OWNER APPROVAL

I, RICARDO VELEZ, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT _____ O'CLOCK ____M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

SHEET INDEX

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- SHEET 7 - LANDSCAPE NOTES
- SHEET 8 - OVERALL LANDSCAPE PLAN
- SHEET 9 - LANDSCAPE ENLARGEMENT PLAN
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- SHEET 11 - PLANT SCHEDULE
- SHEET 12 - HYDROZONE PLAN
- SHEET 13 - SITE DETAILS
- SHEET 14 - SITE DETAILS
- SHEET 15 - SITE DETAILS
- SHEET 16 - BUILDING FLOOR PLANS
- SHEET 17 - BUILDING ELEVATIONS
- SHEET 18 - BUILDING ELEVATIONS
- SHEET 19 - SITE SECTIONS
- SHEET 20 - PHOTOMETRIC PLAN
- SHEET 21 - PHOTOMETRIC PLAN

PROPERTY OWNER

RICARDO VELEZ
220 W. SUTTON CIR.
LAFAYETTE, CO 80026
PHONE: (510) 340-1173
EMAIL: RICARDO@GREATASCENTDEVELOPMENT.COM

CONSULTANTS:

ENGINEER/SURVEYOR:
DREXEL, BARRELL & CO.
1376 MINERS DR., SUITE 107
LAFAYETTE, CO 80026
CONTACT: CAMERON KNAPP, P.E.
PHONE: (303) 442-4338
EMAIL: CKNAPP@DREXELBARRELL.COM

ARCHITECT & LANDSCAPE DESIGN:
DTJ DESIGN

3101 IRIS AVENUE, SUITE 130
BOULDER, CO 80301
CONTACT: DAVID POPPLETON/JAMES PALMER
PHONE: (303) 443-7533
EMAIL: DPOPPLETON@DTJDESIGN.COM
JPALMER@DTJDESIGN.COM

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:
THE PROJECT WILL CONSIST OF ONLY A SINGLE PHASE OF CONSTRUCTION. DUPLEX BUILDING CONSTRUCTION IS EXPECTED TO START AT THE SOUTH END OF THE PROPERTY AND FILL IN GOING NORTH AS UNITS ARE SOLD.

DATE: 07/09/2024

VALLEY VIEW ESTATES

PREPARED: 01/12/2022
REVISION: 06/14/2022
REVISION: 08/24/2022
REVISION: 04/28/2023
REVISION: 07/17/2023
REVISION: 04/24/2024
REVISION: 07/09/2024

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$2,035 (2024) PER DWELLING UNIT IS DUE TO THE CITY. FOR 12 DWELLINGS THE TOTAL FEE IS \$24,420. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (§11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS.

PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2.5 PERSONS PER UNIT. FOR 12 UNITS THE POPULATION IS 30 PERSONS. FOR 30 PERSONS THE PUBLIC LAND DEDICATION REQUIRED IS 0.36 ACRES. BASED ON A LAND PURCHASE PRICE (OR FAIR MARKET VALUE AS DETERMINED BY A CURRENT APPRAISAL) OF \$245,678 PER ACRE MULTIPLIED BY 0.36 ACRES, THE CASH-IN-LIEU TOTALS \$88,445. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR SINGLE FAMILY ATTACHED A FEE OF \$468.00 (2024) PER DWELLING UNIT IS DUE TO THE CITY. FOR 12 DWELLINGS THE TOTAL FEE IS \$5,616.00. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

EXCEPTIONS

BELOW IS A LIST OF EXCEPTIONS TO THE MULTI-FAMILY DESIGN STANDARDS PROVIDED BY THE DEVELOPER. THE LIST IDENTIFIES EACH REQUIREMENT THAT HAS NOT BEEN MET, THE REQUIRED STANDARD, WHAT WAS PROVIDED, AND THE APPLICANT'S JUSTIFICATION FOR THE EXCEPTION.

1. FRONT BUILDING SETBACK

REQUIREMENT NOT MET.
THE REQUIRED FRONT SETBACK IS 30' FROM THE PROPOSED RIGHT OF WAY FOR A COLLECTOR STREET PER SECTION 11(A)(3) OF THE SINGLE FAMILY ATTACHED DESIGN STANDARDS. THE PROVIDED SETBACK IS 20' FROM THE RIGHT OF WAY.

JUSTIFICATION

THE EXISTING ROW AND DETACHED SIDEWALK ALREADY PROVIDES 17' OF DISTANCE FROM THE EXISTING CURB IN N. ELIOT STREET ALONG THE FRONT OF THE LOTS. THE 17' IS IN ADDITION TO THE 20' FROM THE BACK OF WALK TO THE GARAGE DOORS. ENHANCED LANDSCAPING, AS SHOWN ON THE LANDSCAPE PLANS, PROVIDES VISUAL SCREENING AND REDUCED LIGHTING FROM CAR HEADLIGHTS.

2. REAR BUILDING SETBACK

REQUIREMENT NOT MET.
THE REQUIRED REAR (INTERIOR) SETBACK IS 54'-1.5" PER SECTION 1(B) OF THE SINGLE FAMILY ATTACHED DESIGN STANDARDS. THE PROVIDED SETBACK IS 34' FROM THE REAR PROPERTY LINE THAT IS ADJACENT TO SINGLE-FAMILY ATTACHED.

JUSTIFICATION

THE REAR SETBACK OF 25' IS MET FOR DUPLEX SETBACKS PER SECTION 11(C)(3); HOWEVER, THE MORE STRINGENT SETBACK CALCULATED BY MULTIPLYING THE BUILDING HEIGHT BY 1.5, EQUALING 54'-1.5", CANNOT BE MET DUE TO THE EXISTING LOT DEPTH (AS SHOWN IN A SEPARATELY PROVIDED EXHIBIT). FENCING AND LANDSCAPE SCREENING IS PROVIDED FOR ADDED BUFFERING.

3. DOG CLEANUP STATIONS

REQUIREMENT NOT MET.
PER SECTION 8(C)(4) THE REQUIREMENT IS FOR AT LEAST THREE (3) DOG CLEANUP STATIONS. ONLY 1 DOG CLEANUP STATION IS PROVIDED.

VALLEY VIEW ESTATES

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 21

EXCEPTIONS (CONTINUED)

JUSTIFICATION

THE SMALL SIZE OF THE DEVELOPMENT (12 UNITS) AND PRIVATE PARK (9,522 SF) CAN ADEQUATELY BE SERVED BY A SINGLE DOG CLEAN UP STATION.

4. LANDSCAPED MEDIAN/ISLAND

REQUIREMENT NOT MET.
A LANDSCAPED MEDIAN/ISLAND IS REQUIRED AT THE MAJOR ENTRANCE TO THE PROJECT PER SECTION 8(A)(2). NO MEDIAN WILL BE PROVIDED.

JUSTIFICATION

DUE TO THE SMALL SIZE OF THE PROJECT AND EXISTING CONFIGURATION OF THE ADJACENT STREETS, A MEDIAN IS NOT PRACTICAL. THE ENTRY FEATURE WILL BE EXPANDED IN SIZE AND SCOPE, AS WELL AS CONTAINING THE AMOUNT OF LANDSCAPING THAT WOULD OTHERWISE BE LOCATED IN A MEDIAN.

5. RETAINING WALL SEPARATION

REQUIREMENT NOT MET.
A MINIMUM LANDSCAPE AREA OF 7-FEET IN WIDTH MUST BE PROVIDED BETWEEN ADJACENT RETAINING WALLS PER THE CITY'S RETAIL COMMERCIAL DESIGN GUIDELINES SECTION VI.A.9. THE PROVIDED WIDTH IS 4-FEET.

JUSTIFICATION

THE 7-FEET SEPARATION IS NOT POSSIBLE DUE TO THE SMALL SIZE OF THE DEVELOPMENT AND ACHIEVING THE REQUIRED VOLUME IN THE RAIN GARDEN. HOWEVER, THE INCREASED 58% TOTAL SITE LANDSCAPING OFFSETS THIS LACK OF LANDSCAPE AREA.

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.

DESIGN ELECTIVES

ELECTIVE	SCORE
BUILDINGS WILL HAVE VARIETY OF HORIZONTAL OFF-SETS	50
BUILDINGS WILL INCLUDE NO MORE THAN SIX ADJACENT UNITS	200
PRIVATE PATIOS & BALCONIES PROVIDED ON 100% OF ALL UNITS	150
USABLE FRONT PORCHES PROVIDED ON 100% OF ALL UNITS	250
AT LEAST 50% OF BUILDING SIDES FINISHED WITH MASONRY	250
100% OF HOUSING UNITS PRE-WIRED FOR SOLAR PHOTOVOLTAIC	100
ELECTRIC VEHICLE CHARGING STATIONS FOR 10% OF ALL UNITS	250
BIKE & PEDESTRIAN CONNECTIONS BETWEEN NEIGHBORHOODS	100
BENCH PROVIDED ALONG PEDESTRIAN PATHWAY	25
100% OF REQUIRED PARKING WITHIN ATTACHED GARAGES	750
EVERGREEN TREES PLANTED BEHIND ENTRY MONUMENT SIGN	75
PRIVATE PARK AREA INCREASED ABOVE 4% MIN. (6% AND UP)	400
PRIVATE LANDSCAPE INCREASED ABOVE 40% MIN. (50% AND UP)	300
PERENNIALS/ANNUAL INCORPORATED INTO ENTRY FEATURE	50
TREE LAWN INCREASED 1' FOR EACH ADDITIONAL FOOT OVER 6'	300
HIGH WATER TURF LESS THAN 20% OF LANDSCAPE AREA	125
BIO-RETENTION AREA OF 20% OF TOTAL DETENTION AREA	150
TOTAL POINTS COMMITTED:	3,525

- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. STREETLIGHTS SHALL BE OWNED, OPERATED AND MAINTAINED BY XCEL ENERGY. THE DEVELOPER SHALL COORDINATE WITH XCEL ENERGY FOR DESIGN AND INSTALLATION.
- N. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- O. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- P. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- Q. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- R. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- S. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- T. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES. PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- U. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- V. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

VALLEY VIEW ESTATES

DATE: 07/09/2024



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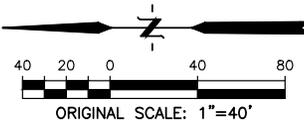
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THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
VALLEY VIEW ESTATES
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 21

LEGEND

- PROPERTY LINE.....
- EXISTING RIGHT OF WAY.....
- EASEMENT LINE.....
- SETBACK LINE.....
- PROPOSED LOT LINE.....
- EXISTING FENCE.....
- PROPOSED SPLIT RAIL FENCE.....
- PROPOSED WOOD FENCE W/BRICK COLUMNS.....
- EXISTING CONCRETE.....
- PROPOSED MAINTENANCE ACCESS ROAD.....
(CAN BE EITHER 3" ANGULAR ROCK OR PERMEABLE PAVEMENT SUCH AS GRASSCRETE OR MODULAR PLASTIC PAVERS FILLED WITH EITHER GRAVEL OR GRASS)
- PROPOSED CONCRETE.....
- EXISTING STREET LIGHT.....
- EXISTING SIGN.....
- PROPOSED SIGN.....



