

City Council Presentation

March 31, 2025

For

**North Huron
Planned Unit Development
(Orchard Lakes)**

Vicinity Map



Project Overview

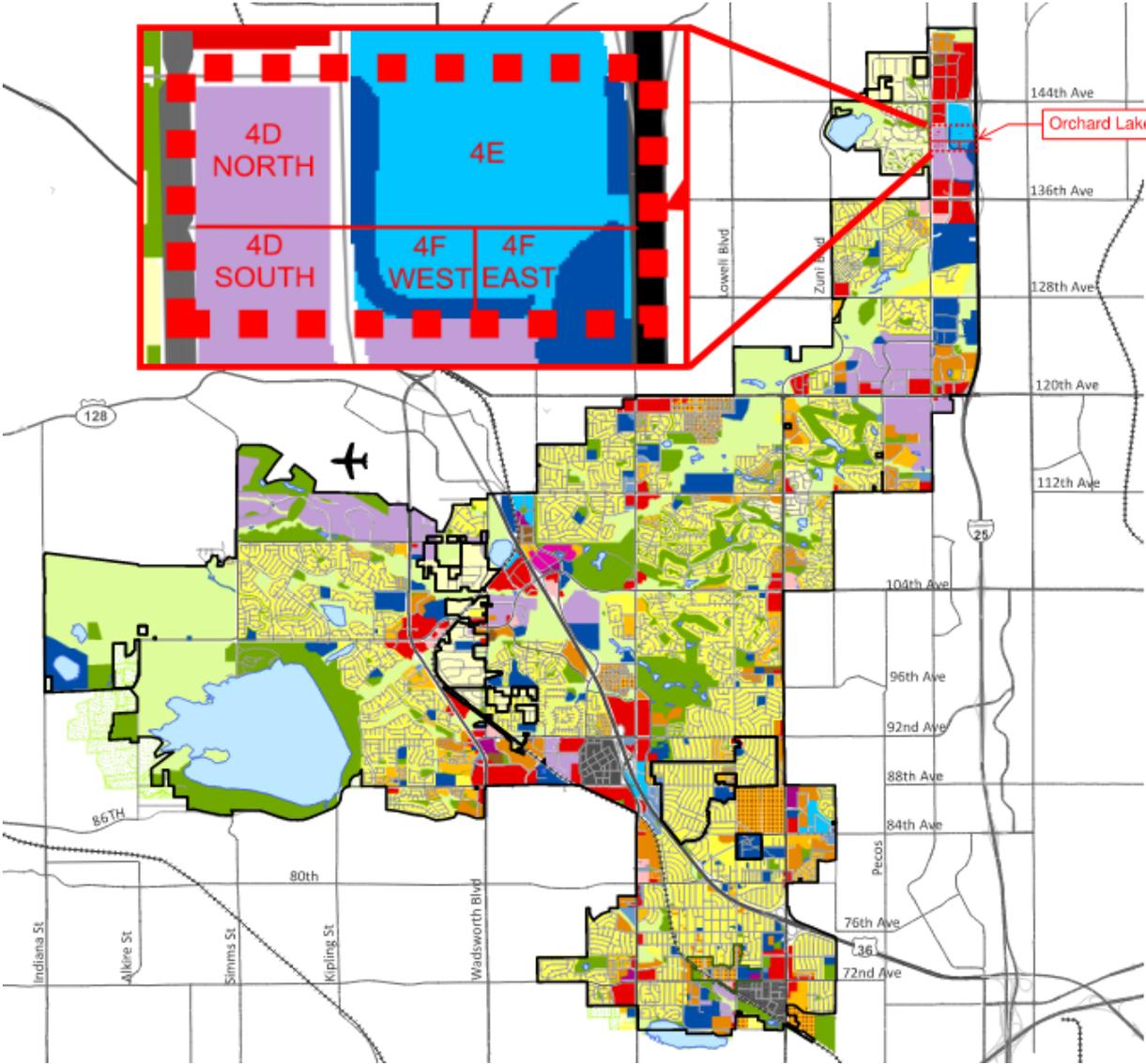
The intent of this Preliminary Development Plan amendment is to bring all property within the development in alignment with the zoning and land uses as approved in the City of Westminster 2040 Comprehensive Plan.

No new construction is being proposed at this time.



