

ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 68 OF 120



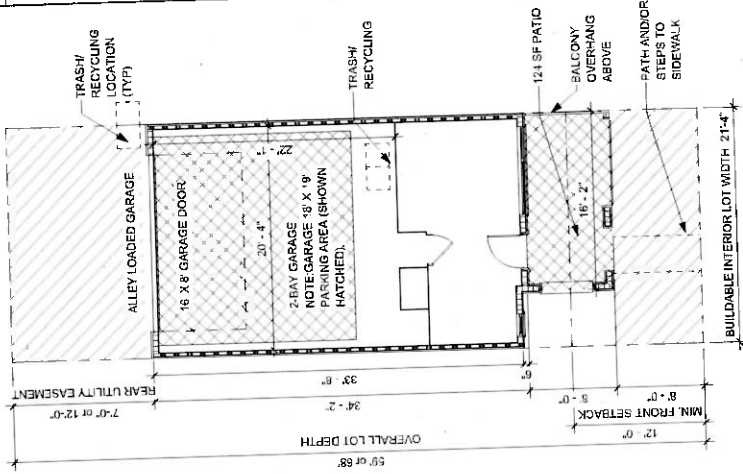
UPLANDS

DATE: 05.31.2024

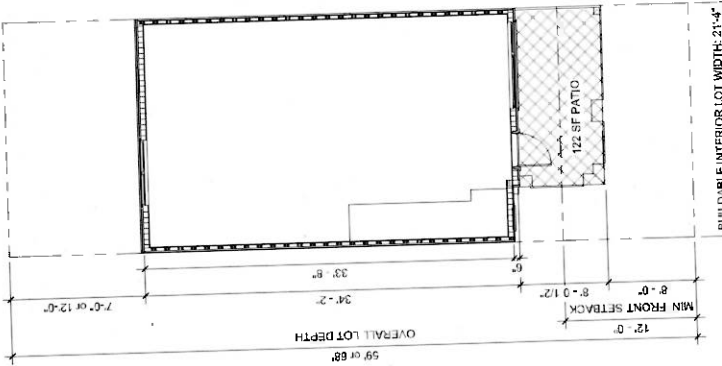
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

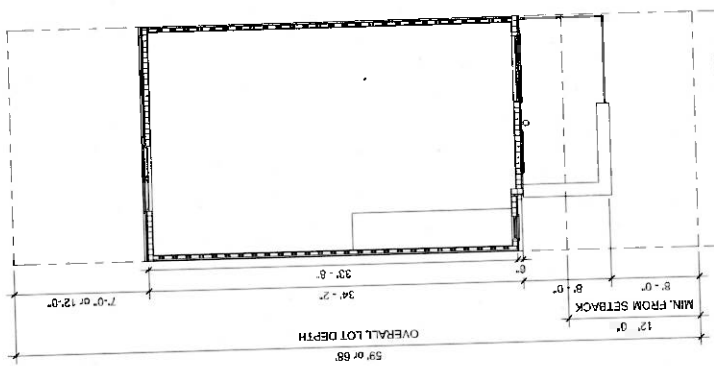
68 OF 120  
3-STORY SFA TOWNHOME -  
PLAN 3 LOT TYPICAL



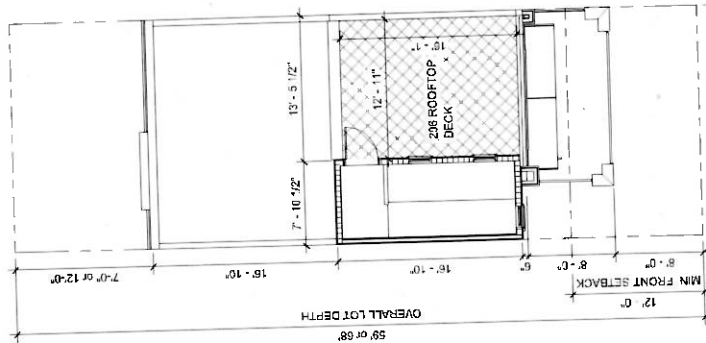
PLAN 3 INTERIOR-FIRST FLOOR  
1/8" = 1'-0"  
STYLES: SCANDANAVIAN,  
MOUNTAIN MODERN, AND  
MODERN BROWNSTONE



PLAN 3 INTERIOR-SECOND FLOOR  
1/8" = 1'-0"  
STYLES: SCANDANAVIAN,  
MOUNTAIN MODERN, AND  
MODERN BROWNSTONE



PLAN 3 INTERIOR-THIRD FLOOR  
1/8" = 1'-0"  
STYLES: SCANDANAVIAN,  
MOUNTAIN MODERN, AND  
MODERN BROWNSTONE



PLAN 3 INTERIOR-ROOF TOP DECK  
1/8" = 1'-0"  
STYLES: MODERN  
BROWNSTONE

3-STORY SFA TOWNHOME PLAN 3 LOT TYPICAL

STYLE: SCANDANAVIAN & MOUNTAIN MODERN  
TOTAL: 1573 SQ.FT.  
PATIO: 130 SQ.FT.  
2ND FLOOR BALCONY: 130 SQ.FT.

STYLE: MODERN BROWNSTONE  
TOTAL: 1685 SQ.FT.  
PATIO: 130 SQ.FT.  
2ND FLOOR BALCONY: 130 SQ.FT.  
ROOF TOP DECK: 197 SQ.FT.

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
  2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
  4. SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
  5. SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
  6. SFA TOWNHOMES WILL BE DESIGNED AS SOLAR READY
  7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM

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A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
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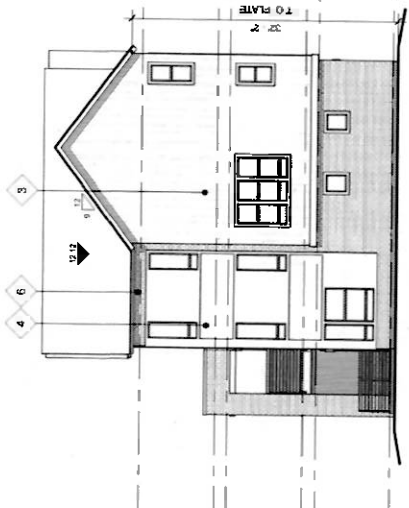
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DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

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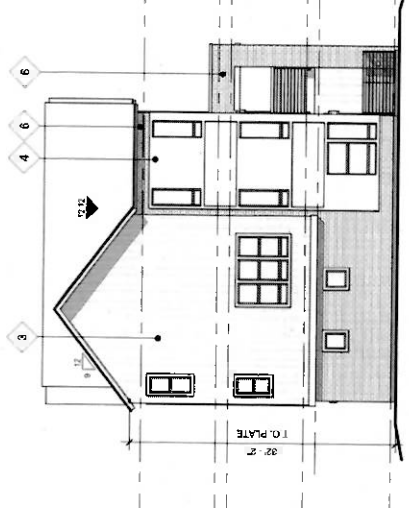
69 OF 120  
3-PLEX ELEVATIONS - SCANDINAVIAN



4 | 3-STORY 3-PLEX RIGHT  
ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



2 | 3-STORY 3-PLEX FRONT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



3 | 3-STORY 3-PLEX LEFT  
ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



1 | 3-STORY 3-PLEX REAR ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARD PANEL
5	MASONRY
6	PROJECTION AWNING
7	SINGLE ROOF
8	COACH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION	
MASONRY	1,041 S.F. = 60%
OTHER	724 S.F.
TOTAL	1,765 S.F.
REAR ELEVATION	
MASONRY	295 S.F. = 17%
OTHER	1,488 S.F.
TOTAL	1,783 S.F.
LEFT ELEVATION	
MASONRY	345 S.F. = 30%
OTHER	789 S.F.
TOTAL	1,134 S.F.
RIGHT ELEVATION	
MASONRY	345 S.F. = 30%
OTHER	789 S.F.
TOTAL	1,134 S.F.

TOTAL - 3-PLEX SCANDINAVIAN  
MASONRY - 2,026 S.F. = 35%  
OTHER - 3,798 S.F.  
TOTAL - 5,794 S.F.

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES



UPLANDS

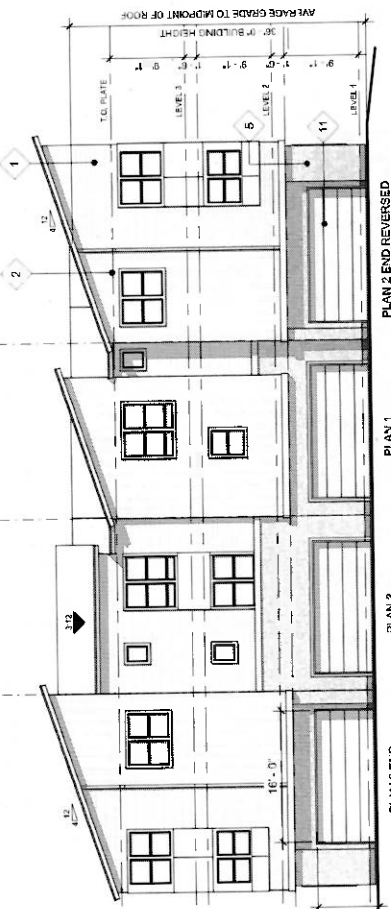
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WESTMINSTER, COLORADO

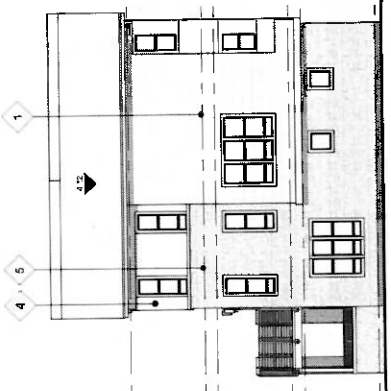
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PREPARED: 10.27.2023
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4-LEVEL ELEVATIONS -  
MOUNTAIN MODERN

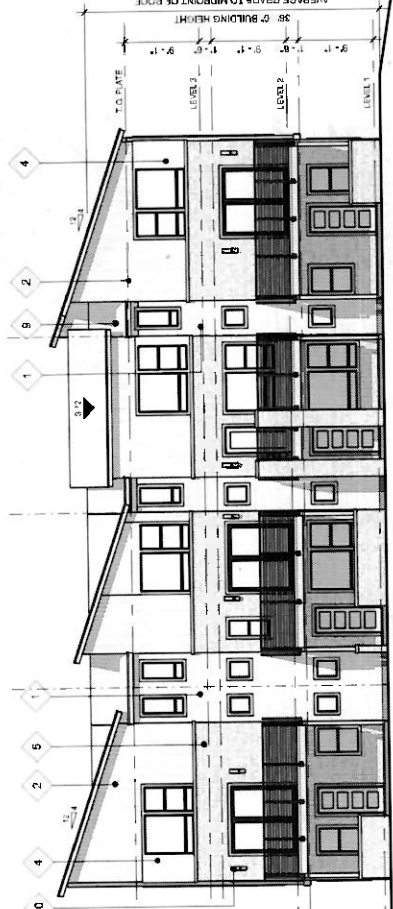
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 70 OF 120



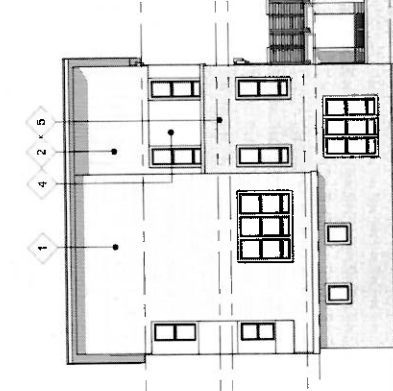
2 | 3-STORY 4-PLEX FRONT ELEVATION - MOUNTAIN MODERN  
3/32" = 1'-0"



4 | 3-STORY 4-PLEX RIGHT  
ELEVATION - M. MODERN  
3/32" = 1'-0"



1 | 3-STORY 4-PLEX REAR ELEVATION - MOUNTAIN MODERN  
3/32" = 1'-0"



3 | 3-STORY 4-PLEX LEFT  
ELEVATION - M. MODERN  
3/32" = 1'-0"