PARKING

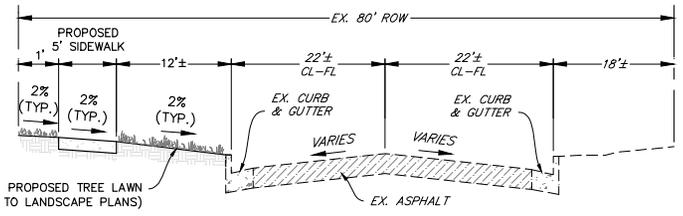
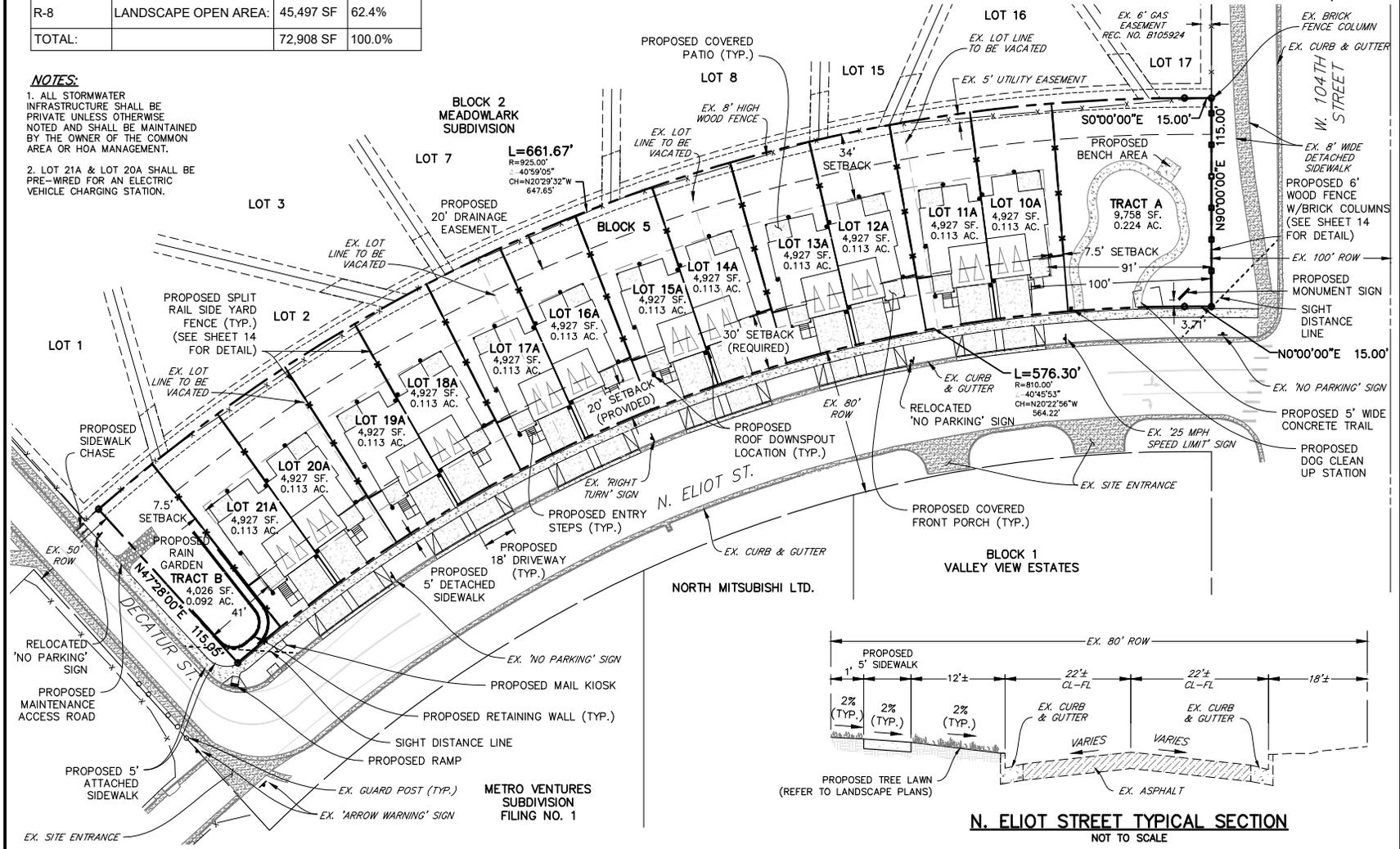
TYPE	SPACES REQUIRED	SPACES PROVIDED
VEHICULAR, TOTAL (#):	24	24
VEHICULAR, STANDARD (#):	24	24
VEHICULAR, ACCESSIBLE (#):	N.A.	N.A.
VEHICULAR, VAN ACCESSIBLE (#):	N.A.	N.A.
VEHICULAR, EV CHARGING (#):	N.A.	N.A.
BICYCLE, TOTAL (#):	N.A.	N.A.
BICYCLE, SHORT-TERM (#):	N.A.	N.A.
BICYCLE, LONG-TERM (#):	N.A.	N.A.

LOT COVERAGE

LAND USE	SURFACE TYPE	AREA (SF)	% OF SITE
R-8	BUILDING COVERAGE:	19,333 SF	26.5%
R-8	PAVING AND DRIVES:	8,078 SF	11.1%
R-8	LANDSCAPE OPEN AREA:	45,497 SF	62.4%
TOTAL:		72,908 SF	100.0%

NOTES:

- ALL STORMWATER INFRASTRUCTURE SHALL BE PRIVATE UNLESS OTHERWISE NOTED AND SHALL BE MAINTAINED BY THE OWNER OF THE COMMON AREA OR HOA MANAGEMENT.
- LOT 21A & LOT 20A SHALL BE PRE-WIRED FOR AN ELECTRIC VEHICLE CHARGING STATION.



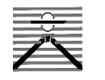
METRO VENTURES
SUBDIVISION
FILING NO. 1

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
VALLEY VIEW ESTATES
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 21

BENCHMARK:

NGS MONUMENT "N 411" PID-KK1406
 LOCATED AT THE INTERSECTION OF W. 104TH AVENUE AND CROKE DRIVE,
 61.4 FEET SOUTH OF THE CENTERLINE OF THE EAST BOUND LANES OF THE AVENUE,
 33.5 FEET WEST OF THE CENTER OF THE DRIVE, AND 3.9 FEET WEST OF UTILITY
 POLE NUMBER 10395.

PUBLISHED ELEVATION = 5453.20 (BASED ON NAVD88 DATUM)



Drexel, Barrell & Co.
 Engineers-Surveyors
 1376 MINERS DR., SUITE 107
 LAFAYETTE, COLORADO 80026
 LAFAYETTE,
 COLORADO SPRINGS

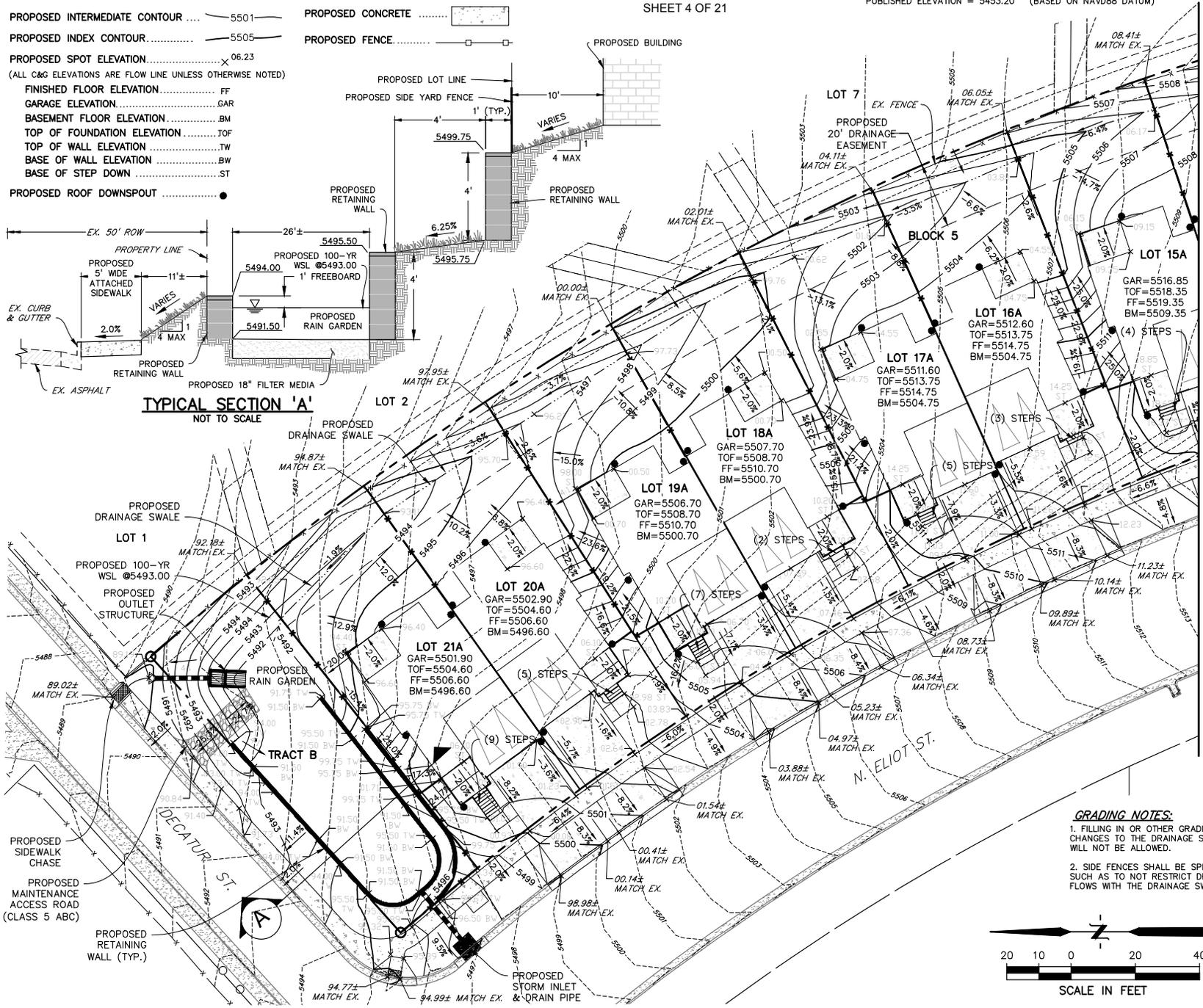
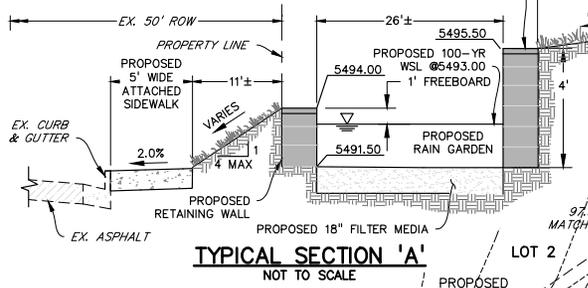
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VALLEY VIEW ESTATES