Aerial of Project Site Conditions

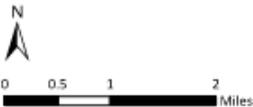
Land Use Map



Map 3-2. Land Use Diagram

Legend

- Residential Large Lot
- Residential Low Density
- Residential Medium Density
- Suburban Multi-Family
- Urban Multi-Family
- Mixed-Use Neighborhood
- Specific Area Plan
- Employment-Flex
- Neighborhood Office
- Employment-Office/Institutional Campus
- Public/Quasi Public
- Commercial
- Service Commercial
- Commercial Mixed-Use
- Mixed-Use Activity Center
- Parks/Golf Courses
- Open Space/Creek Corridor
- Agricultural/Conservation Area
- Harris Park Community Vision Plan
- Highway
- Major Roads
- Local Roads
- Railroad
- Water
- Westminister



Existing Land Use Summary

LOT	LAND USE	AREA (ACRES)	% OF TOTAL	FAR
4D NORTH	OFFICE / R&D / SUPPORTING COMMERCIAL / ANCILLARY RETAIL	529,600 S.F. 12.16 ACRES	17.80%	1.0 (MAX)
4D SOUTH	OFFICE / R&D / SUPPORTING COMMERCIAL / ANCILLARY RETAIL	325,776 S.F. 7.48 ACRES	10.95%	1.0 (MAX)
4E	MEDICAL OFFICE / OFFICE / ANCILLARY RETAIL / HOSPITAL (SEE NOTE 3 ON SHEET 5)	973,683 S.F. 22.35 ACRES	32.72%	0.3 - 2.0
4F WEST	OFFICE / R&D / SUPPORTING COMMERCIAL / ANCILLARY RETAIL / HOSPITALITY	209,084 S.F. 4.80 ACRES	7.03%	0.3 - 2.0
4F EAST	OFFICE / R&D / SUPPORTING COMMERCIAL / ANCILLARY RETAIL / HOSPITALITY	141,587 S.F. 3.25 ACRES	4.76%	0.3 - 2.0
4G	DRAINAGE WAYS / DETENTION / OPEN SPACE	419,824 S.F. 9.64 ACRES	14.11%	N/A
4H	RIGHT OF WAY	238,893 S.F. 5.84 ACRES	8.03%	N/A
4I EAST	OPEN SPACE	3,413 S.F. 0.08 ACRES	0.11%	N/A
4I WEST	OPEN SPACE / DIRECTOR'S PARCEL	15,775 S.F. 0.36 ACRES	0.53%	N/A
4J	BULL CANAL AREA	118,120 S.F. 2.71 ACRES	3.97%	N/A
TOTAL		2,975,756 S.F. 68.314 ACRES	100 %	

Proposed Land Use Summary

LOT	LAND USE - PRIMARY	LAND USE -SECONDARY	AREA (ACRES)	% OF TOTAL	F.A.R.
4D NORTH	PROFESSIONAL OFFICES; RESEARCH AND DEVELOPMENT LABS; FLEX OFFICE SPACE; INCUBATOR SPACE; HOTELS	MANUFACTURING; WAREHOUSING; FABRICATION; REPAIR SHOPS; WHOLESALE DISTRIBUTORS; PRODUCTION; MEDICAL FACILITIES; SUPPORT COMMERCIAL AS DEFINED IN THE 2040 COMPREHENSIVE PLAN. (OVERNIGHT STAYS NOT TO EXCEED 100 DAYS, SEE NOTE 3 ON SHEET 5 FOR MORE INFORMATION.)	529,600 S.F. 12.16 ACRES	17.80%	<u>PRIMARY USES</u> 1.0 MAXIMUM <u>SECONDARY USES</u> 0.5 MAXIMUM
4D SOUTH			325,776 S.F. 7.48 ACRES	10.95%	<u>PRIMARY USES</u> 1.0 MAXIMUM <u>SECONDARY USES</u> 0.5 MAXIMUM
4E	NO CHANGES - REFER TO 12TH AMENDMENT	NO CHANGES - REFER TO 12TH AMENDMENT	973,683 S.F. 22.35 ACRES	32.72%	0.3 MINIMUM 2.0 MAXIMUM
4F WEST	PROFESSIONAL OFFICES; RESEARCH AND DEVELOPMENT LABS; MEDICAL CLINICS; MEDICAL LABORATORIES	HOTEL; OVERNIGHT STAYS; REHABILITATION FACILITIES; HOSPICE; LONG-TERM NURSING/CARE FACILITIES (UP TO 18 DU/AC) AND LIMITED MANUFACTURING; WAREHOUSE; PRODUCTION; SUPPORT COMMERCIAL AS DEFINED IN THE 2040 COMPREHENSIVE PLAN (SEE NOTE 3 ON SHEET 5)	209,085 S.F. 4.80 ACRE	7.03%	0.3 MINIMUM 2.0 MAXIMUM
4F EAST			141,587 S.F. 3.25 ACRES	4.76%	0.3 MINIMUM 2.0 MAXIMUM
4G	DRAINAGE WAYS / DETENTION / OPEN SPACE	NOT A PART OF THIS PDP AMENDMENT	419, 824 S.F. 9.64 ACRES	14.11%	N/A
4H	RIGHT OF WAY	NOT A PART OF THIS PDP AMENDMENT	238,893 S.F. 5.84 ACRES	8.03%	N/A
4I EAST	OPEN SPACE	NO CHANGES - REFER TO THE 12TH PDP AMENDMENT	3,413 S.F. 0.08 ACRES	0.11%	N/A
4I WEST	OPEN SPACE	NO CHANGES - REFER TO THE 12TH PDP AMENDMENT	15,775 S.F. 0.36 ACRES	0.53%	N/A
4J	BULL CANAL AREA	NO CHANGES - REFER TO THE 12TH PDP AMENDMENT	118,120 S.F. 2.71 ACRES	3.97%	N/A
TOTAL			2,975,756 S.F. 68.314 ACRES	100.00%	