KEYNOTES

MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
10	COACH LIGHT

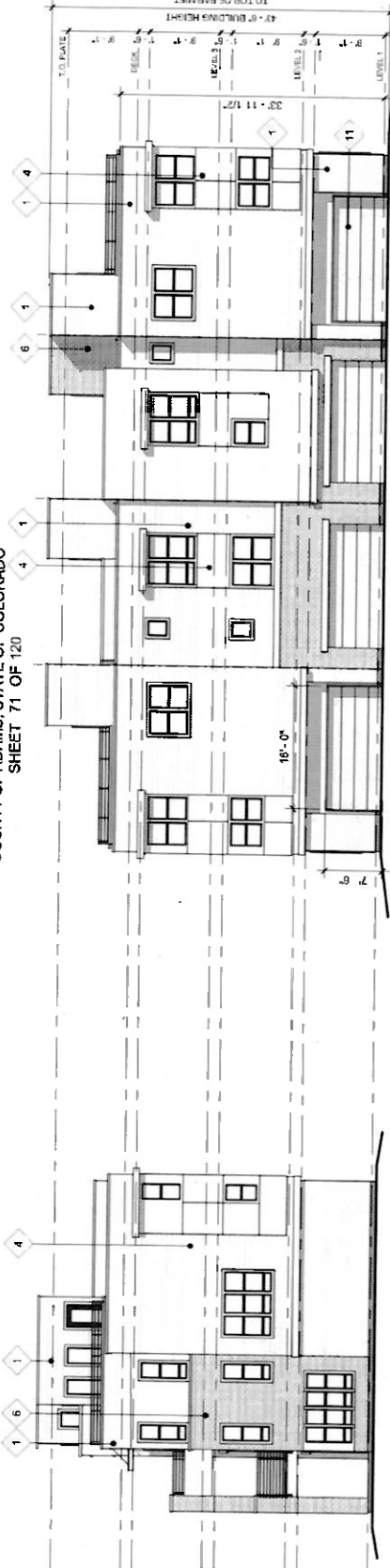
MASONRY PERCENTAGES

FRONT ELEVATION:	TOTAL 4-LEVEL MOUNTAIN MODERN:
MASONRY - 1,123 S.F. = 51%	MASONRY - 2,818 S.F. = 40%
OTHER - 1,096 S.F.	OTHER - 4,200 S.F.
TOTAL - 2,219 S.F.	TOTAL - 7,018 S.F.
REAR ELEVATION:	
MASONRY - 360 S.F. = 25%	
OTHER - 1,078 S.F.	
TOTAL - 1,438 S.F.	
LEFT ELEVATION:	
MASONRY - 355 S.F. = 43%	
OTHER - 351 S.F.	
TOTAL - 1,306 S.F.	
RIGHT ELEVATION:	
MASONRY - 355 S.F. = 57%	
OTHER - 317 S.F.	
TOTAL - 672 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

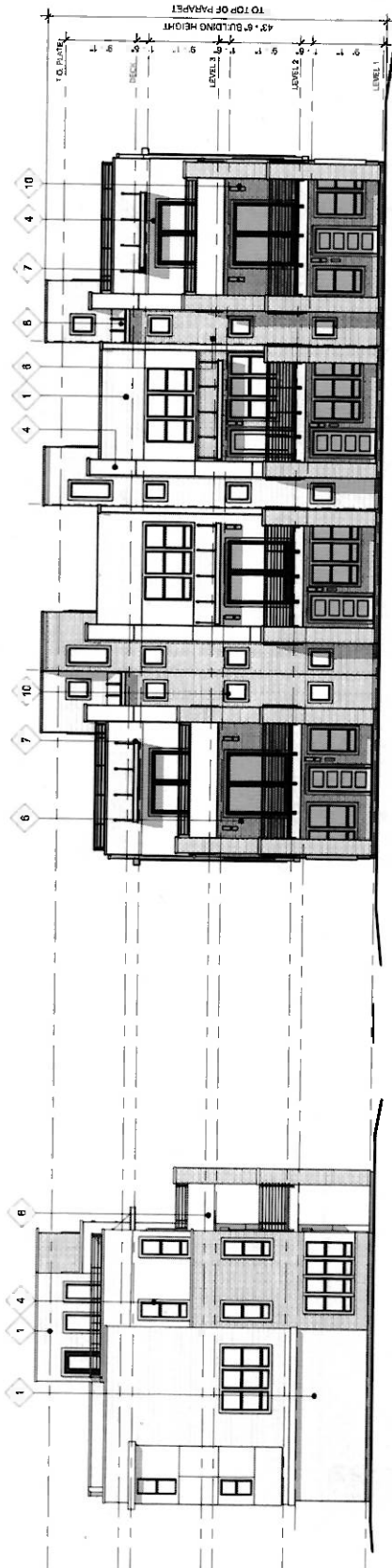


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UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
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4 | 3-STORY 4-PLEX RIGHT  
ELEVATION - M. BROWNSTONE  
3/32" = 1'-0"

2 | 3-STORY 4-PLEX FRONT ELEVATION - MODERN BROWNSTONE  
3/32" = 1'-0"



3 | 3-STORY 4-PLEX LEFT  
ELEVATION - M. BROWNSTONE  
3/32" = 1'-0"

1 | 3-STORY 4-PLEX REAR ELEVATION - MODERN BROWNSTONE  
3/32" = 1'-0"

UPLANDS

DATE: 05.31.2024

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WESTMINSTER, COLORADO

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4-PLEX ELEVATIONS -  
MODERN BROWNSTONE

KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARD PAINT
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION: MASONRY - 1,286 S.F. = 51% OTHER - 1,247 S.F. TOTAL - 2,533 S.F.	TOTAL - 4-PLX 'MODERN BROWNSTONE' MASONRY - 2,086 S.F. = 27% OTHER - 5,652 S.F. TOTAL - 7,738 S.F.
REAR ELEVATION: MASONRY - 292 S.F. = 11% OTHER - 2,329 S.F. TOTAL - 2,621 S.F.	
LEFT ELEVATION: MASONRY - 234 S.F. = 19% OTHER - 989 S.F. TOTAL - 1,223 S.F.	
RIGHT ELEVATION: MASONRY - 234 S.F. = 19% OTHER - 989 S.F. TOTAL - 1,223 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

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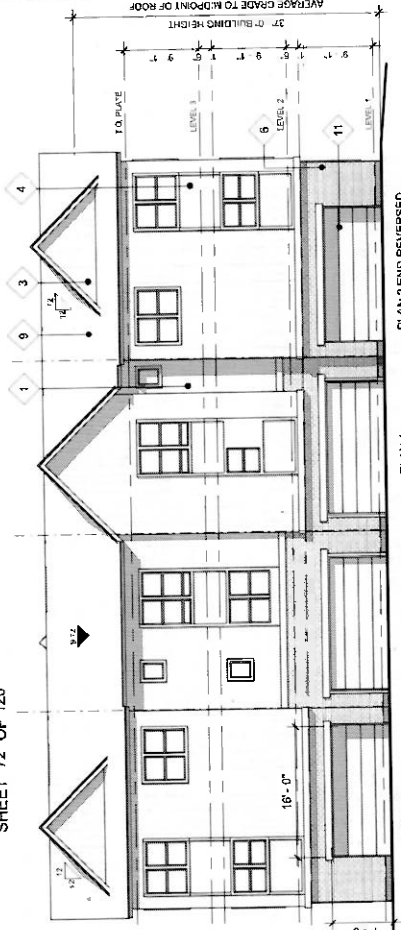
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WESTMINSTER, COLORADO

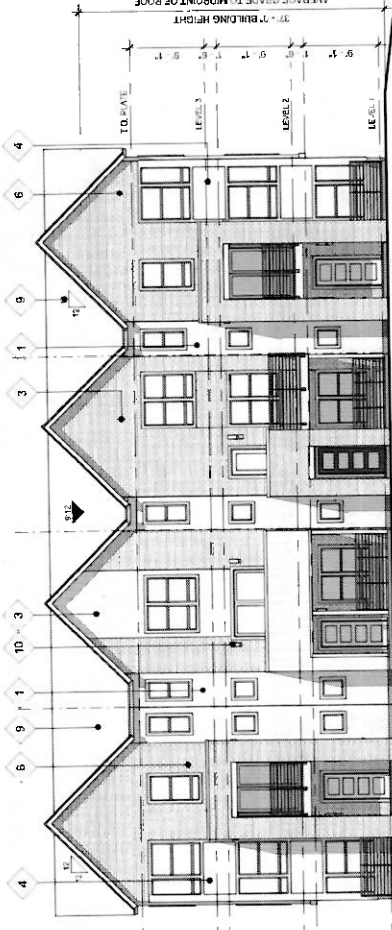
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	SUB 04: 05.31.2024

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4-PLEX ELEVATIONS -  
SCANDINAVIAN



4 | 3-STORY 4-PLEX RIGHT  
ELEVATION - SCANDINAVIAN  
33'2" = 1'-0"

2 | 3-STORY 4-PLEX FRONT ELEVATION - SCANDINAVIAN  
33'2" = 1'-0"



3 | 3-STORY 4-PLEX LEFT  
ELEVATION - SCANDINAVIAN  
33'2" = 1'-0"

1 | 3-STORY 4-PLEX REAR ELEVATION - SCANDINAVIAN  
33'2" = 1'-0"

KEYNOTES

MARK	Elevation-Materials
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARD PANEL
5/5	MASONRY
7	PROJECTION AWNING
9	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION:	TOTAL - 4-PLEX, SCANDINAVIAN
MASONRY - 1,417 S.F. = 62%	MASONRY - 2,550 S.F. = 38%
OTHER - 886 S.F.	OTHER - 4,743 S.F.
TOTAL - 2,303 S.F.	TOTAL - 6,798 S.F.
REAR ELEVATION:	
MASONRY - 443 S.F. = 20%	
OTHER - 1,754 S.F.	
TOTAL - 2,227 S.F.	
LEFT ELEVATION:	
MASONRY - 346 S.F. = 30%	
OTHER - 782 S.F.	
TOTAL - 1,134 S.F.	
RIGHT ELEVATION:	
MASONRY - 342 S.F. = 30%	
OTHER - 788 S.F.	
TOTAL - 1,134 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS, EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK, ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

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IN THE CITY OF WESTMINSTER  
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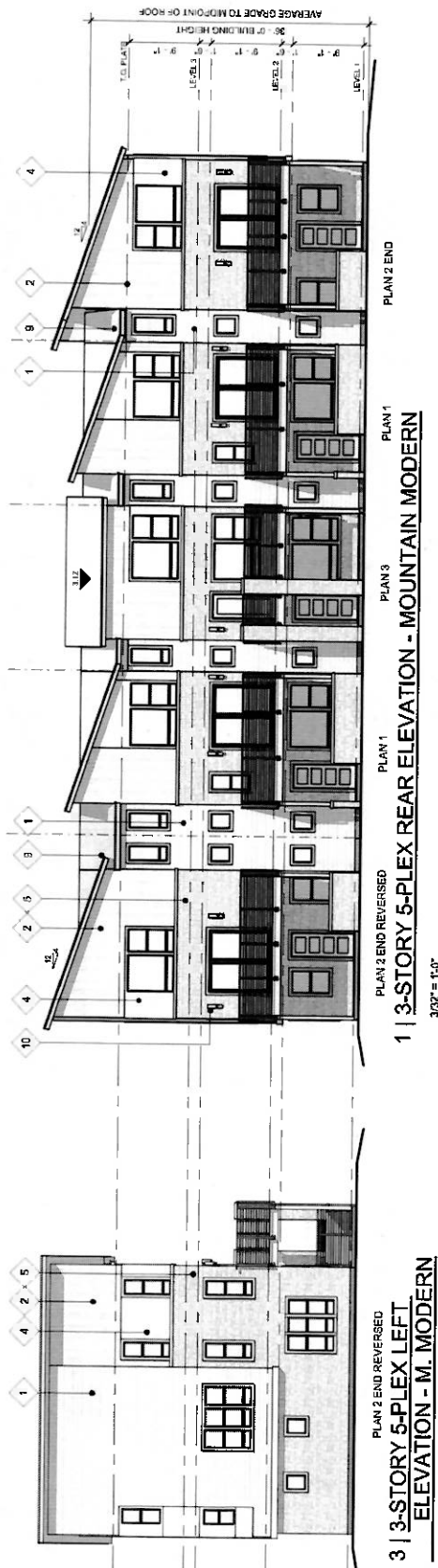
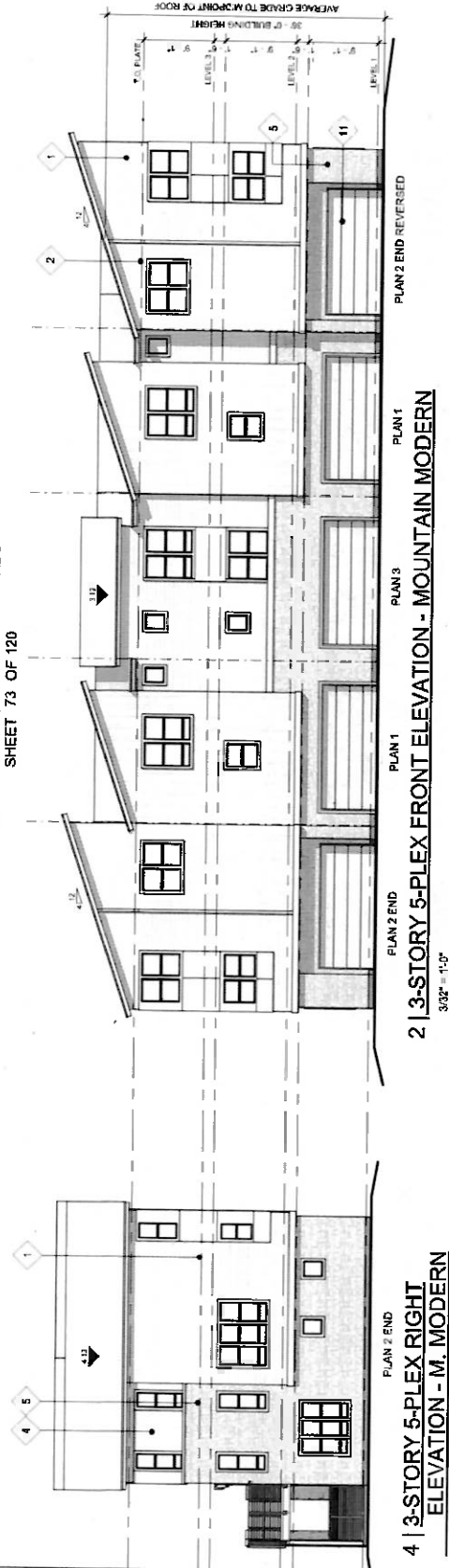
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6-PLEX ELEVATIONS -  
MOUNTAIN MODERN



KEYNOTES

MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5	MASONRY
6	PROJECTION AWNING
7	SHINGLE ROOF
8	CONCH LIGHT

MASONRY PERCENTAGES	
FRONT ELEVATION:	
MASONRY - 1,383 S.F. = 61%	
OTHER - 1,340 S.F.	
TOTAL - 2,723 S.F.	
REAR ELEVATION:	
MASONRY - 685 S.F. = 24%	
OTHER - 2,223 S.F.	
TOTAL - 2,908 S.F.	
LEFT ELEVATION:	
MASONRY - 555 S.F. = 43%	
OTHER - 651 S.F.	
TOTAL - 1,206 S.F.	
RIGHT ELEVATION:	
MASONRY - 555 S.F. = 57%	
OTHER - 517 S.F.	
TOTAL - 872 S.F.	