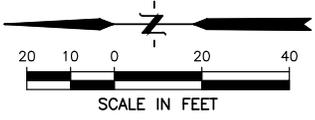
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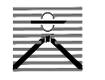
LEGEND

- FLOWLINE OF DRAINAGE SWALE EXISTING CONCRETE
- EX. INTERMEDIATE CONTOUR -5501
- EX. INDEX CONTOUR -5505
- PROPOSED INTERMEDIATE CONTOUR 5501
- PROPOSED INDEX CONTOUR 5505
- PROPOSED SPOT ELEVATION 06.23
- FINISHED FLOOR ELEVATION FF
- GARAGE ELEVATION GAR
- BASEMENT FLOOR ELEVATION BM
- TOP OF FOUNDATION ELEVATION TOF
- TOP OF WALL ELEVATION TW
- BASE OF WALL ELEVATION BW
- BASE OF STEP DOWN ST
- PROPOSED ROOF DOWNSPOUT
- PROPOSED MAINTENANCE ACCESS ROAD (CLASS 5)
- PROPOSED CONCRETE
- PROPOSED FENCE



GRADING NOTES:
 1. FILLING IN OR OTHER GRADING CHANGES TO THE DRAINAGE SWALE WILL NOT BE ALLOWED.
 2. SIDE FENCES SHALL BE SPLIT RAIL SUCH AS TO NOT RESTRICT DRAINAGE FLOWS WITH THE DRAINAGE SWALE.





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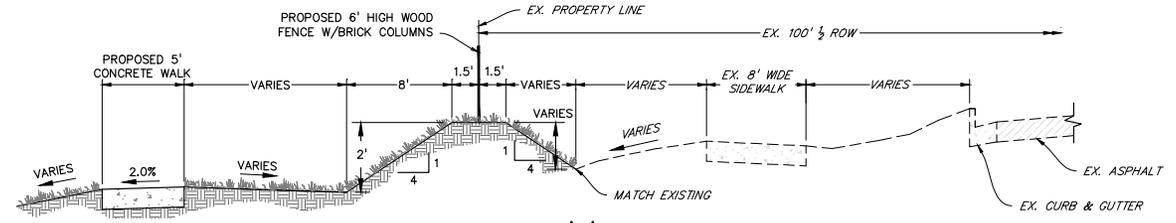
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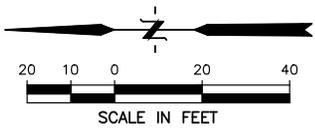
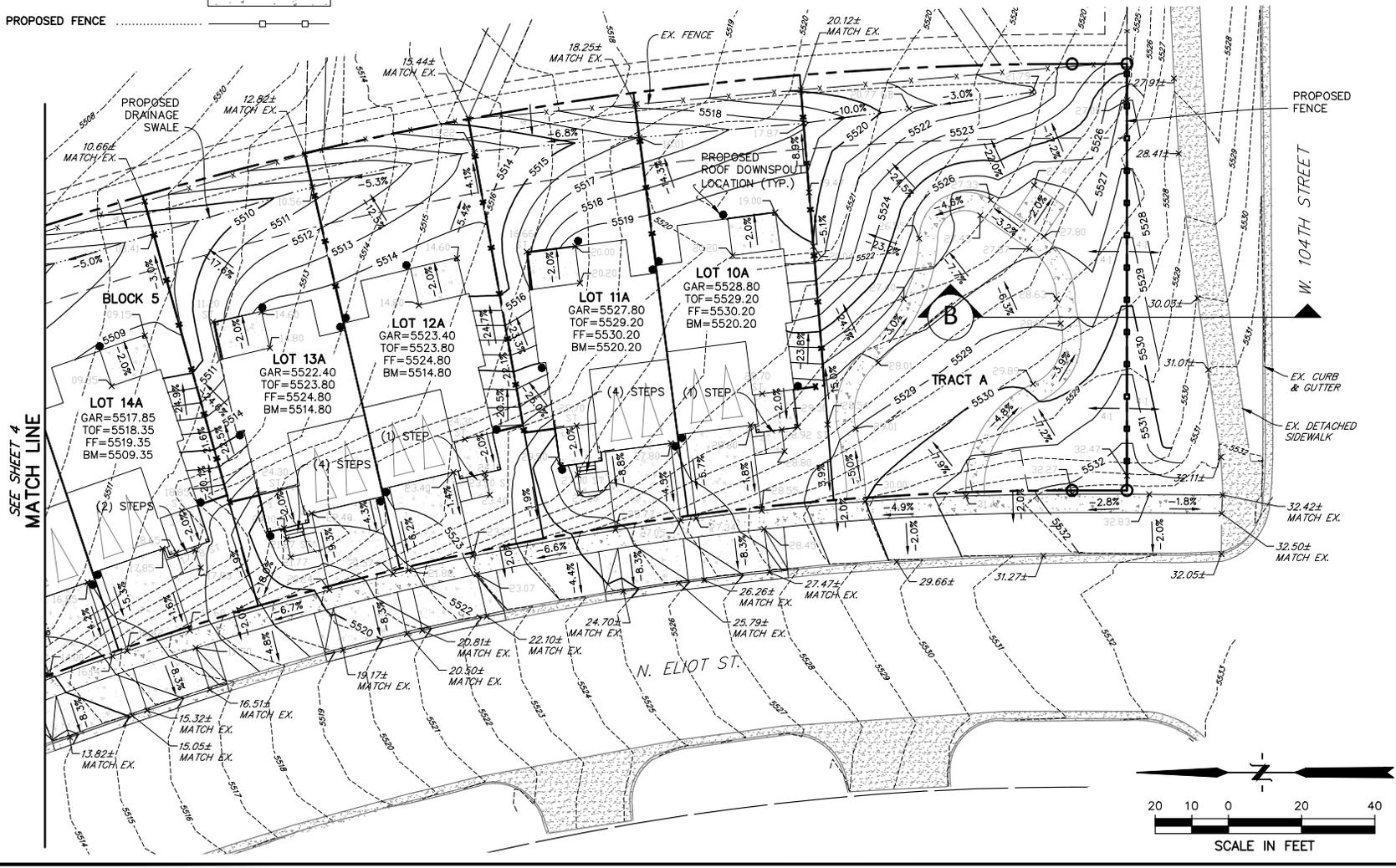
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- EX. INTERMEDIATE CONTOUR
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- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED FENCE



TYPICAL SECTION 'B'
NOT TO SCALE

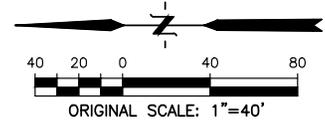


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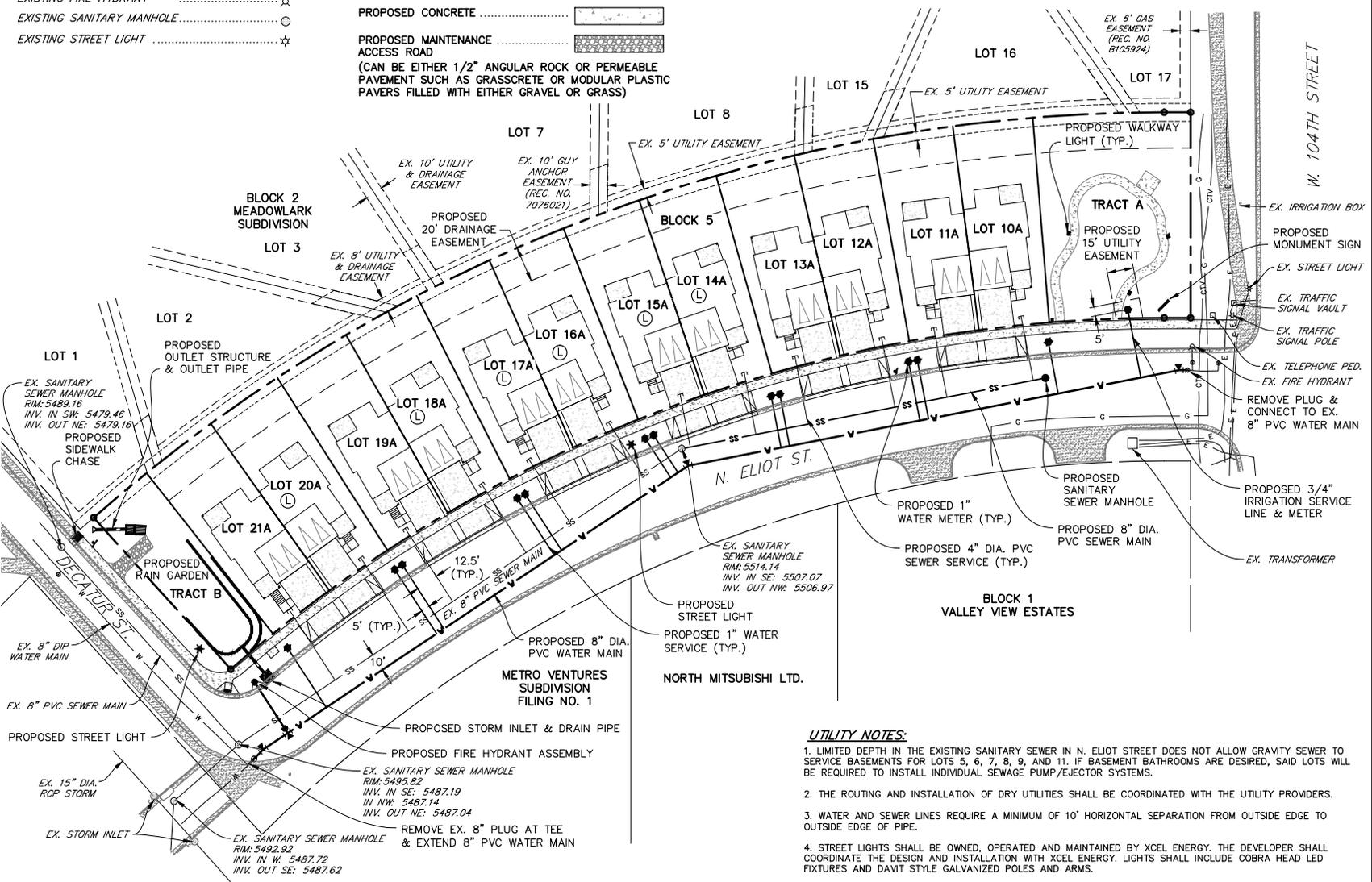
LEGEND