NOTE 3: REHABILITATION AND SKILLED NURSING MEDICAL FACILITY USES, LIMITED AS FOLLOWS: HOSPITAL USES INCLUDING MEDICAL FACILITIES, REHABILITATION, OR BEHAVIORAL HEALTH WITH FULL-TIME ONSITE SKILLED NURSING PROVIDING TEMPORARY, TRANSITIONAL, IN-PATIENT OR OUT-PATIENT MEDICAL OR COUNSELING SERVICES, ADDICTION CARE OR TREATMENT PROGRAMS, OR FOR PATIENTS WITH DISABILITIES, INJURIES, ILLNESS, OR SURGERY WHO WILL ULTIMATELY LEAVE THE FACILITY OR TRANSITION OFF-SITE TO A DIFFERENT, RESIDENTIAL, OR PERMANENT CARE FACILITY, OVERNIGHT STAYS ON PROPERTY IN THIS PDP SHALL NOT EXCEED A MAXIMUM PERIOD OF 100 DAYS.

Land Use Descriptions – West of Orchard Pkwy

Table 3-12. Employment - Flex Development Standards

Land Use	
Primary Uses	Professional Offices; Research and Development Labs; Flex Office; Incubator Space
Secondary Uses	Manufacturing; Warehousing; Fabrication; Repair Shops; Wholesale Distributors; Production; Medical Facilities; Hotels; Support Commercial (eating establishments, pharmacies, business services, office supply)
Development Characteristics	
Form and Guidelines	Buildings 1 to 4 stories but may be allowed higher in Focus or Transition Areas or where adjacent to expressways; Employee and customer amenity spaces; Loading, service or storage areas screened from view; Architectural detailing for elevations within public view; Maximum 10% of GFA for support commercial or 15,000 square feet, whichever is less
Floor Area Ratio	Maximum 1.0 FAR (primary uses) Maximum 0.5 FAR (standalone secondary uses)