NO SUNT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

TOTAL - 6-PLEX 'MOUNTAIN MODERN'  
MASONRY - 5,178 S.F. = 33%  
OTHER - 4,931 S.F.  
TOTAL - 10,109 S.F.



# UPLANDS

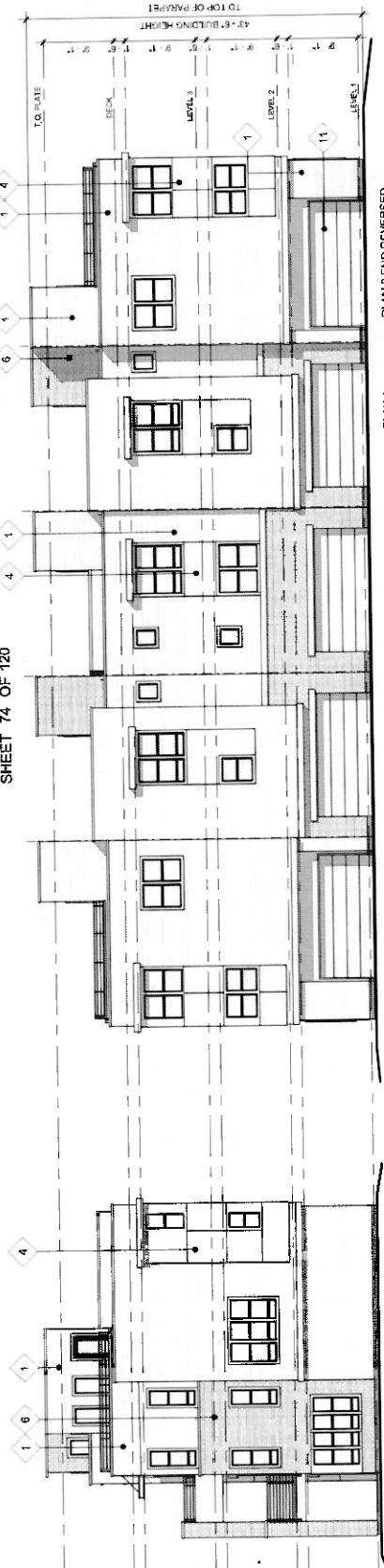
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## UPLANDS FILING NO. 1 BLOCK 1 OFFICIAL DEVELOPMENT PLAN WESTMINSTER, COLORADO

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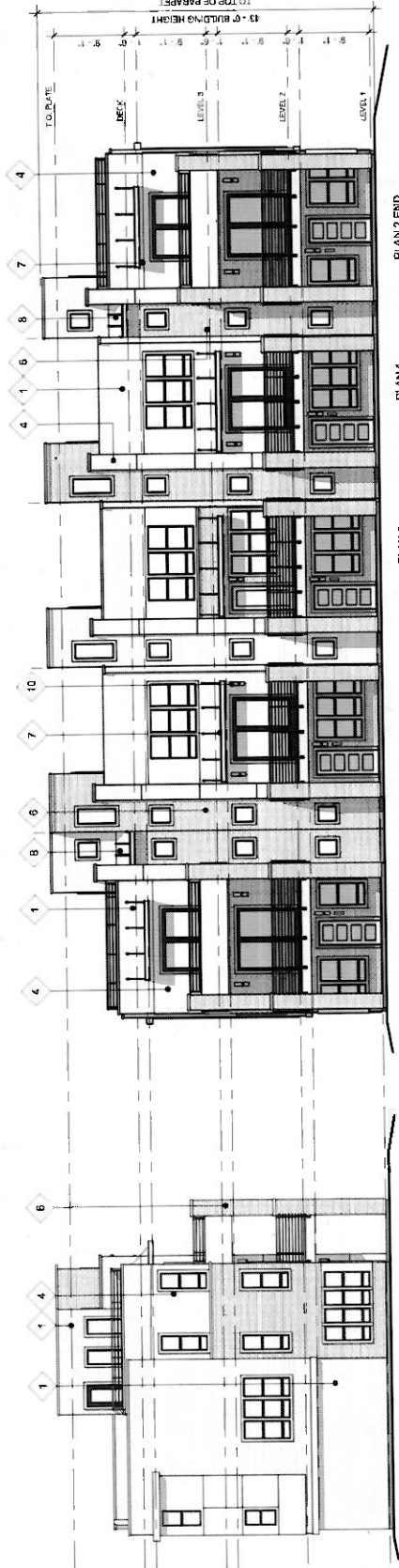
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5-PLEX ELEVATIONS -  
MODERN BROWNSTONE

### OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 1 - BLOCK 1 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 74 OF 120



4 | 3-STORY 5-PLEX RIGHT  
ELEVATION - M. BROWNSTONE  
3/32" = 1'-0"

2 | 3-STORY 5-PLEX FRONT ELEVATION - MODERN BROWNSTONE  
3/32" = 1'-0"



3 | 3-STORY 5-PLEX LEFT  
ELEVATION - M. BROWNSTONE  
3/32" = 1'-0"

1 | 3-STORY 5-PLEX REAR ELEVATION - MODERN BROWNSTONE  
3/32" = 1'-0"

#### KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANE
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
10	COACH-LIGHT

MASONRY PERCENTAGES	
FRONT ELEVATION:	
MASONRY - 1,577 S.F. = 60%	
OTHER - 1,582 S.F.	
TOTAL - 3,159 S.F.	
REAR ELEVATION:	
MASONRY - 432 S.F. = 13%	
OTHER - 2,877 S.F.	
TOTAL - 3,259 S.F.	
LEFT ELEVATION:	
MASONRY - 234 S.F. = 19%	
OTHER - 988 S.F.	
TOTAL - 1,222 S.F.	
RIGHT ELEVATION:	
MASONRY - 234 S.F. = 19%	
OTHER - 988 S.F.	
TOTAL - 1,222 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE NEXT TO TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

TOTAL - 5-PLEX MODERN BROWNSTONE  
MASONRY - 2,477 S.F. = 28%  
OTHER - 6,365 S.F.  
TOTAL - 8,842 S.F.

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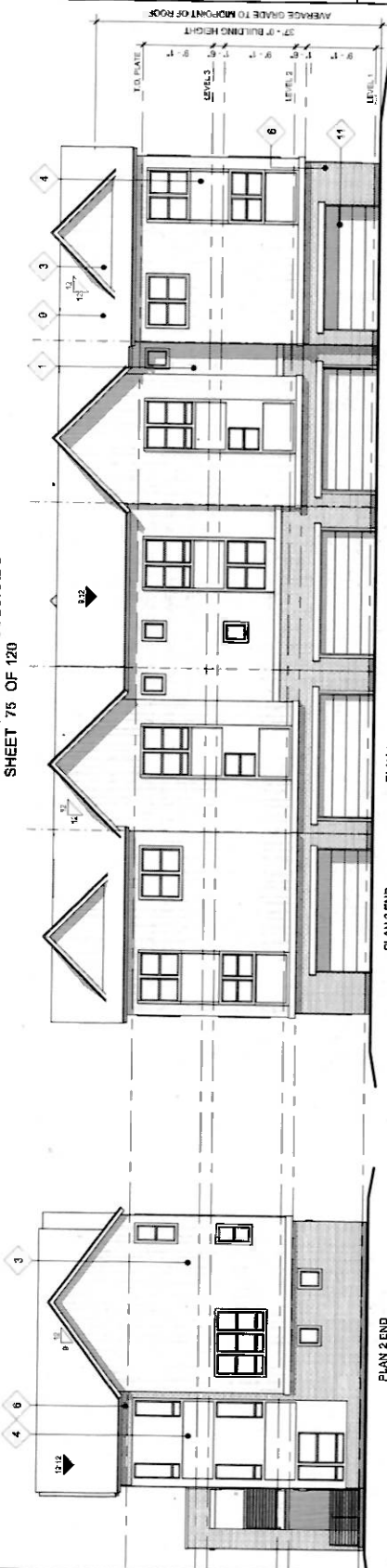


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WESTMINSTER, COLORADO

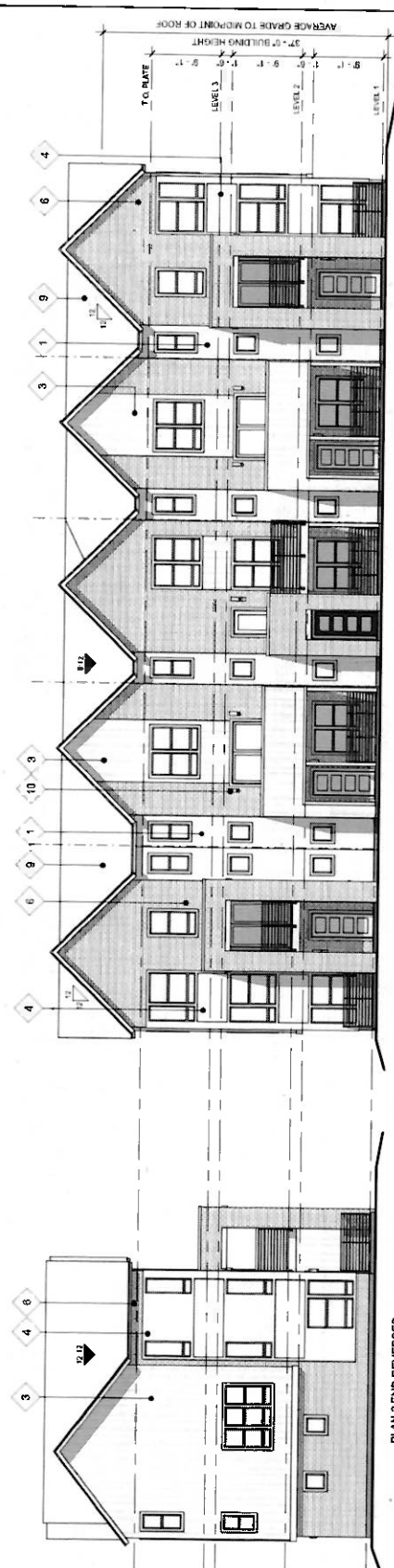
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5-PLEX ELEVATIONS -  
SCANDINAVIAN



4 | 3-STORY 5-PLEX RIGHT  
ELEVATION - SCANDINAVIAN  
3/32\"/>

2 | 3-STORY 5-PLEX FRONT ELEVATION - SCANDINAVIAN  
3/32\"/>



3 | 3-STORY 5-PLEX LEFT  
ELEVATION - SCANDINAVIAN  
3/32\"/>

1 | 3-STORY 5-PLEX REAR ELEVATION - SCANDINAVIAN  
3/32\"/>

KEYNOTES		MASONRY PERCENTAGES	
Elevation-Materials		FRONT ELEVATION	TOTAL - 6-PLEX SCANDINAVIAN
	MATERIAL	MASONRY - 1,706 S.F. = 69%	MASONRY - 2,925 S.F. = 87%
	DESCRIPTION	OTHER - 1,106 S.F.	OTHER - 502 S.F.
		TOTAL - 2,812 S.F.	TOTAL - 7,910 S.F.
MARK		REAR ELEVATION	
		MASONRY - 532 S.F. = 19%	
		OTHER - 2,280 S.F.	
		TOTAL - 2,810 S.F.	
		LEFT ELEVATION	
		MASONRY - 345 S.F. = 30%	
		OTHER - 788 S.F.	
		TOTAL - 1,134 S.F.	
		RIGHT ELEVATION	
		MASONRY - 345 S.F. = 30%	
		OTHER - 789 S.F.	
		TOTAL - 1,134 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES





UPLANDS

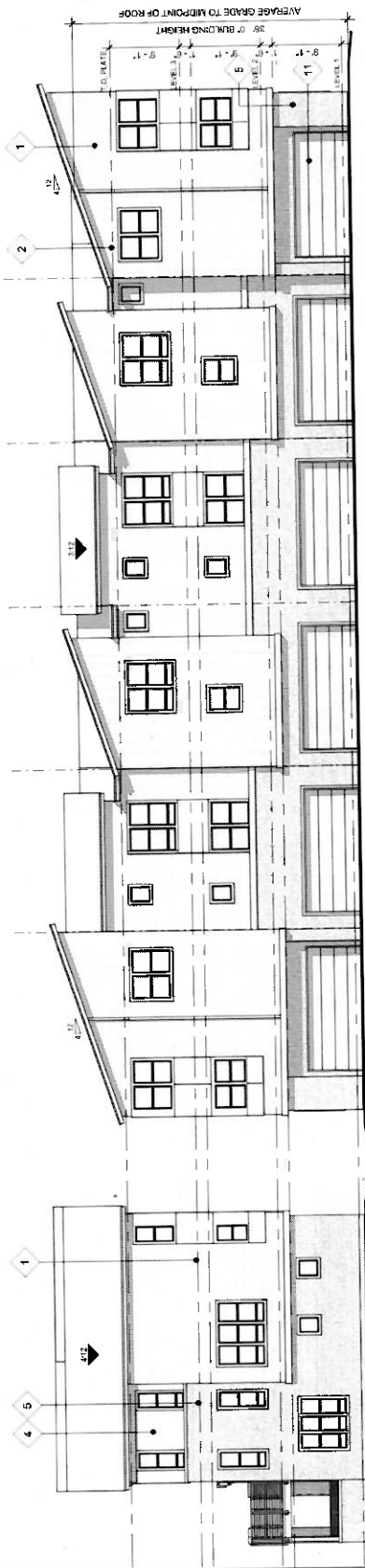
DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

76 OF 120  
6-PLEX ELEVATIONS -  
MOUNTAIN MODERN

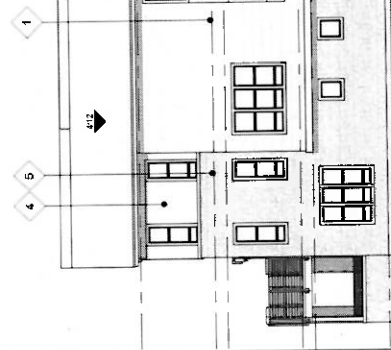
OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 76 OF 120



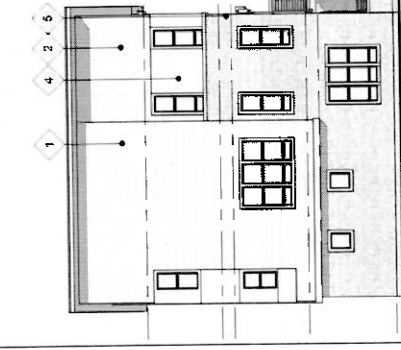
2 | 3-STORY 6-PLEX FRONT ELEVATION - MOUNTAIN MODERN  
3/32" = 1'-0"



1 | 3-STORY 6-PLEX REAR ELEVATION - MOUNTAIN MODERN  
3/32" = 1'-0"



4 | 3-STORY 6-PLEX RIGHT  
ELEVATION - M. MODERN  
3/32" = 1'-0"



3 | 3-STORY 6-PLEX LEFT  
ELEVATION - M. MODERN  
3/32" = 1'-0"

KEYNOTES

MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5	MASONRY
7	PROJECTION AWNING
9	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION:	TOTAL - 6,511 S.F. = 50%
MASONRY - 3,255 S.F.	MASONRY - 3,255 S.F. = 39%
OTHER - 3,256 S.F.	OTHER - 3,256 S.F.
TOTAL - 6,511 S.F.	TOTAL - 6,511 S.F.
REAR ELEVATION:	TOTAL - 6,511 S.F. = 25%
MASONRY - 3,255 S.F.	MASONRY - 3,255 S.F.
OTHER - 3,256 S.F.	OTHER - 3,256 S.F.
TOTAL - 6,511 S.F.	TOTAL - 6,511 S.F.
LEFT ELEVATION:	TOTAL - 6,511 S.F. = 43%
MASONRY - 3,255 S.F.	MASONRY - 3,255 S.F.
OTHER - 3,256 S.F.	OTHER - 3,256 S.F.
TOTAL - 6,511 S.F.	TOTAL - 6,511 S.F.
RIGHT ELEVATION:	TOTAL - 6,511 S.F. = 57%
MASONRY - 3,255 S.F.	MASONRY - 3,255 S.F.
OTHER - 3,256 S.F.	OTHER - 3,256 S.F.
TOTAL - 6,511 S.F.	TOTAL - 6,511 S.F.

NO 5-JUNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES



OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 77 OF 120



UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

77 OF 120  
6-PLEX ELEVATIONS -  
MODERN BROWNSTONE



4 | 3-STORY 6-PLEX RIGHT  
ELEVATION - M. BROWNSTONE  
3/32" = 1'-0"

PLAN 2 END

PLAN 1

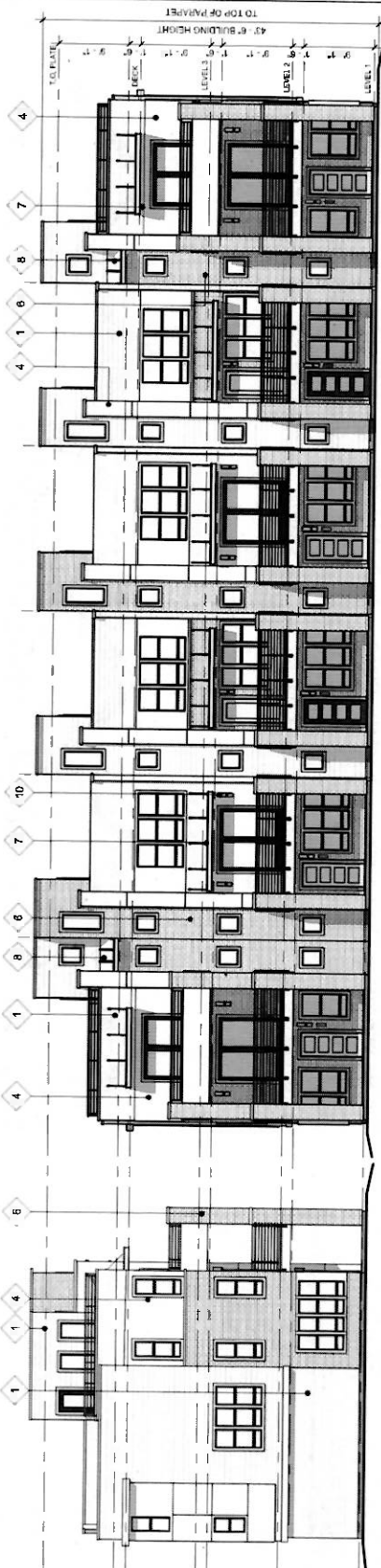
PLAN 3

PLAN 1

PLAN 3

PLAN 2 END

PLAN 3



3 | 3-STORY 6-PLEX LEFT  
ELEVATION - M. BROWNSTONE  
3/32" = 1'-0"

PLAN 2 END REVERSED

PLAN 2 END

PLAN 1

PLAN 3

PLAN 1

PLAN 3

PLAN 2 END

KEYNOTES

Elevation-Materials	
MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARD PANEL
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
10	CONCH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION:	
MASONRY - 1,802 S.F. = 44%	
OTHER - 1,921 S.F.	
TOTAL - 3,723 S.F.	
REAR ELEVATION:	
MASONRY - 564 S.F. = 16%	
OTHER - 3,270 S.F.	
TOTAL - 3,834 S.F.	
LEFT ELEVATION:	
MASONRY - 234 S.F. = 16%	
OTHER - 988 S.F.	
TOTAL - 1,222 S.F.	
RIGHT ELEVATION:	
MASONRY - 234 S.F. = 19%	
OTHER - 988 S.F.	
TOTAL - 1,222 S.F.	

NO 5-JUNT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES

TOTAL - 6-PLEX MODERN BROWNSTONE:  
MASONRY - 2,864 S.F. = 28%  
OTHER - 7,470 S.F.  
TOTAL - 10,334 S.F.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 78 OF 120



UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

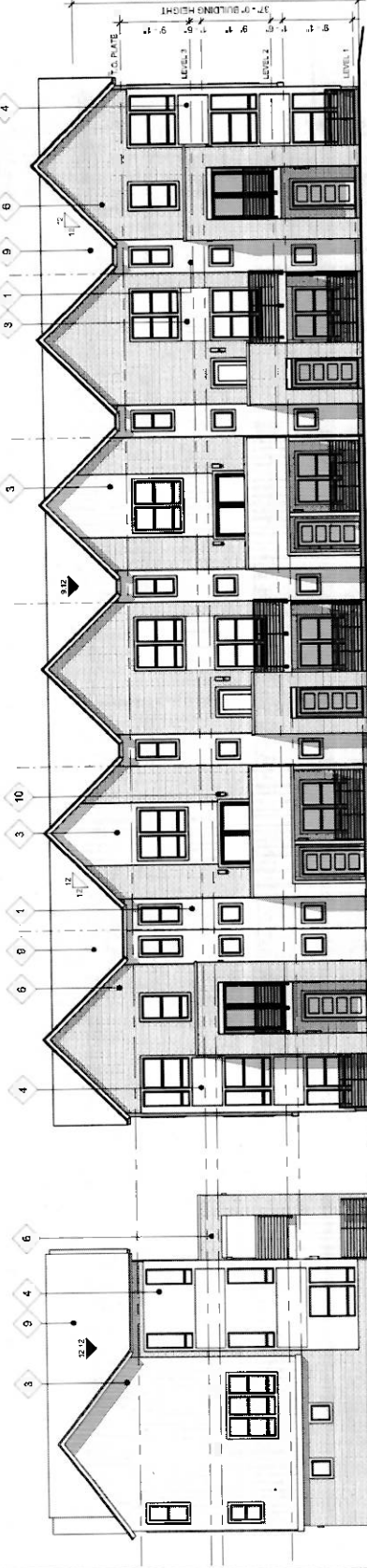
OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

78 OF 120  
6-PLEX ELEVATIONS -  
SCANDINAVIAN



4 | 3-STORY 6-PLEX RIGHT  
ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

2 | 3-STORY 6-PLEX FRONT ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"



3 | 3-STORY 6-PLEX LEFT  
ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

1 | 3-STORY 6-PLEX REAR ELEVATION - SCANDINAVIAN  
3/32" = 1'-0"

KEYNOTES

MARK	DESCRIPTION
1	HORIZONTAL SIDING
2	VERTICAL SIDING
3	BOARD AND BATTEN
4	HARDI PANEL
5/6	MASONRY
7	PROJECTION AWNING
8	SHINGLE ROOF
10	COACH LIGHT

MASONRY PERCENTAGES

FRONT ELEVATION:	TOTAL - 6-PLEX, SCANDINAVIAN
MASONRY - 2,082 S.F. = 81%	MASONRY - 3,452 S.F. = 36%
OTHER - 1,348 S.F.	OTHER - 5,522 S.F.
TOTAL - 3,430 S.F.	TOTAL - 8,974 S.F.
REAR ELEVATION:	
MASONRY - 580 S.F. = 21%	
OTHER - 2,556 S.F.	
TOTAL - 3,276 S.F.	
LEFT ELEVATION:	
MASONRY - 345 S.F. = 30%	
OTHER - 789 S.F.	
TOTAL - 1,134 S.F.	
RIGHT ELEVATION:	
MASONRY - 345 S.F. = 30%	
OTHER - 789 S.F.	
TOTAL - 1,134 S.F.	

NO 5-UNIT BUILDING OF THE SAME MODEL SHALL BE BUILT ON 5 ADJACENT LOTS. EXCEPTIONS MAY BE MADE, AT THE DISCRETION OF THE PROJECT PLANNER, IN CASES WHERE VERY FEW LOTS ARE LOCATED ON A SINGLE SIDE OF A BLOCK. ADJACENT LOTS ARE ANY 5 TOWNHOME LOTS THAT FACE OR ARE NEXT TO EACH OTHER, ALTHOUGH SEPARATED BY A STREET OR GREEN SPACE BY MORE THAN 30% OF THE LOT LINES.