PROPERTY LINE	-----	PROPOSED LOT LINE	-----
EX. RIGHT OF WAY	-----	PROPOSED SANITARY SEWER	SS -----
EASEMENT LINE	-----	PROPOSED WATER SERVICE LINE	-----
SETBACK LINE	-----	PROPOSED SANITARY SERVICE	-----
EX. GAS LINE	G -----	PROPOSED WATER SERVICE LINE	-----
EX. BURIED ELECTRIC LINE	E -----	PROPOSED WATER METER	●
EX. TELEPHONE	T -----	PROPOSED FIRE HYDRANT	▲
EX. BURIED CABLE LINE	CTV -----	PROPOSED SEWER MANHOLE	●
EX. WATER LINE	W -----	SEWER LIFT PUMP (REQ. FOR BASEMENT)	⊕
EX. SANITARY SEWER	SS -----	EXISTING CONCRETE	[Pattern]
EX. STORM SEWER	ST -----	PROPOSED CONCRETE	[Pattern]
EXISTING FIRE HYDRANT	⊕	PROPOSED MAINTENANCE ACCESS ROAD	[Pattern]
EXISTING SANITARY MANHOLE	⊕	(CAN BE EITHER 1/2" ANGULAR ROCK OR PERMEABLE PAVEMENT SUCH AS GRASSCRETE OR MODULAR PLASTIC PAVERS FILLED WITH EITHER GRAVEL OR GRASS)	
EXISTING STREET LIGHT	☆		

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Know what's below.
 Call before you dig.



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UTILITY NOTES:

- LIMITED DEPTH IN THE EXISTING SANITARY SEWER IN N. ELIOT STREET DOES NOT ALLOW GRAVITY SEWER TO SERVICE BASEMENTS FOR LOTS 5, 6, 7, 8, 9, AND 11. IF BASEMENT BATHROOMS ARE DESIRED, SAID LOTS WILL BE REQUIRED TO INSTALL INDIVIDUAL SEWAGE PUMP/EJECTOR SYSTEMS.
- THE ROUTING AND INSTALLATION OF DRY UTILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDERS.
- WATER AND SEWER LINES REQUIRE A MINIMUM OF 10' HORIZONTAL SEPARATION FROM OUTSIDE EDGE TO OUTSIDE EDGE OF PIPE.
- STREET LIGHTS SHALL BE OWNED, OPERATED AND MAINTAINED BY XCEL ENERGY. THE DEVELOPER SHALL COORDINATE THE DESIGN AND INSTALLATION WITH XCEL ENERGY. LIGHTS SHALL INCLUDE COBRA HEAD LED FIXTURES AND DAVIT STYLE GALVANIZED POLES AND ARMS.



ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
3101 Iris Avenue, Suite 130
Boulder, Colorado 80301
T.303.443.7533

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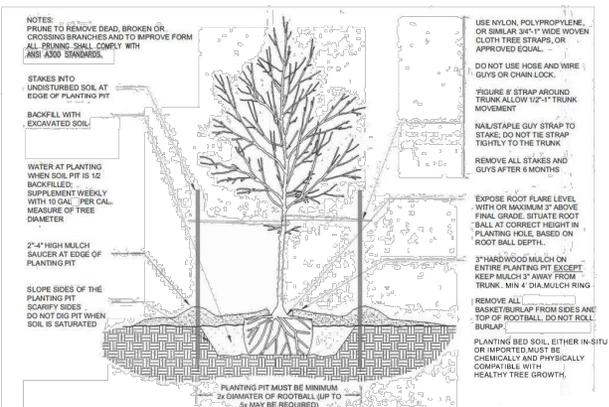
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GENERAL NOTES:

- A. ALL SHRUBS BEDS SHALL BE MULCHED WITH 1/2" ANGULAR ROCK OR WOOD MULCH TO A MINIMUM 3" DEPTH. OVER WEED FABRIC, EXCEPT AT THE RAIN GARDEN SPILLWAY WHICH SHALL HAVE 2"-4" ANGULAR ROCK WITH NO WEED FABRIC. AT THE SIDES OF UNITS AND REAR FOUNDATIONS SHALL BE AN ACCESS WALKWAY, NO IRRIGATION SHALL BE INSERTED OR SPRAY WITHIN THIS ZONE.
- B. ALL SHRUB BEDS AND TURF AREAS SHALL BE SEPARATED BY ROLLED TOP, STEEL EDGER, 4" IN HT. 3/16" THICK, SET LEVEL WITH THE TOP OF SOD.
- C. ALL PLANTING AREAS SHALL BE PREPARED BY TILLING IN SOIL AMENDMENTS TO A DEPTH OF 8" AT A RATE OF 1 CUBIC YARD PER 200 SQUARE FEET.
- D. ALL PLANTING WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED TO NOT EXCEED 36" HT. NO TREES SHALL BE PLANTED WITHIN SIGHT TRIANGLES. TREES ADJACENT TO A SIGHT TRIANGLE SHALL BE LIMBED UP AS NEEDED TO 8' FROM GROUND LEVEL TO ENSURE CLEAR VISIBILITY.
- E. THE HORIZONTAL DISTANCE BETWEEN TREES AND SITE UTILITIES SHALL CONFORM WITH CODES OF THE LOCAL GOVERNING AUTHORITY.
- F. UTILITIES SHALL BE IDENTIFIED PRIOR TO PLANTING INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST AND REPAIRS OF ANY UTILITIES DAMAGED DURING THE PLANT INSTALLATION.
- G. CONTRACTOR IS RESPONSIBLE TO DELIVER HEALTHY, VIGOROUS PLANTS FREE OF DISEASE AND PESTS.

STANDARD STATEMENTS:

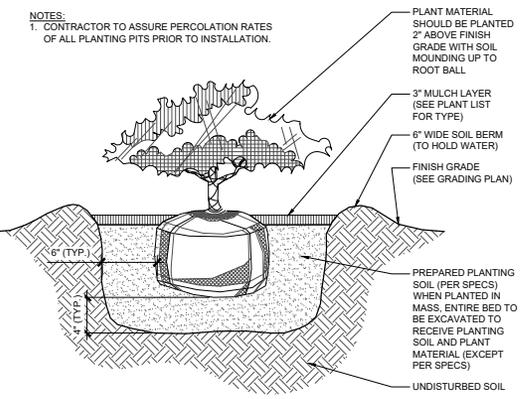
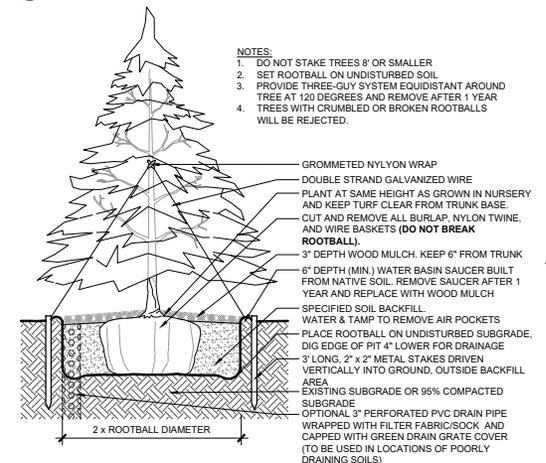
- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAN.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.



SEPTEMBER 2023

CITY OF WESTMINSTER STND TREE PLANTING DETAIL

1 L1.0 DECIDUOUS TREE PLANTING SECTION



2 L1.0 EVERGREEN TREE PLANTING SECTION

3 L1.0 SHRUB & GROUND COVER PLANTING SECTION

	PRIVATE LANDSCAPE AREA (44,313SF)			RIGHT-OF-WAY LANDSCAPE AREA (8,398SF)		
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	81	83	1/550 SF	16	17
SHRUBS	3/550 SF	241	244	3/550 SF	46	48

PLANTING NOTE: PER THE CITY OF WESTMINSTER LANDSCAPE REGULATIONS, 20% OF THE COMMON AREA DECIDUOUS TREES SHALL BE INCREASED TO 3" CALIPER, AND 20% OF THE EVERGREEN TREES SHALL BE INCREASED TO 8" HT.

USE	SURFACE TYPE	AREA (SF)	% OF SITE
RESIDENTIAL	BUILDING COVERAGE	19,333	26.50%
	PAVING AND DRIVES	8,078	11.10%
	PRIVATE LANDSCAPE PARK, OPEN SPACE, TRAILS	45,497	62.40%
TOTALS:		72,908	100.0%

SOIL AMENDMENT CALCULATIONS		
	1 CU. YD. / 200 SF	CU. YD. REQUIRED
PRIVATE L.A.	44,313 SF	221.5
R.O.W. L.A.	8,398 SF	42
ORGANIC AMENDMENT TILLED 8" DEEP INTO SOIL AGED GROUND MANURE OR COMPOST CONTAINING A MIN. OF 50% ORGANIC MATTER IS RECOMMENDED		

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 LANDSCAPE ARCHITECTURE
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 Boulder, Colorado 80301
 T.303.443.7533