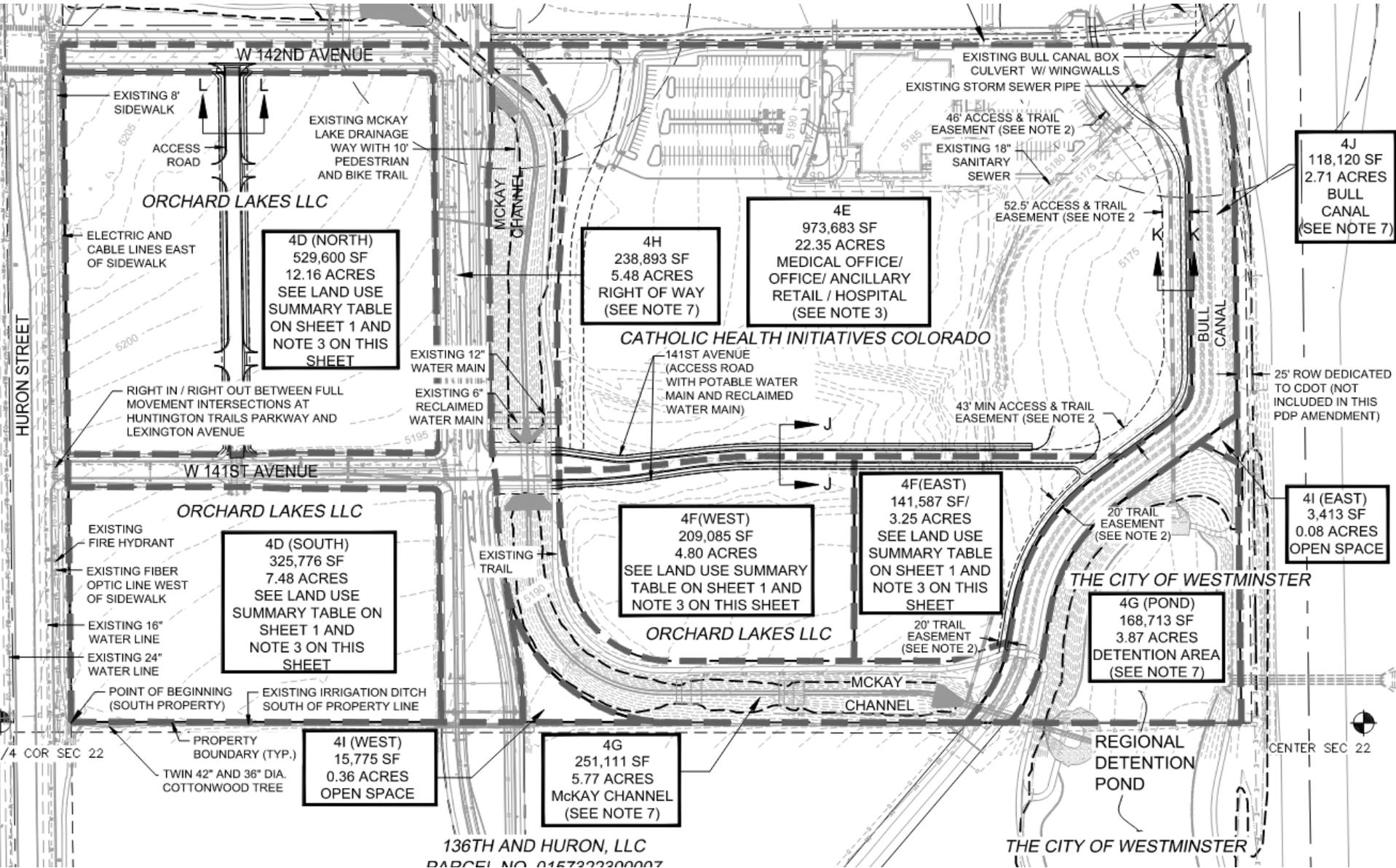
Land Use Descriptions – East of Orchard Pkwy

Table 3-13. Employment - Office/Institutional Campus Development Standards

Land Use	
Primary Uses	Professional Offices; Research and Development Labs; Hospitals; Medical Facilities
Secondary Uses	Hotel; Manufacturing ¹ ; Warehouse ¹ ; Production ¹ ; Support Commercial (eating establishments, pharmacies, business services, office supply); Overnight Stays; Rehabilitation Facilities; Hospice; Long-Term Nursing/Care Facilities (up to 18.0 DU/AC)
Development Characteristics	
Form and Guidelines	<p>Buildings 2 to 6 stories but may be allowed higher in Focus Areas or adjacent to expressways;</p> <p>Maximum 10% of GFA for support commercial or 15,000 square feet whichever is less;</p> <p>Buildings arranged to create a walkable environment;</p> <p>Limited surface parking;</p> <p>Employee and customer amenity spaces;</p> <p>Loading, service or storage areas screened from view</p>
Floor Area Ratio	<p>Minimum 0.3 FAR</p> <p>Maximum 2.0 FAR</p>

¹ Max 10% of GFA for manufacturing, warehouse, and/or production uses unless otherwise authorized by City Council

Site Plan



Questions & Comments

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Meeting Recording:

<http://www.youtube.com/user/WestminsterCO/videos>

Development Projects Webpage:

westminsterco.gov/DevelopmentProjects