**OFFICIAL DEVELOPMENT PLAN**  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 79 OF 120

**UPLANDS**  
 DATE: 04.26.2024

**UPLANDS FILING NO. 1**  
**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 10.27.2023  
 REVISIONS  
 SUB 01: 10.27.2023  
 SUB 02: 02.29.2024  
 SUB 03: 04.26.2024  
 SUB 04: 05.31.2024

**79 OF 120**  
 SFD 2-STORY -  
 CHARACTERISTICS TABLE

**SFD 2-STORY - MODP ARCHITECTURAL CHARACTERISTICS TABLE**

MODEL:	PLAN 1 ELEV. 'A'	PLAN 1 ELEV. 'B'	PLAN 1 ELEV. 'C'	PLAN 2 ELEV. 'A'	PLAN 2 ELEV. 'B'	PLAN 2 ELEV. 'C'	PLAN 3 ELEV. 'A'	PLAN 3 ELEV. 'B'	PLAN 3 ELEV. 'C'	PLAN 4 ELEV. 'A'	PLAN 4 ELEV. 'B'	PLAN 4 ELEV. 'C'
(SFD STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X	X	X	X	X	X	X	X	X	X
(SFD STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	X	X	X	X	X	X	X	X	X
(MODP ROOF PITCH) 5 IN 12 MIN. SLOPE	NOTE: SEE EXCEPTION REQUEST ON SHEET 5											
(MODP MASONRY) 30% AVERAGE ON THE FRONT & OTHER PUBLIC FACING ELEVATIONS	X	X	X	X	X	X	X	X	X	X	X	X
(MODP STORIES) 3 STORIES MAX.	X	X	X	X	X	X	X	X	X	X	X	X
(MODP HEIGHT) 40' MAX.	X	X	X	X	X	X	X	X	X	X	X	X
(MODP PRIVATE OUTDOOR SPACE) 400 USABLE SQ. FT./W/ DECKS & PATIOS INCLUDED	X	X	X	X	X	X	X	X	X	X	X	X
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X	X	X	X	X	X	X	X	X	X
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X	X	X	X	X	X	X	X	X	X
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 1.5.6) 360 DEGREE ARCHITECTURE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRY PORCHES 1/3 MIN. OF FACADE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) UNOBSTRUCTED PORCHES ARE 6'-8" DEPTH & 90 SQ. FT. MIN.	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) 2 IN GARAGE & 2 IN DRIVEWAY PARKING SPACES FOR EACH UNIT	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRIES & PORCHES SHOULD EXTEND IN FRONT OF MAIN FACADE & DETAILED	X	X	X	X	X	X	X	X	X	X	X	X

NOTE: SEE EXCEPTION REQUEST ON SHEET 5

**ANTI-MONOTONY RULES**

NO SINGLE FAMILY DWELLING UNIT OF THE SAME MODEL SHALL BE BUILT ON ADJACENT LOTS, NOR SHALL MORE THAN 30% OF THE SAME MODEL BE BUILT ON ANY SINGLE SIDE OF A BLOCK.

NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS WHOSE FRONT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET. HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.

NOTE: NUMBER OF HOME FRONT ELEVATIONS ALONG A BLOCK: A BLOCK IS DEFINED AS A NUMBER OF RESIDENTIAL FACADES ALONG A STREET. FOR PURPOSES OF THESE STANDARDS, THE LENGTH OF A BLOCK SHALL BE NO MORE THAN 20 HOMES PER SIDE OF STREET.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 80 OF 120



GoddenSudik  
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5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

UPLANDS  
DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

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SFD SATORY -  
CHARACTERISTICS TABLE

SFD 3-STORY - MODP ARCHITECTURAL CHARACTERISTICS TABLE

MODEL	PLAN 1 ELEV. 'A'	PLAN 1 ELEV. 'B'	PLAN 1 ELEV. 'C'	PLAN 2 ELEV. 'A'	PLAN 2 ELEV. 'B'	PLAN 2 ELEV. 'C'	PLAN 3 ELEV. 'A'	PLAN 3 ELEV. 'B'	PLAN 3 ELEV. 'C'	PLAN 4 ELEV. 'A'	PLAN 4 ELEV. 'B'	PLAN 4 ELEV. 'C'
(SFD STANDARDS ON ANTI-MONOTONY 1-A) DIFFERENT ROOF FORMS	X	X	X	X	X	X	X	X	X	X	X	X
(SFD STANDARDS ON ANTI-MONOTONY 1-C) DIFFERENT ENTRY TREATMENTS	X	X	X	X	X	X	X	X	X	X	X	X
(MODP ROOF PITCH) 6 IN 12 MIN. SLOPE	X	X	X	SEE EXCEPTION REQUEST ON SHT. 5			X	X	X	X	X	X
(MODP MASONRY) 30% AVERAGE ON THE FRONT & OTHER PUBLIC FACING ELEVATIONS	X	X	X	X	X	X	X	X	X	X	X	X
(MODP STORIES) 3 STORIES MAX.	X	X	X	X	X	X	X	X	X	X	X	X
(MODP HEIGHT) 40' MAX.	X	X	X	X	X	X	X	X	X	X	X	X
(MODP PRIVATE OUTDOOR SPACE) 400 USABLE SQ. FT./W/ DECKS & PATIOS INCLUDED	X	X	X	X	X	X	X	X	X	X	X	X
(MODP GARAGE LOCATION) ALL ALLEY LOADED	X	X	X	X	X	X	X	X	X	X	X	X
(MODP FRONTAGE TREATMENT) AT-GRADE OR RAISED PORCHES & BUILDING ENTRIES	X	X	X	X	X	X	X	X	X	X	X	X
(MODP PEDESTRIAN ACCESS) PRIMARY ENTRY FEATURE ALONG STREET OR GREEN COURT	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 1.5.4) BUILDING PROTOTYPES & ELEMENTS TO REFLECT CONSTRUCTION TRADITIONS & FEATURES ALONG FRONT RANGE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 1.5.5) BUILDER TO ACHIEVE "BUILT-GREEN" DESIGNATION FOR PROJECT	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 1.5.5) 360 DEGREE ARCHITECTURE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRY PORCHES 1/3 MIN. OF FACADE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) UNOBSTRUCTED PORCHES ARE 6'-3" DEPTH & 90 SQ. FT. MIN.	X	X	X	X	X	X	X	X	X	X	X	X
(W.M.G. 11-7-4(B)(2)) 2 IN GARAGE & 2 IN DRIVEWAY PARKING SPACES FOR EACH UNIT	NOTE: SEE EXCEPTION REQUEST ON SHEET 5											
(TMUND 2.3.1) 20 FEET WIDTH BY 22 FEET DEPTH MIN. GARAGE DIMENSIONS	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) 16 FEET WIDTH BY 7 FEET HEIGHT MIN. GARAGE DOOR DIMENSIONS	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) GARAGES CANNOT BE USED AS OR CONVERTED TO LIVING SPACE	X	X	X	X	X	X	X	X	X	X	X	X
(TMUND 2.3.1) ENTRIES & PORCHES SHOULD EXTEND IN FRONT OF MAIN FACADE & DETAILED	X	X	X	X	X	X	X	X	X	X	X	X

ANTI-MONOTONY RULES

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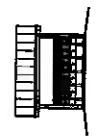
NOTE: ADJACENT LOTS ARE ANY LOTS THAT ADJOIN OR SHARE ANY SIDE LOT LINE OR LOTS WHOSE FRONT ELEVATION FACE EACH OTHER, ALTHOUGH SEPARATED BY A STREET. HAVE THEIR PROPERTY LINES OVERLAP BY MORE THAN 30%.

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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 81 OF 120

MAIL KIOSK  
STRUCTURE

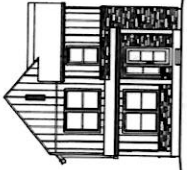
SFD 2-STORY



(5) MAIL BOX KIOSK  
- FRONT ELEVATION



SFD 2-STORY PLAN 1 -  
FRONT ELEVATION - 'A'



SFD 2-STORY PLAN 1 -  
FRONT ELEVATION - 'B'



SFD 2-STORY PLAN 1 -  
FRONT ELEVATION - 'C'



SFD 2-STORY PLAN 2 -  
FRONT ELEVATION - 'A'



SFD 2-STORY PLAN 2 -  
FRONT ELEVATION - 'B'



SFD 2-STORY PLAN 2 -  
FRONT ELEVATION - 'C'



SFD 2-STORY PLAN 3 -  
FRONT ELEVATION - 'A'



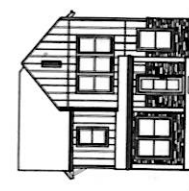
SFD 2-STORY PLAN 3 -  
FRONT ELEVATION - 'B'



SFD 2-STORY PLAN 3 -  
FRONT ELEVATION - 'C'



SFD 2-STORY PLAN 4 -  
FRONT ELEVATION - 'A'



SFD 2-STORY PLAN 4 -  
FRONT ELEVATION - 'B'



SFD 2-STORY PLAN 4 -  
FRONT ELEVATION - 'C'

SFD 3-STORY



SFD 3-STORY  
PLAN 1 - FRONT  
ELEVATION - 'A'



SFD 3-STORY  
PLAN 1 - FRONT  
ELEVATION - 'B'



SFD 3-STORY  
PLAN 1 - FRONT  
ELEVATION - 'C'



SFD 3-STORY  
PLAN 2 - FRONT  
ELEVATION - 'A'



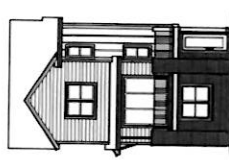
SFD 3-STORY  
PLAN 2 - FRONT  
ELEVATION - 'B'



SFD 3-STORY  
PLAN 2 - FRONT  
ELEVATION - 'C'



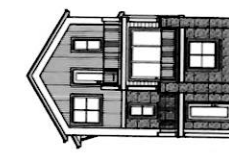
SFD 3-STORY  
PLAN 3 - FRONT  
ELEVATION - 'A'



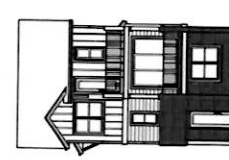
SFD 3-STORY  
PLAN 3 - FRONT  
ELEVATION - 'B'



SFD 3-STORY  
PLAN 3 - FRONT  
ELEVATION - 'C'



SFD 3-STORY  
PLAN 4 - FRONT  
ELEVATION - 'A'



SFD 3-STORY  
PLAN 4 - FRONT  
ELEVATION - 'B'



SFD 3-STORY  
PLAN 4 - FRONT  
ELEVATION - 'C'

**GoddenSudik**  
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**UPLANDS**  
DATE: 04.26.2024


UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED 10.27.2023
REVISIONS
SUB 01 10.27.2023
SUB 02 02.29.2024
SUB 03 04.26.2024
SUB 04 05.31.2024

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SFD STREETSCAPE  
& MAIL KIOSK



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**UPLANDS**

DATE: 04.26.2024

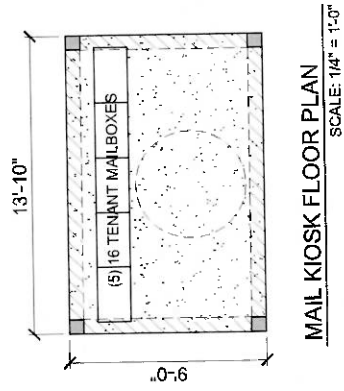
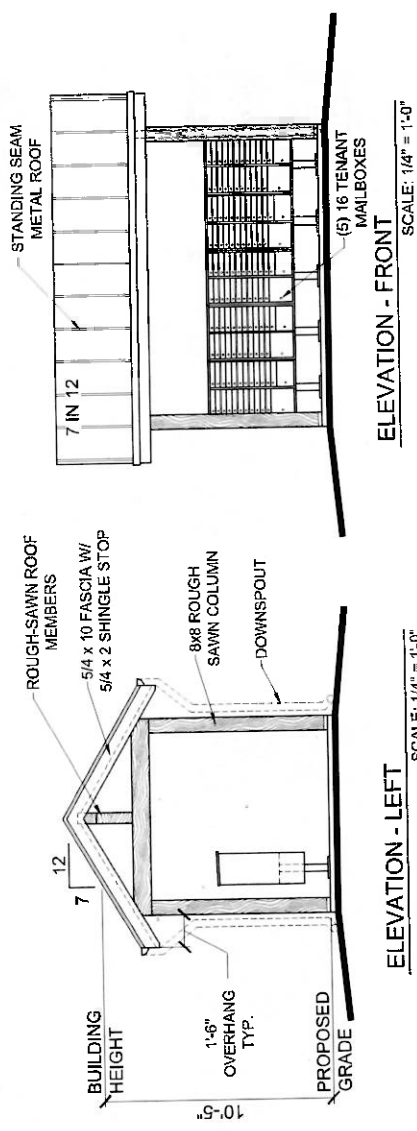
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