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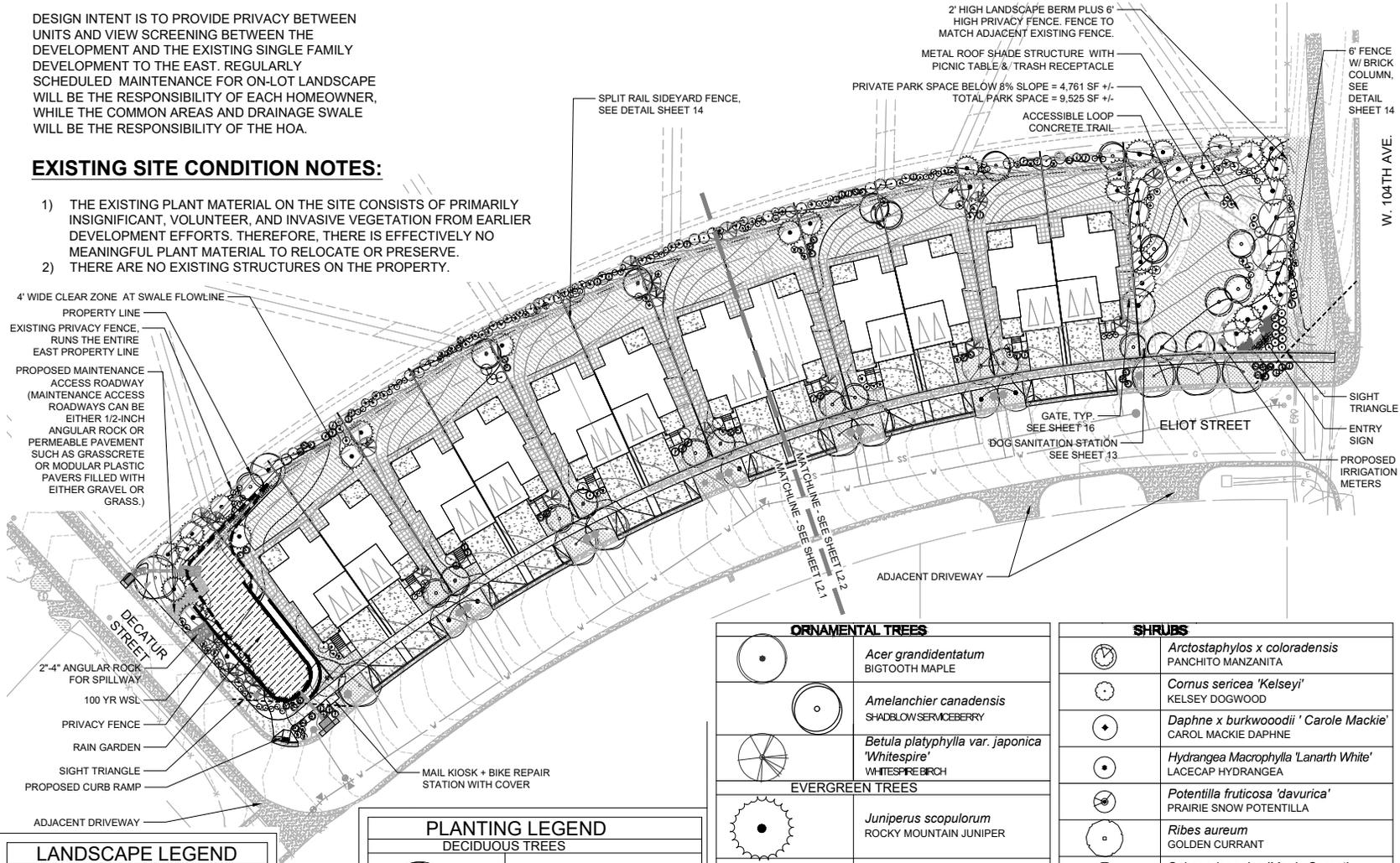
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DESIGN INTENT NARRATIVE

DESIGN INTENT IS TO PROVIDE PRIVACY BETWEEN UNITS AND VIEW SCREENING BETWEEN THE DEVELOPMENT AND THE EXISTING SINGLE FAMILY DEVELOPMENT TO THE EAST. REGULARLY SCHEDULED MAINTENANCE FOR ON-LOT LANDSCAPE WILL BE THE RESPONSIBILITY OF EACH HOMEOWNER, WHILE THE COMMON AREAS AND DRAINAGE SWALE WILL BE THE RESPONSIBILITY OF THE HOA.

EXISTING SITE CONDITION NOTES:

- 1) THE EXISTING PLANT MATERIAL ON THE SITE CONSISTS OF PRIMARILY INSIGNIFICANT, VOLUNTEER, AND INVASIVE VEGETATION FROM EARLIER DEVELOPMENT EFFORTS. THEREFORE, THERE IS EFFECTIVELY NO MEANINGFUL PLANT MATERIAL TO RELOCATE OR PRESERVE.
- 2) THERE ARE NO EXISTING STRUCTURES ON THE PROPERTY.



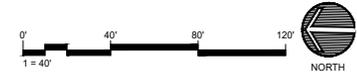
LANDSCAPE LEGEND	
	LIMIT OF WORK
	PROPERTY BOUNDARY
	MATCHLINE
	MANICURED TURF: FINE FESCUE GRASS
	MANICURED TURF: BUFFALO GRASS
	RAIN GARDEN SEED MIX / PLANTING
	STEPPING STONES SEE SHEET 13
	PROPOSED MAINTENANCE ACCESS ROAD
	2'-4" ANGULAR ROCK FOR SPILLWAY

PLANTING LEGEND	
DECIDUOUS TREES	
	<i>Acer x fremanii</i> Freeman MAPLE
	<i>Gleditsia triacanthos inermis</i> Thornless Honey Locust
	<i>Ulmus americana 'Valley Forge'</i> American Elm
	<i>Zelkova serrata 'Village Green'</i> JAPANESE ZELKOVA

ORNAMENTAL TREES	
	<i>Acer grandidentatum</i> BIGTOOTH MAPLE
	<i>Amelanchier canadensis</i> SHADBLOW SERVICEBERRY
	<i>Betula platyphylla var. japonica</i> 'Whitespire' WHITESPIRE BIRCH
EVERGREEN TREES	
	<i>Juniperus scopulorum</i> ROCKY MOUNTAIN JUNIPER
	<i>Pinus nigra</i> AUSTRIAN PINE
	<i>Pinus ponderosa</i> PONDEROSA PINE
	<i>Picea pungens</i> COLORADO BLUE SPRUCE

SHRUBS	
	<i>Arctostaphylos x coloradensis</i> PANCHITO MANZANITA
	<i>Cornus sericea 'Kelsey'</i> KELSEY DOGWOOD
	<i>Daphne x burkwoodii 'Carole Mackie'</i> CAROL MACKIE DAPHNE
	<i>Hydrangea Macrophylla 'Lanarth White'</i> LACECAP HYDRANGEA
	<i>Potentilla fruticosa 'davurica'</i> PRAIRIE SNOW POTENTILLA
	<i>Ribes aureum</i> GOLDEN CURRANT
	<i>Spiraea japonica 'Magic Carpet'</i> MAGIC CARPET SPIREA
	<i>Symphoricarpos albus</i> COMMON SNOWBERRY
	<i>Viburnum davidii</i> DAVID VIBURNUM
PERENNIALS + GRASSES	
	<i>Panicum virgatum 'Shenandoah'</i> SHENANDOAH SWITCH GRASS
	<i>Lavandula x intermedia</i> LAVENDER

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PLANT SCHEDULE							
	ABR.	COMMON NAME	BOTANICAL NAME	HYDROZONE	QTY	SIZE	REMARKS
EXISTING TREES			TOTAL EXISTING TREES:		0		
SHADE TREES							
	AF	FREEMAN MAPLE	ACER X FREMANII	MEDIUM	2	2" CAL.	B&B
	GT	THORNLESS HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS	MEDIUM	5	2" CAL.	B&B
	UA	AMERICAN ELM	ULMUS AMERICANA 'VALLEY FORGE'	MEDIUM	3	2" CAL.	B&B
	UA	AMERICAN ELM	ULMUS AMERICANA 'VALLEY FORGE'	MEDIUM	2	3" CAL.	B&B
	ZS	JAPANESE ZELKOVA	ZELKOVA SERRATA 'VILLAGE GREEN'	MEDIUM	9	2" CAL.	B&B
			TOTAL SHADE TREES:		21		
ORNAMENTAL TREES							
	AG	BIGTOOTH MAPLE	ACER GRANDIDENTATUM	MEDIUM	10	2" CAL.	B&B
	AC	SHADBLow SERVICEBERRY	AMELANCHIER CANADENSIS	MEDIUM	13	2" CAL.	B&B
	BP	WHITESPIRE BIRCH	BETULA PLATYPHYLLA VAR. JAPONICA 'WHITESPIRE'	MEDIUM	20	2" CAL.	B&B
			TOTAL ORNAMENTAL TREES:		43		
EVERGREEN TREES							
	JS	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM	MEDIUM	11	6' HT.	B&B
	PN	AUSTRIAN PINE	PINUS NIGRA	MEDIUM	9	6' HT.	B&B
	PP	PONDEROSA PINE	PINUS PONDEROSA	LOW	4	6' HT.	B&B
	PPU	COLORADO BLUE SPRUCE	PICEA PUNGENS	MEDIUM	8	6' HT.	B&B
	PPU	COLORADO BLUE SPRUCE	PICEA PUNGENS	MEDIUM	4	6' HT.	B&B
			TOTAL EVERGREEN TREES:		36		
			TOTAL ALL TREES:		100		
DECIDUOUS SHRUBS							
	CS	KELSEY DOGWOOD	CORNUS SERICEA 'KELSEY'	MEDIUM	67	5 GAL	
	DB	CAROL MACKIE DAPHNE	DAPHNE X BURKWOODII 'CAROLE MACKIE'	LOW	30	5 GAL	
	HA	LACECAP HYDRANGEA	HYDRANGEA MACROPHYLLA 'LANARTH WHITE'	MEDIUM	14	5 GAL	
	PF	PRAIRIE SNOW POTENTILLA	POTENTILLA FRUTICOSA 'DAVURICA'	LOW	25	5 GAL	
	RA	GOLDEN CURRANT	RIBES AUREUM	LOW	32	5 GAL	
	SA	COMMON SNOWBERRY	SYMPHORICARPOS ALBUS	LOW	13	5 GAL	
	SJ	MAGIC CARPET SPIREA	SPIRAEA JAPONICA 'MAGIC CARPET'	MEDIUM	24	5 GAL	
	VD	DAVID VIBURNUM	VIBURNUM DAVIDII	MEDIUM	42	5 GAL	
EVERGREEN SHRUBS							
	AXC	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS	LOW	35	5 GAL	
	JSB	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	LOW	10	5 GAL	
			TOTAL ALL SHRUBS:		292		
PERENNIALS							
	LA	LAVENDER	LAVANDULA X INTERMEDIA	LOW	10	3 GAL	
ORNAMENTAL GRASSES							
	PV	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	LOW	14	3 GAL	
			TOTAL ALL GROUNDCOVERS:		24		
TURF	LAWN	BUFFALOGRASS		LOW	14,109 SF		
			TOTAL BUFFALO GRASS TURF:		14,109		
TURF	SOD	FINE FESCUE		MEDIUM	7,467 SF		
			TOTAL FINE FESCUE GRASS TURF:		7,467		

NOTE: THE SEED MIX FOR THE RAIN GARDEN WILL BE PART OF THE CONSTRUCTION DOCUMENTS.