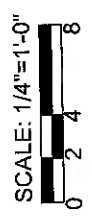
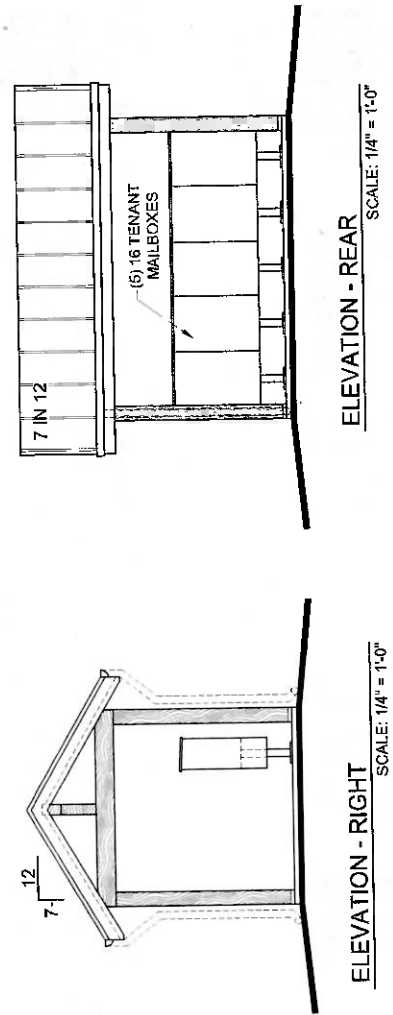
82 OF 120  
MAIL KIOSK  
STRUCTURE

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 82 OF 120

REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION



NOTE:  
1. SOLAR POWERED LIGHTING WILL  
BE PROVIDED





OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 83 OF 120



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DATE: 04.26.2024

UPLANDS

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

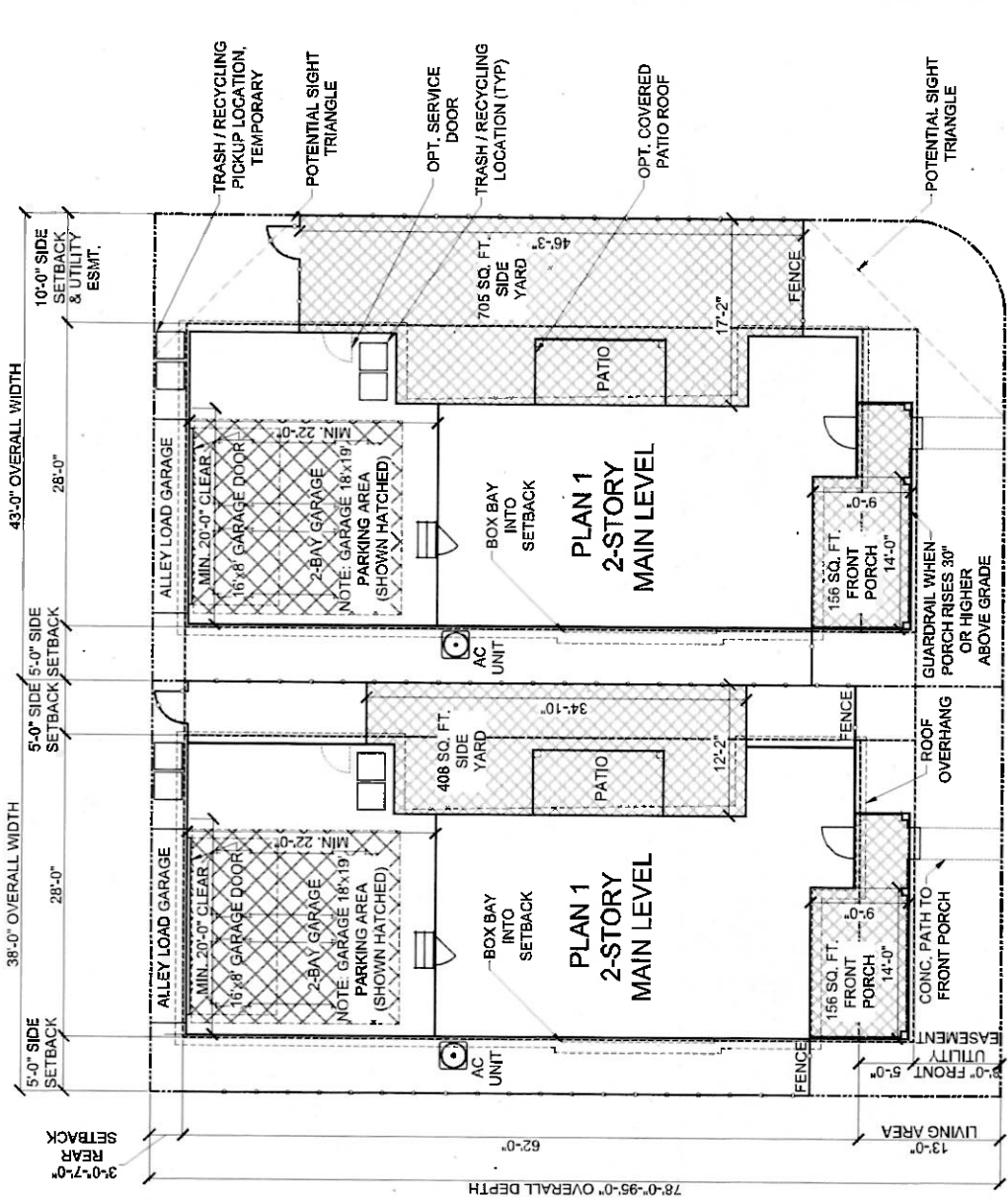
REVISIONS

SUB 01	10/27/2023
SUB 02	02/29/2024
SUB 03	04/26/2024
SUB 04	05/31/2024

PREPARED 10/27/2023  
OFFICIAL DEVELOPMENT PLAN

83 OF 120  
SFD 2-STORY PLAN 1  
LOT TYPICALS

UPLANDS



SINGLE FAMILY 2-STORY  
LOT TYPICAL PLAN 1 - MAIN LEVEL  
1,910 TOTAL SQ. FT.  
SCALE: 1/8" = 1'-0"

CORNER LOT  
INTERIOR LOT  
OUTDOOR LIVING: 861 TOTAL SQ. FT.  
FRONT PORCH: 156 SQ. FT.  
SIDE YARD: 705 SQ. FT.



- NOTE:
- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  - NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
  - ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
  - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
  - SFD HOMES WILL BE DESIGNED AS SOLAR READY.
  - ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM.
  - FENCE LOCATIONS ARE GENERIC AND TO BE DETERMINED DURING CONSTRUCTION.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
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REFER TO COLOR  
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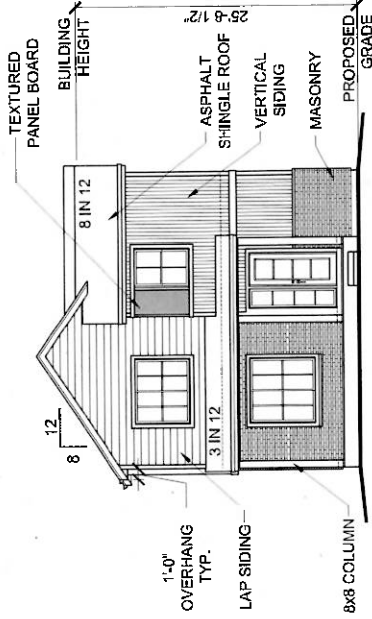
**UPLANDS**

DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

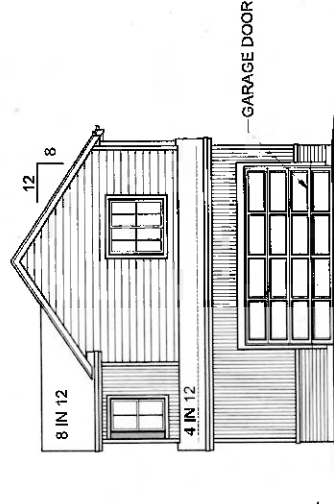
OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
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	SUB 02: 02.29.2024
	SUB 03: 04.26.2024
	SUB 04: 05.31.2024

84 OF 120  
SFD 2-STORY PLAN 1  
ELEVATION 'A'



PLAN 1 ELEVATION 'A' - FRONT

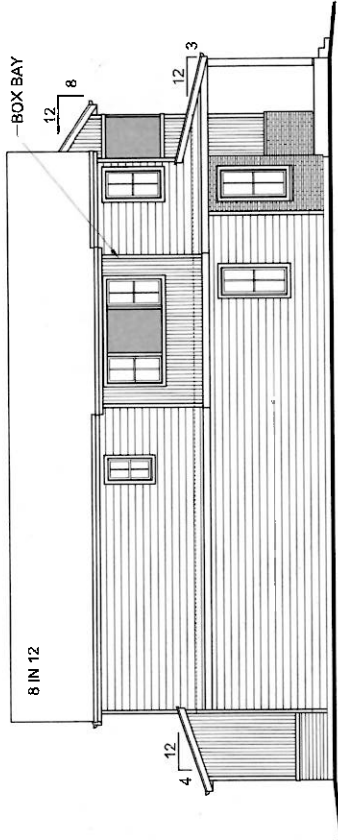
31% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'A' - REAR

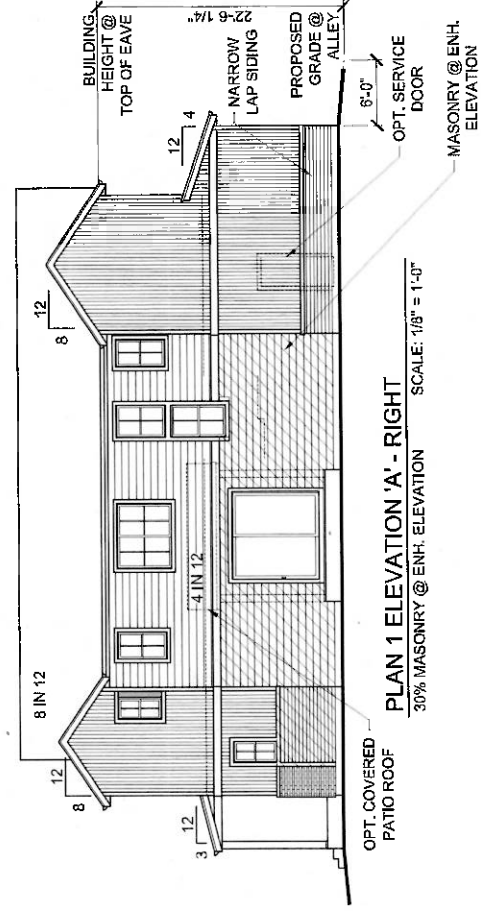
31% MASONRY PROVIDED AT REAR SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"



PLAN 1 ELEVATION 'A' - LEFT

NON-PUBLIC FACING ELEVATION SCALE: 1/8" = 1'-0"



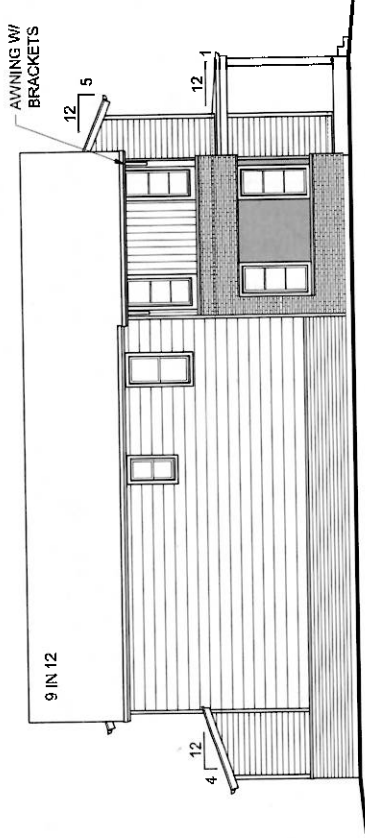
PLAN 1 ELEVATION 'A' - RIGHT

30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"

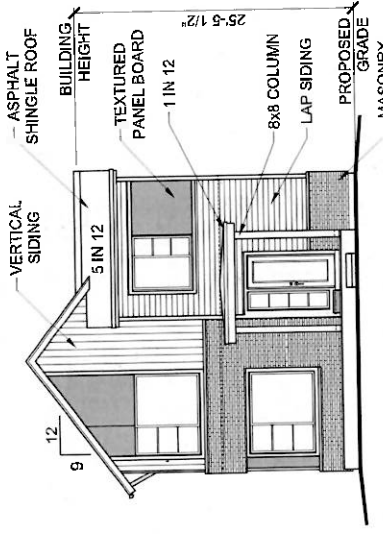


OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 86 OF 120

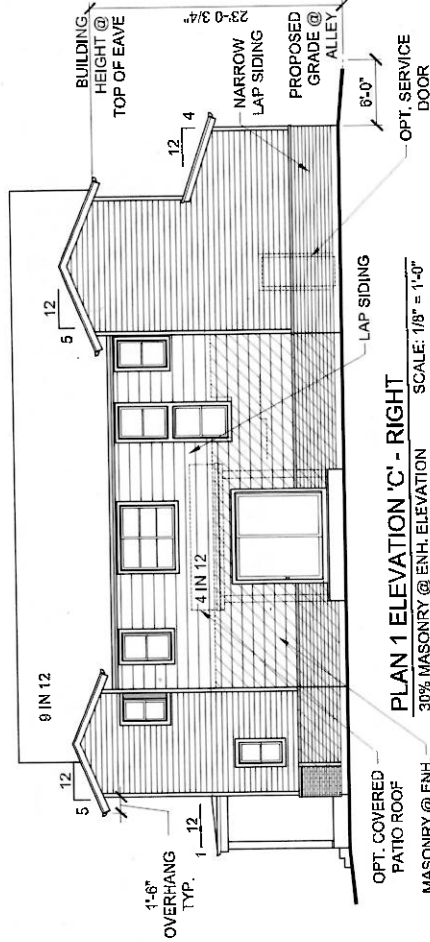
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION



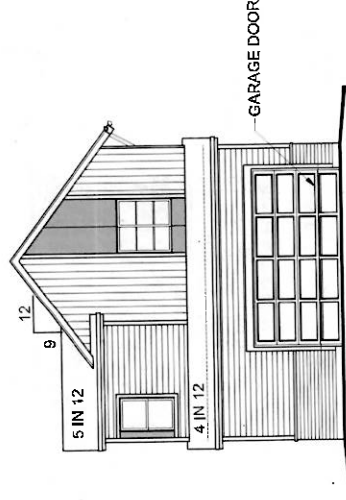
PLAN 1 ELEVATION 'C' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - FRONT  
30% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - RIGHT  
30% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - REAR  
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"



UPLANDS

DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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SFD 2-STORY PLAN 1  
ELEVATION 'C'

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UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 87 OF 120

**UPLANDS**

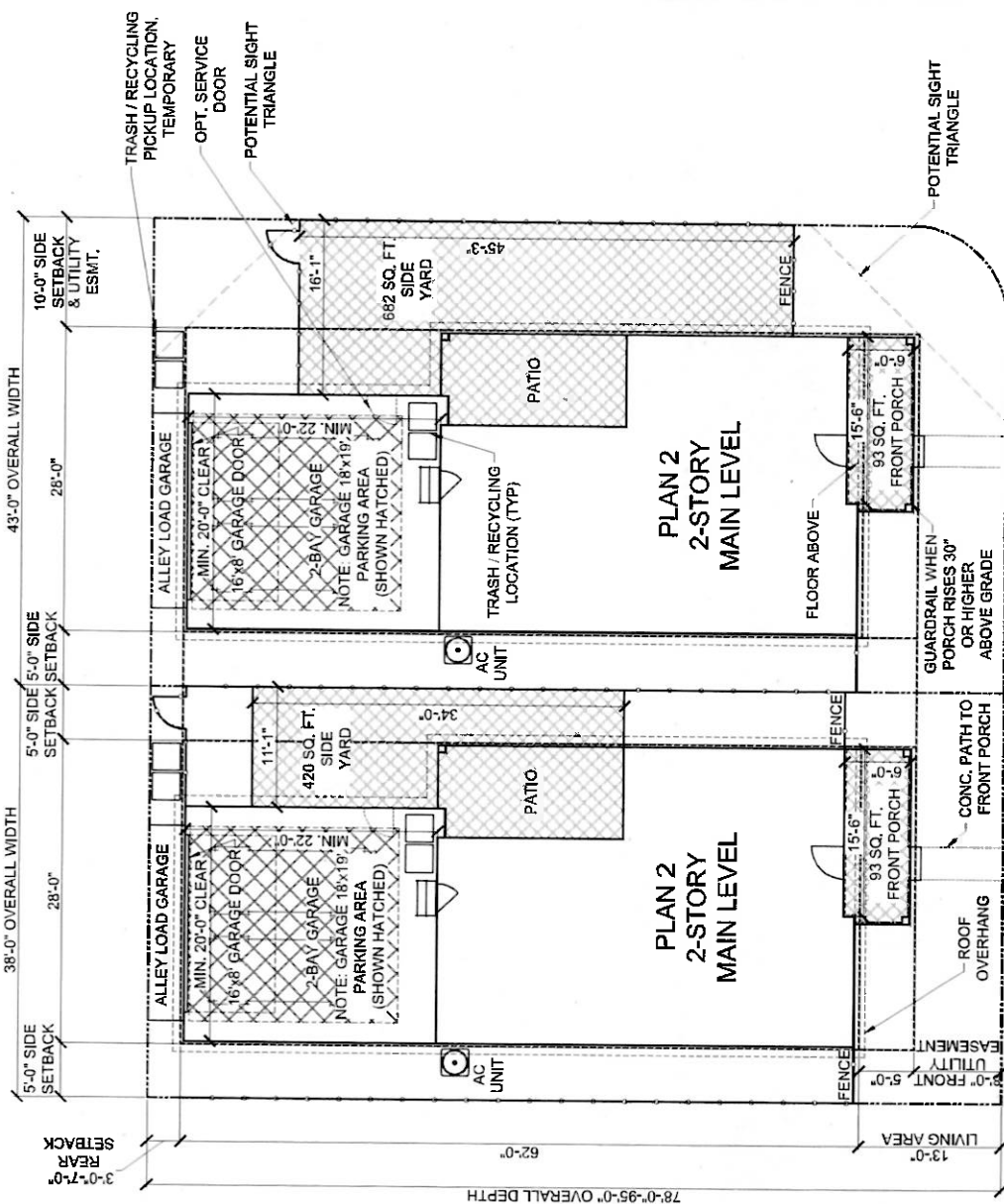
DATE: 04.26.2024

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BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

REVISIONS	SUB 01: 10.27.2023
PREPARED 10.27.2023	SUB 02: 02.29.2024
	SUB 03: 04.26.2024
	SUB 04: 05.31.2024

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SFD 2-STORY PLAN 2  
LOT TYPICALS



SINGLE FAMILY 2-STORY  
LOT TYPICAL PLAN 2 - MAIN LEVEL  
2,145 TOTAL SQ. FT.

SCALE: 1/8" = 1'-0"

CORNER LOT  
OUTDOOR LIVING: 513 TOTAL SQ. FT.  
FRONT PORCH: 93 SQ. FT.  
SIDE YARD: 420 SQ. FT.

INTERIOR LOT  
OUTDOOR LIVING: 775 TOTAL SQ. FT.  
FRONT PORCH: 93 SQ. FT.  
SIDE YARD: 682 SQ. FT.

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  2. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT.
  3. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE.
  4. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE.
  5. SFD HOMES WILL BE DESIGNED AS SOLAR READY.
  6. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM.
  7. FENCE LOCATIONS ARE GENERIC AND TO BE DETERMINED DURING CONSTRUCTION.

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 88 OF 120

REFER TO COLOR  
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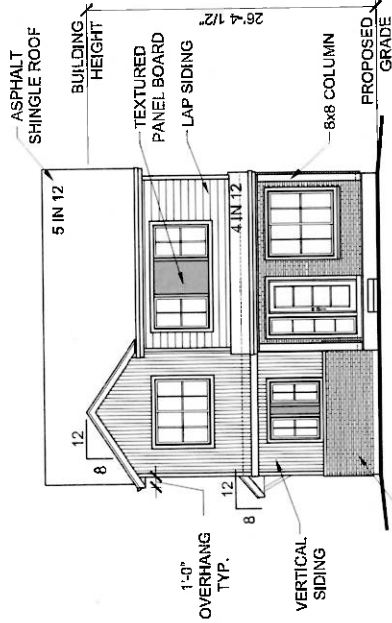
**UPLANDS**

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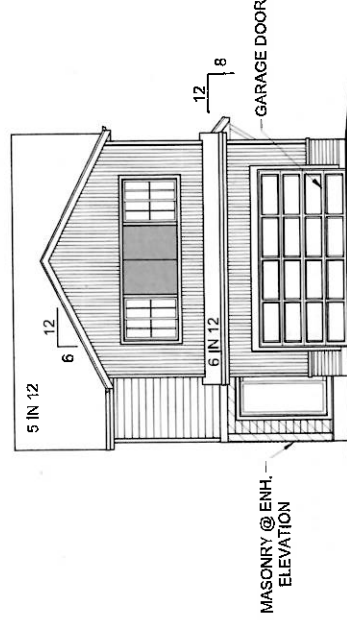
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
REVISIONS  
SUB 01: 10.27.2023  
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SUB 03: 04.26.2024  
SUB 04: 05.31.2024

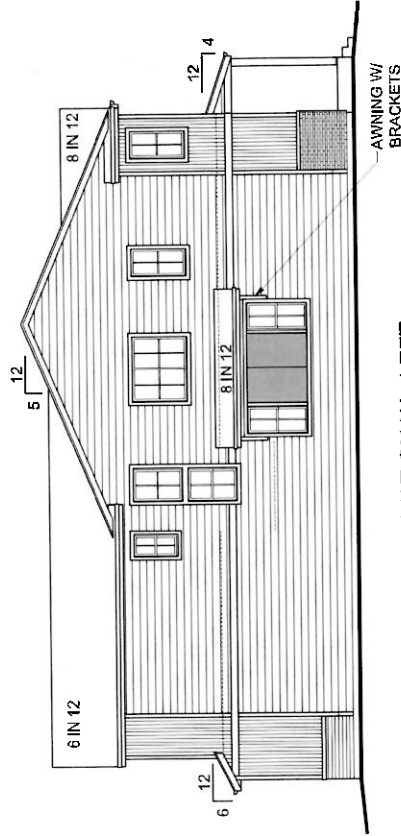
88 OF 120  
SFD 2-STORY PLAN 2  
ELEVATION 'A'



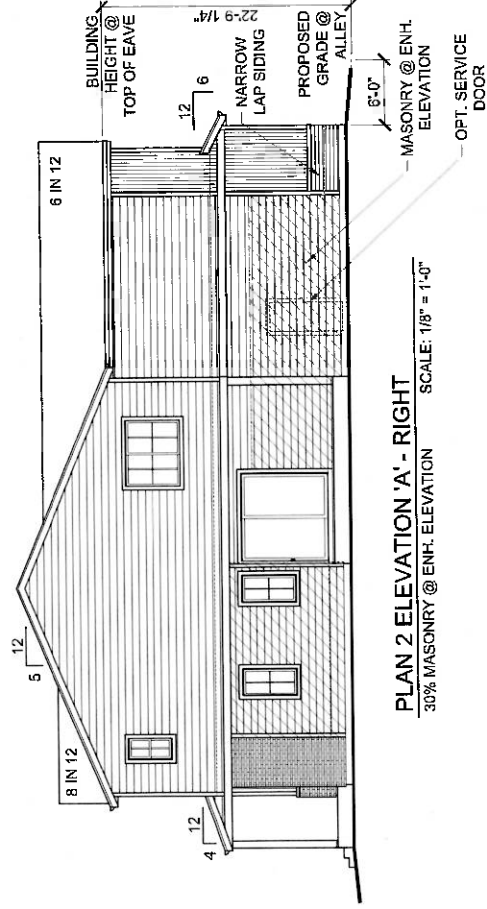
PLAN 2 ELEVATION 'A' - FRONT  
30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'A' - REAR  
SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'A' - LEFT  
NON-PUBLIC FACING ELEVATION SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'A' - RIGHT  
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"  
0 4 8 16



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
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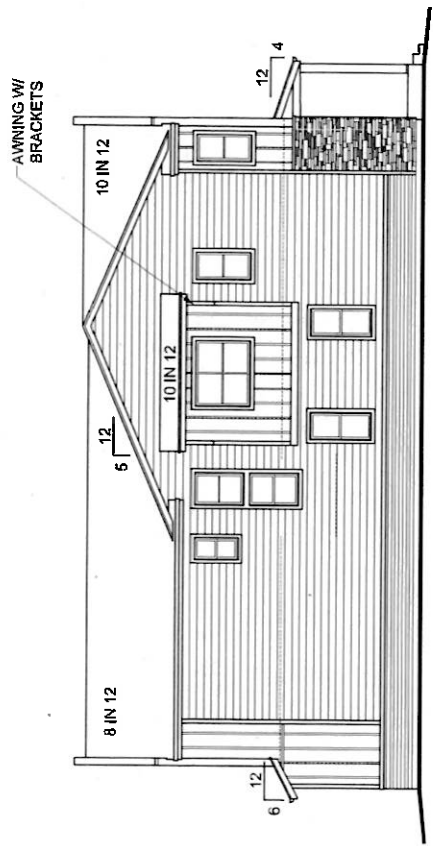
DATE: 04.26.2024