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 REVISION: 04/28/2023
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 REVISION: 04/24/2024

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
VALLEY VIEW ESTATES
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 12 OF 21

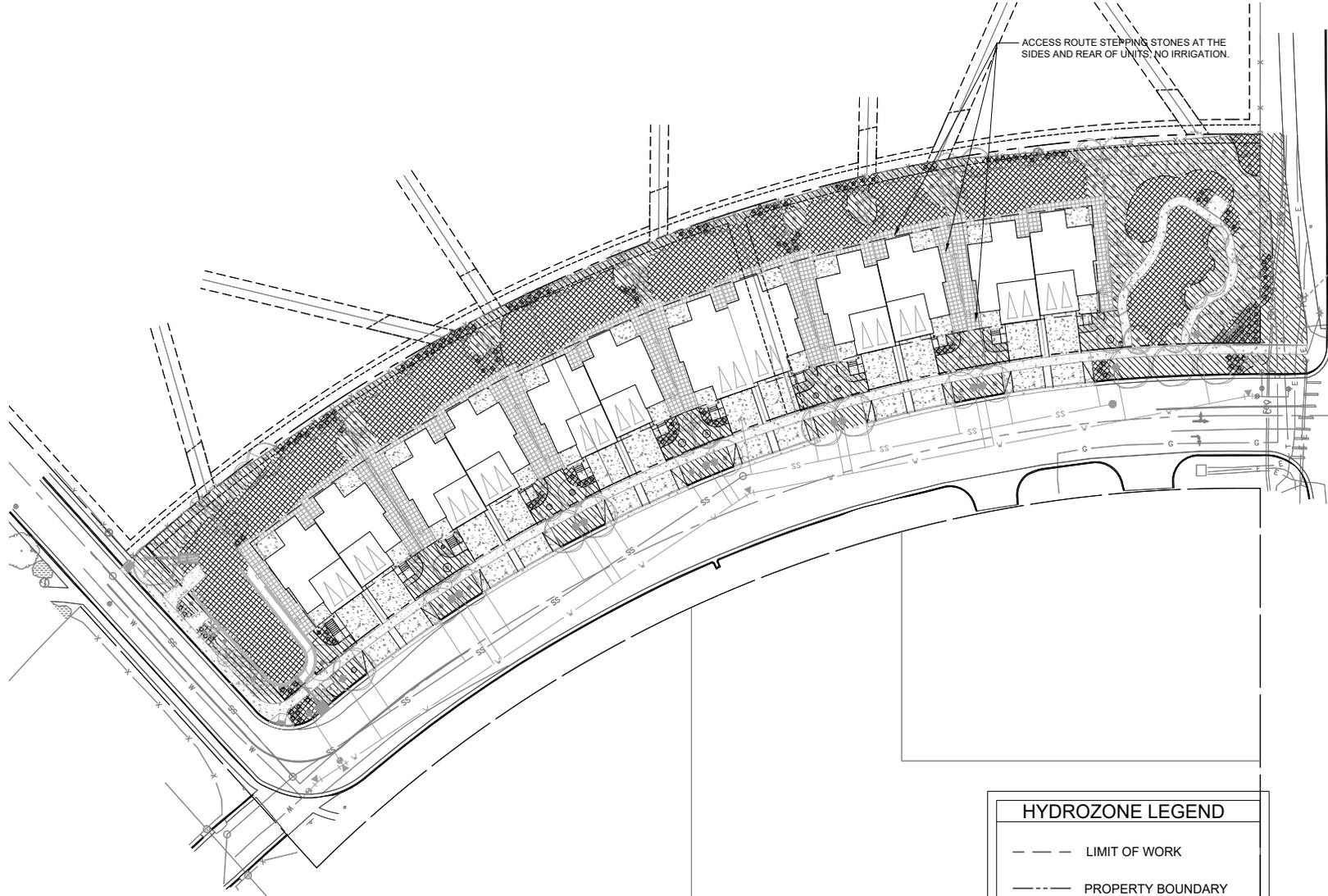


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VALLEY VIEW ESTATES



LANDSCAPE WATER BUDGET				
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)	
HIGH	0	0	x 18 GAL =	0
MEDIUM	48%	18,843	x 10 GAL =	188,430
LOW	52%	20,257	x 3 GAL =	60,771
TOTAL ALL HYDROZONES	100%	39,100	TOTAL GAL:	249,201
TOTALS:				

HYDROZONE LEGEND

--- LIMIT OF WORK

--- PROPERTY BOUNDARY

--- MATCHLINE

NONE HIGH

MEDIUM

LOW



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VALLEY VIEW ESTATES
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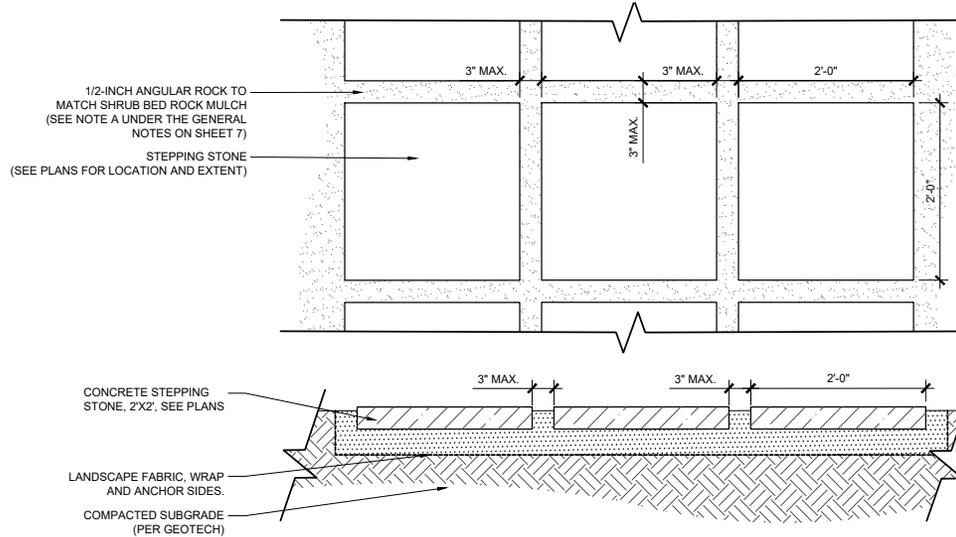


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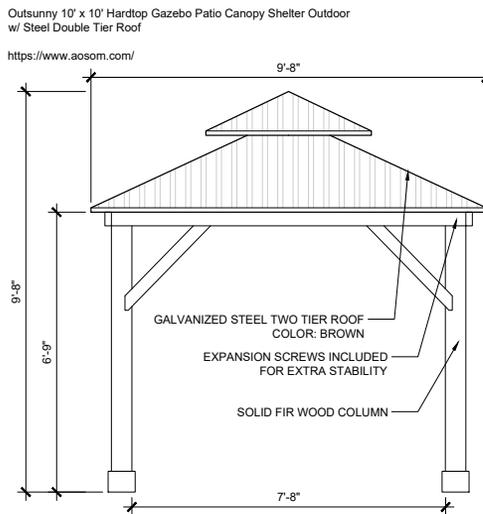
VALLEY VIEW ESTATES



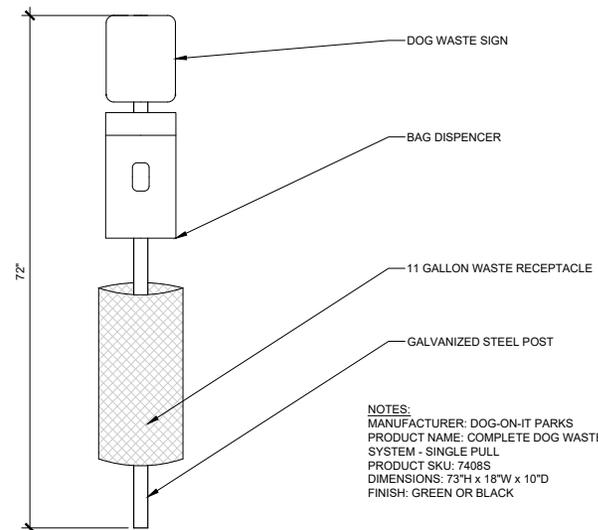
NOTES:
 1. CONTRACTOR SHALL FIELD STAKE PATH ALIGNMENT FOR REVIEW AND APPROVAL, BY OWNER / OWNER'S REP, PRIOR TO INSTALLATION.
 3. CONTRACTOR TO PROVIDE A MOCK-UP, 3 STEPPING STONES WIDE X 2 STEPPING STONES IN LENGTH FOR REVIEW AND BY OWNER & LANDSCAPE ARCHITECT, PRIOR TO ANY INSTALLATION. APPROVED MOCK-UP MAY BE USED IN FINAL INSTALLATION.

2 STEPPING STONES - GRAVEL SET
 1" = 1'-0"

SECTION



3 SHADE STRUCTURE
 1" = 1'-0"



1 COMPLETE DOG WASTE SYSTEM
 NTS

CUT SHEET

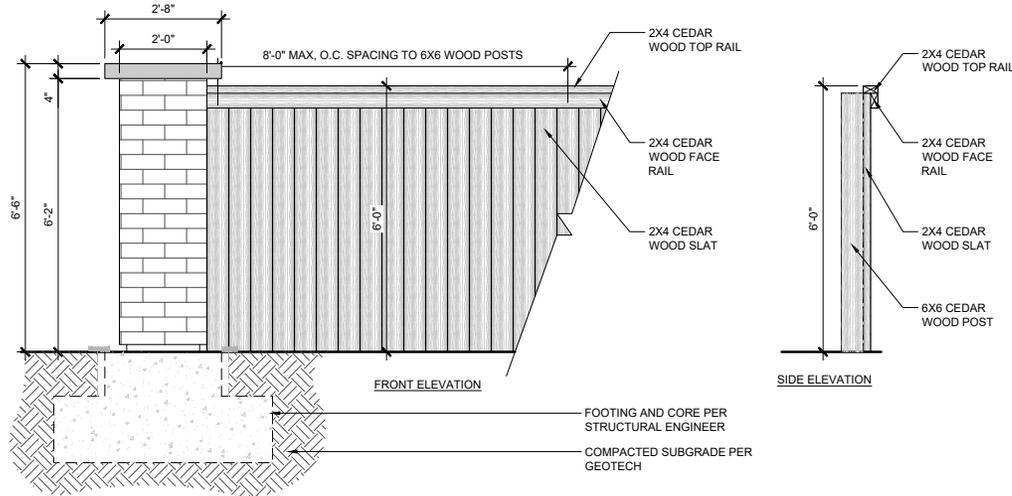
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REVISION: 07/21/2021
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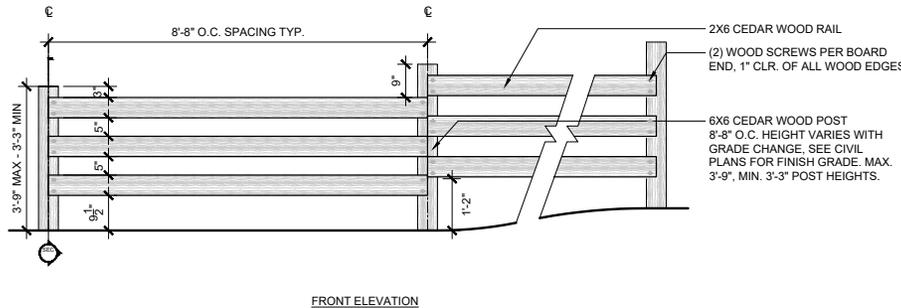
VALLEY VIEW ESTATES



2 6' WOOD FENCE W/ BRICK COLUMNS
 L4.10 1/2"=1'-0"

ELEVATION

- NOTES:
1. TO PROVIDE MOCK-UP IN FIELD OF (2) 8'-8" LENGTH SECTIONS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.
 2. ALL WOOD TO BE ROUGH SAWN CEDAR, TREATED AND STAINED. SUBMIT STAIN/COLOR FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 3. ALL STRUCTURAL DESIGN TO BE PROVIDED BY THE OWNER'S STRUCTURAL ENGINEER.
 4. ALL LUMBER SIZES CALLED OUT ON PLANS ARE NOMINAL SIZES. ACTUAL SIZES MAY VARY BASED ON INDUSTRY/SUPPLIER STANDARDS.
 5. ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED STEEL.
 6. FINISH GRADE ALONG SOLID FENCES SHALL BE AT LEAST THREE (3) INCHES BELOW THE BOTTOM OF SUCH FENCES FOR DRAINAGE WHERE LOT LINE DRAINAGE SWALES EXIST OR AS REQUIRED BY ENGINEERING CALCULATIONS.



1 SPLIT RAIL SIDEYARD FENCE
 L4.10 1/2"=1'-0"

ELEVATION

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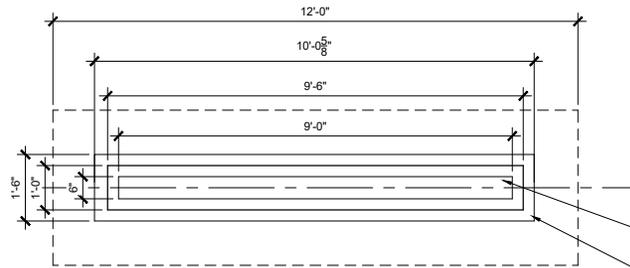


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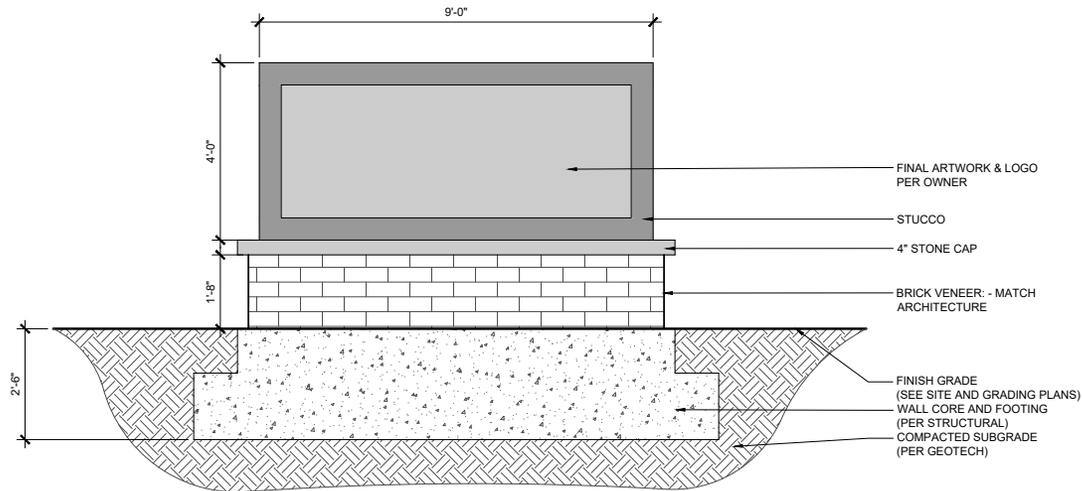
DATE: 07/09/2024

VALLEY VIEW ESTATES

- NOTES:**
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL INCLUDE MASONRY WORK.
 2. COORDINATE LOCATION OF ELECTRICAL CONDUIT FEED THROUGH FOOTING WITH STONE CRAFTSMAN/FABRICATOR AND STRUCTURAL ENGINEER.
 3. SIGN FABRICATOR TO PROVIDE SAMPLE OF EACH COLOR AND FINISH SPECIFIED AND MATERIALS BEING PROPOSED, INCLUDING METAL FOR SIGN CABINETS, ACRYLIC LIGHTING MATERIALS/EQUIPMENT AND HARDWARE CONNECTIONS TO OWNER / OWNER'S REP. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 4. ALL HARDWARE TO BE HIDDEN.
 5. SIGN SHALL BE CONSTRUCTED OF PERMANENT MATERIALS (MASONRY ETCHED OR METAL LOGO)



B PLAN



A SECTION

PROJECT SIGNAGE
 SCALE: 1/2" = 1' - 0"

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VALLEY VIEW ESTATES
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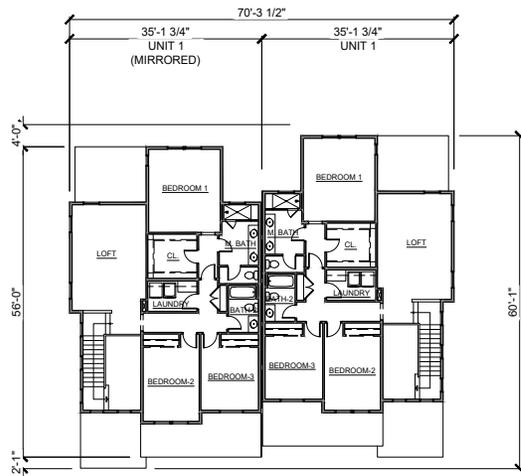
ARCHITECTURAL NOTES:

- A. NO ROOFTOP EQUIPMENT SHALL BE ALLOWED.
- B. ALL SITE LIGHTING WILL BE DIRECTED DOWNWARD. THERE WILL BE NO OFFSITE GLARE ALLOWED.
- C. EACH FRONT & REAR ENTRY TO THE DWELLING UNITS SHALL BE ILLUMINATED BY A PEDESTRIAN-SCALE, WALL MOUNTED LIGHT FIXTURE (RECESSED CEILING LIGHTS TO BE ALLOWED IN COVERED PORCHES, PATIOS AND BALCONIES). WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED AT THE GARAGE DOORS OF EACH UNIT.
- D. EACH SIDE OF THE BUILDING HAS 50% MASONRY AS REQUIRED.
- E. 100% OF THE UNITS HAVE 80 S.F. (MIN.) USABLE FRONT PORCH.
- F. 100% OF THE UNITS HAVE 120 S.F. (MIN.) PRIVATE PATIOS AND 80 S.F. (MIN.) BALCONIES.
- G. FINISHED FLOOR AREA (F.F.A.) IS THE SQUARE FOOTAGE OF A UNIT'S HABITABLE SPACE. GROSS FLOOR AREA (G.F.A.) INCLUDES THE SQUARE FOOTAGE OF A UNIT'S GARAGE.
- H. GARAGE DOORS TO BE 7'-0" TALL (MIN.) BY 16' WIDE (MIN.).
- I. 100% OF THE REQUIRED PARKING (OTHER THAN GUEST PARKING) TO BE WITHIN ATTACHED GARAGES. TWO GUEST PARKING SPACES PER UNIT TO BE ON THE DRIVEWAY APRON.
- J. THE PROPOSED BUILDINGS WILL HAVE WALK-OUT BASEMENTS.
- K. THIS PLAN APPLIES TO ALL BUILDINGS.
- L. ELECTRIC VEHICLE CHARGING STATIONS TO BE INSTALLED ON MINIMUM 10% OF THE HOUSING UNITS, PLUS PRE-WIRE ALL GARAGES TO ALLOW FOR ADDITIONAL FUTURE CHARGING STATIONS TO BE INSTALLED.

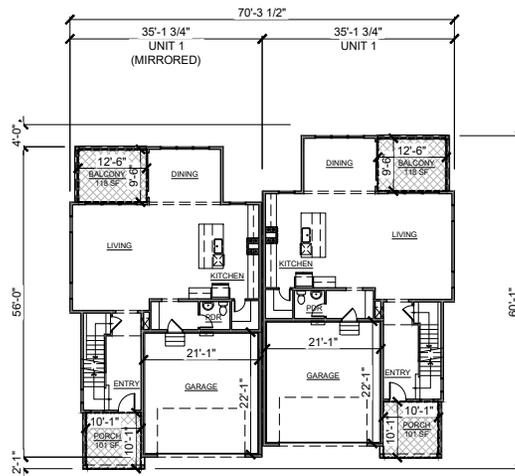
UNIT AREA CALCULATIONS:

FIRST FLOOR	1121 SF
SECOND FLOOR	1281 SF
TOTAL F.F.A.	2402 SF
PATIO	129 SF
BALCONY	118 SF
PORCH	101 SF
UNFINISHED BASEMENT	1128 SF
GARAGE	489 SF
TOTAL G.F.A.	4367 SF

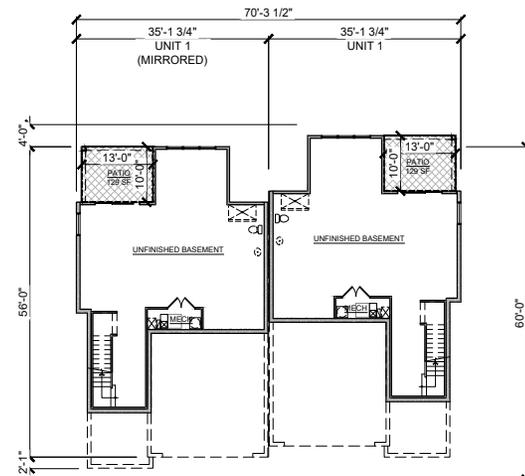
 PRIVATE OUTDOOR AREA (PORCH, PATIO AND BALCONY)



3 SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"



2 FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"



1 BASEMENT FLOOR PLAN
 SCALE: 1/16" = 1'-0"

VALLEY VIEW ESTATES

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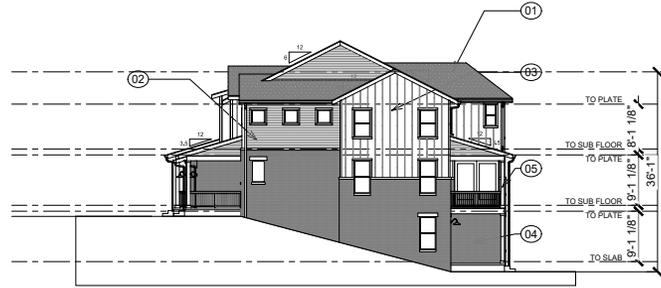
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MASONRY CALCULATIONS				
	OVERALL AREA	MASONRY AREA	CALCULATION	PERCENTAGE
FRONT	797 SQFT	433 SQFT	433 / 797 = .543	54%
REAR	1617 SQFT	808 SQFT	808 / 1617 = .500	50%
RIGHT	1382 SQFT	764 SQFT	764 / 1382 = .553	55%
LEFT	1398 SQFT	695 SQFT	695 / 1390 = .497	50%

KEYNOTES	
01	ASPHALT SHINGLE ROOFING
02	LAP SIDING - 6" REVEAL
03	BOARD AND BATTEN SIDING - 16" OC
04	THIN BRICK MASONRY VENEER
05	TRIM WRAPPED WOOD POST



764 SQ. FT.
 55% MASONRY COVERAGE

4 DUPLEX TYPE 1 - RIGHT ELEVATION
 A2.0 SCALE: 1/16" = 1'-0"



808 SQ. FT.
 50% MASONRY COVERAGE

2 DUPLEX TYPE 1 - REAR ELEVATION
 A2.0 SCALE: 1/16" = 1'-0"



695 SQ. FT.
 50% MASONRY COVERAGE

3 DUPLEX TYPE 1 - LEFT ELEVATION
 A2.0 SCALE: 1/16" = 1'-0"



797 SQ. FT.
 54% MASONRY COVERAGE

1 DUPLEX TYPE 1 - FRONT ELEVATION
 A2.0 SCALE: 1/16" = 1'-0"

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VALLEY VIEW ESTATES
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VALLEY VIEW ESTATES

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MASONRY CALCULATIONS				
	OVERALL AREA	MASONRY AREA	CALCULATION	PERCENTAGE
FRONT	797 SQFT	433 SQFT	433 / 797 = .543	54%
REAR	1617 SQFT	808 SQFT	808 / 1617 = .500	50%
RIGHT	1382 SQFT	845 SQFT	845 / 1382 = .611	61%
LEFT	1398 SQFT	695 SQFT	695 / 1398 = .497	50%

KEYNOTES	
01	ASPHALT SHINGLE ROOFING
02	LAP SIDING - 6" REVEAL
03	BOARD AND BATTEN SIDING - 16" OC
04	THIN BRICK MASONRY VENEER
05	TRIM WRAPPED WOOD POST



845 SQ. FT.
 61% MASONRY COVERAGE

4 DUPLEX TYPE 2 - RIGHT ELEVATION
 A2.1 SCALE: 1/16" = 1'-0"



838 SQ. FT.
 50% MASONRY COVERAGE

2 DUPLEX TYPE 2 - REAR ELEVATION
 A2.1 SCALE: 1/16" = 1'-0"



695 SQ. FT.
 50% MASONRY COVERAGE

3 DUPLEX TYPE 2 - LEFT ELEVATION
 A2.1 SCALE: 1/16" = 1'-0"



797 SQ. FT.
 54% MASONRY COVERAGE

1 DUPLEX TYPE 2 - FRONT ELEVATION
 A2.1 SCALE: 1/16" = 1'-0"

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VALLEY VIEW ESTATES

**SITE SECTION
LOTS 13A - 14A**



2 SITE SECTION 02
SCALE: 1:10

**SITE SECTION
LOTS 19A - 20A**



1 SITE SECTION 01
SCALE: 1:10

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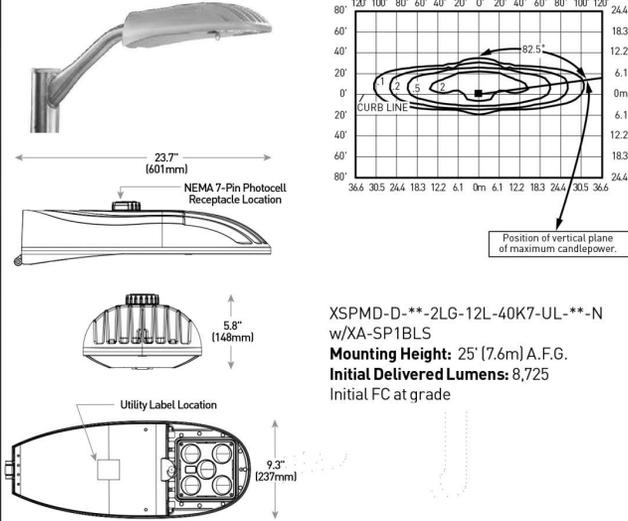
XSP Series

XSPMD LED Street/Area Luminaire - Medium

Product Description

Designed from the ground up as a totally optimized LED street and area lighting system, the XSP Series delivers incredible efficiency without sacrificing application performance. Beyond substantial energy savings and reduced maintenance, Cree Lighting achieves greater optical control with our NanoOptic® Precision Delivery Grid™ optic when compared to traditional cobra head luminaires. The XSP Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

Applications: Collector roads, major roads, parking lots, and general area spaces



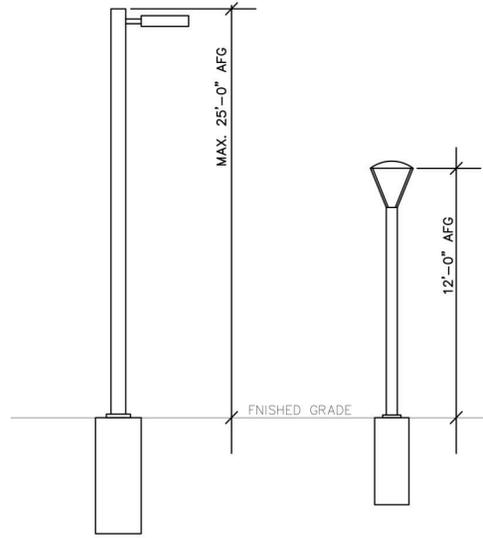
XSPMD-D-**-2LG-12L-40K7-UL-**-N
w/XA-SP1BLS
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,725
Initial FC at grade

FIXTURE TYPE "A"

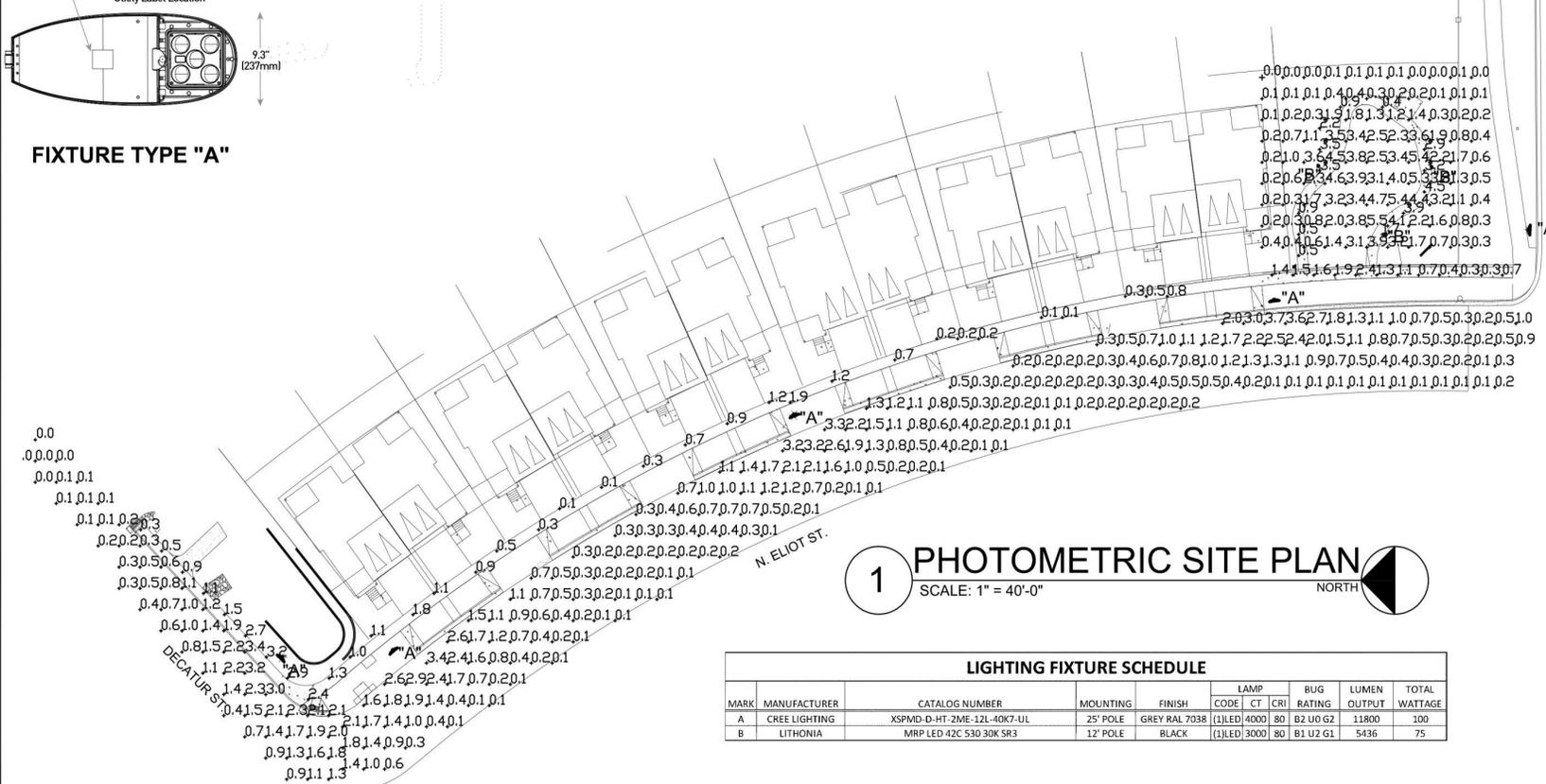
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FIXTURE TYPE "A" FIXTURE TYPE "B"



1 PHOTOMETRIC SITE PLAN

SCALE: 1" = 40'-0"

LIGHTING FIXTURE SCHEDULE

MARK	MANUFACTURER	CATALOG NUMBER	MOUNTING	FINISH	LAMP			BUG RATING	LUMEN OUTPUT	TOTAL WATTAGE
					CODE	CT	CRI			
A	CREE LIGHTING	XSPMD-D-HT-2ME-12L-40K7-UL	25' POLE	GREY RAL 7038	(U)LED	4000	80	B2 U0 G2	11800	100
B	LITHONIA	MRP LED-42C 530 30K SR3	12' POLE	BLACK	(U)LED	3000	80	B1 U2 G1	5436	75

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VALLEY VIEW ESTATES

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VALLEY VIEW ESTATES

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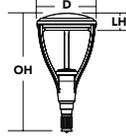


MRP LED
 LED Area Luminaire



Specifications

EPA: 1.125 ft²
(0.105 m²)
Luminaire Height: 6'-3/8"
(16.2 cm)
Overall Height: 32"
(81.2 cm)
Diameter: 18"
(45.7 cm)
Weight (max): 37.5 lbs
(17 kg)



FIXTURE TYPE "B"

MRP LED 42C 530 30K SR3 MVOLT
 5,436 LUMENS, 75W INPUT

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

VALLEY VIEW ESTATES PHOTOMETRIC STATISTICS

DESCRIPTION	AVERAGE	Max	Min	Average/Min
ALL SIDEWALKS/PARK TOGETHER	1.4	6.4	0.1	14.0:1

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