**UPLANDS**

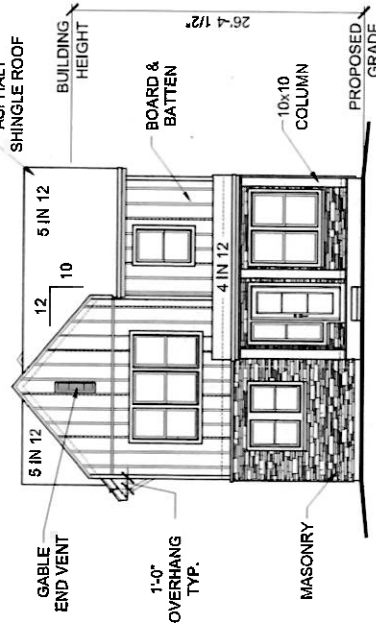
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**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024
PREPARED: 10.27.2023
OFFICIAL DEVELOPMENT PLAN

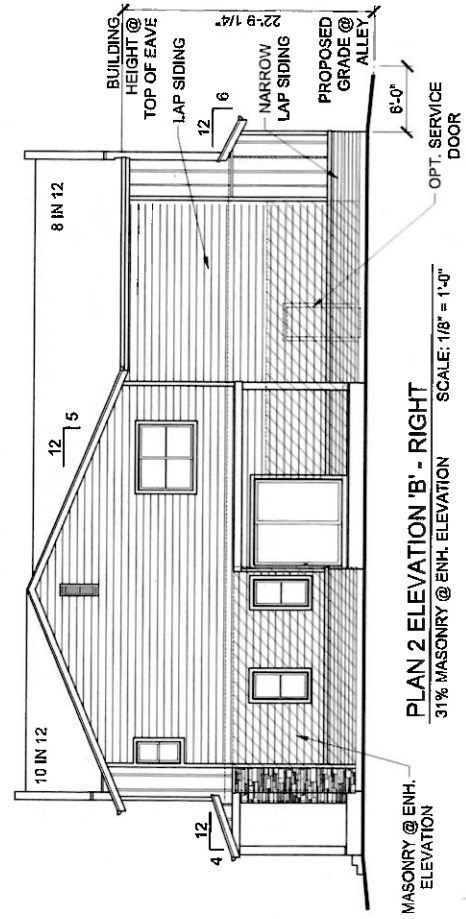
89 OF 120  
SFD 2-STORY PLAN 2  
ELEVATION 'B'



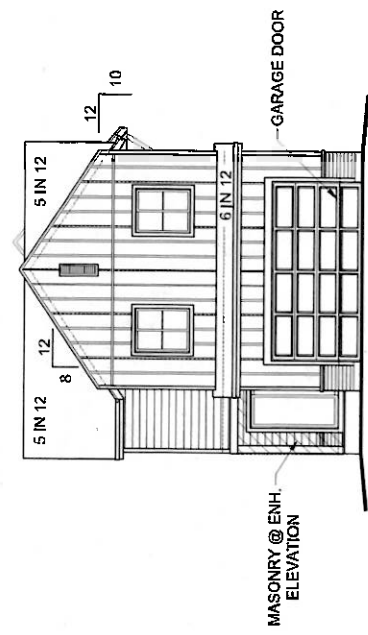
**PLAN 2 ELEVATION 'B' - LEFT**  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'B' - FRONT**  
34% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'B' - RIGHT**  
31% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'B' - REAR**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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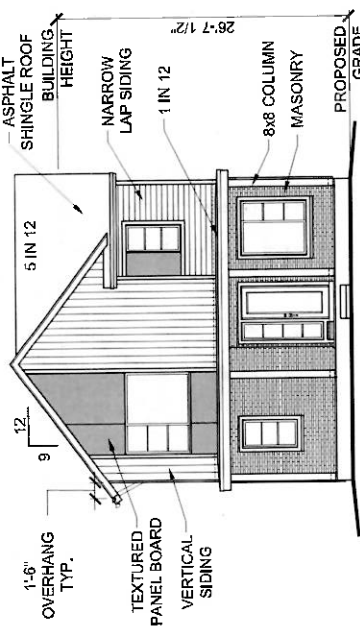
**UPLANDS**

DATE: 04.26.2024

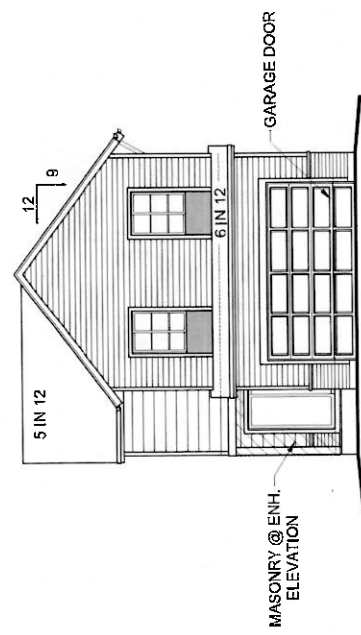
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BLOCK 1  
OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
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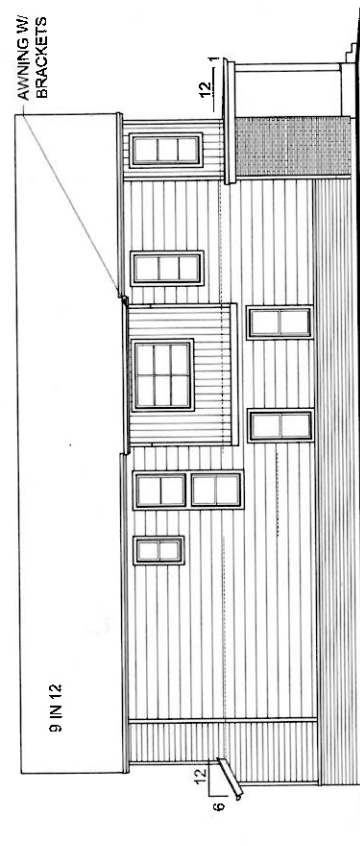
90 OF 120  
SFD 2-STORY PLAN 2  
ELEVATION 'C'



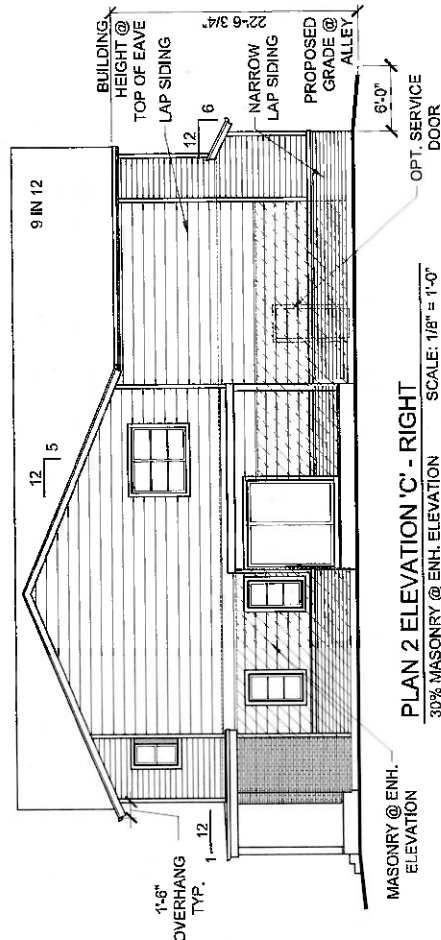
**PLAN 2 ELEVATION 'C' - FRONT**  
34% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'C' - REAR**  
SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'C' - LEFT**  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



**PLAN 2 ELEVATION 'C' - RIGHT**  
30% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"

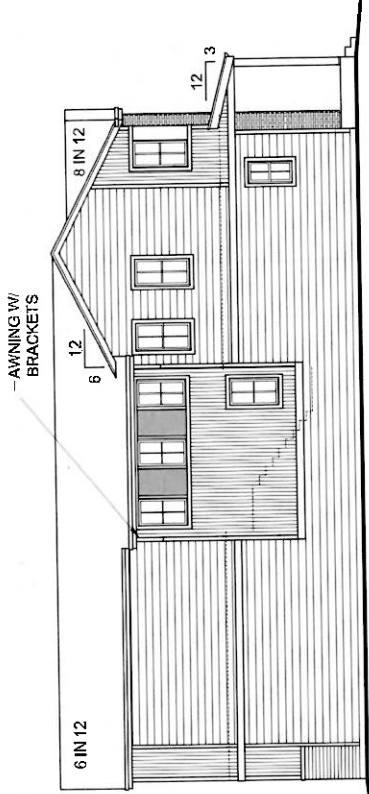
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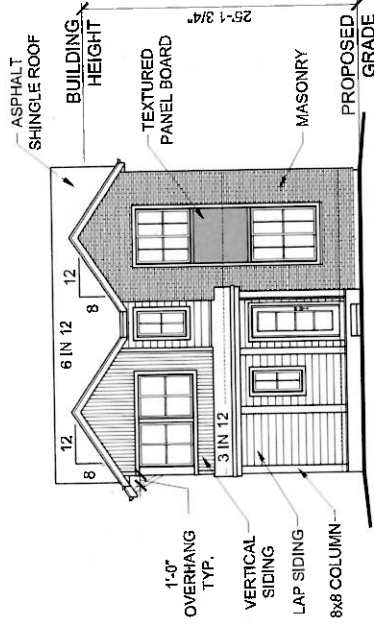
SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 92 OF 120

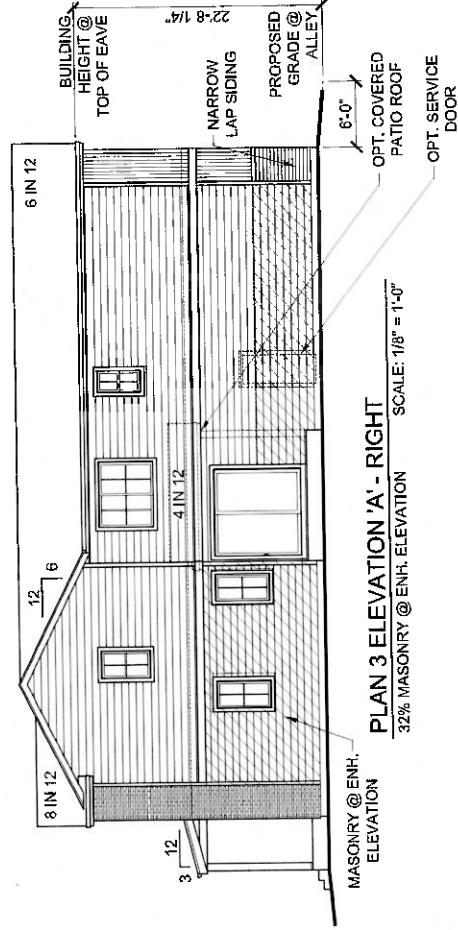
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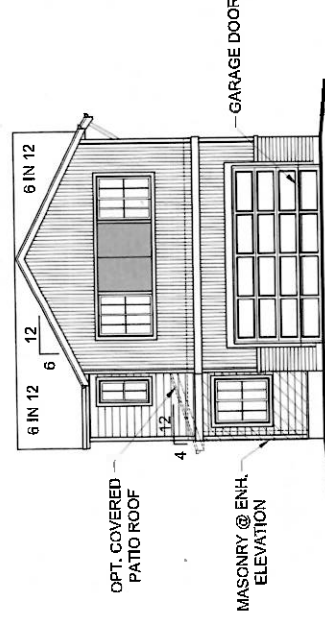
PLAN 3 ELEVATION 'A' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - FRONT  
40% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - RIGHT  
32% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - REAR  
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"



**UPLANDS**  
DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
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SFD 2-STORY PLAN 3  
ELEVATION 'A'

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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 84 OF 120

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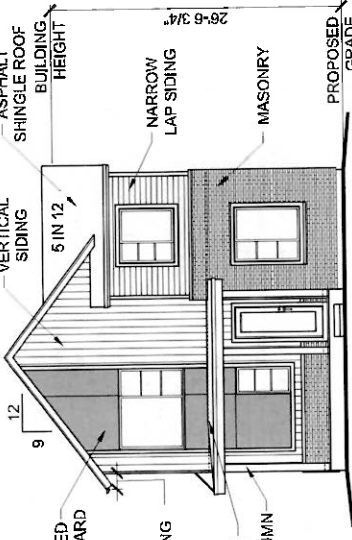
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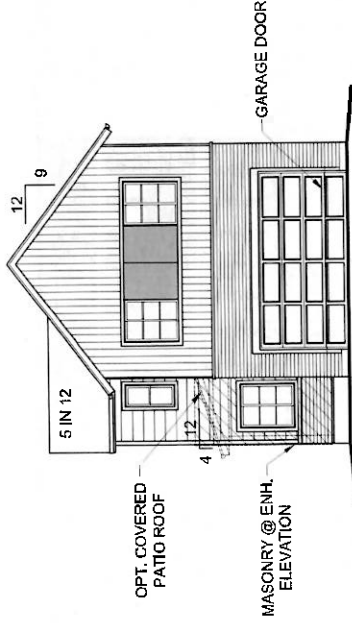
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WESTMINSTER, COLORADO

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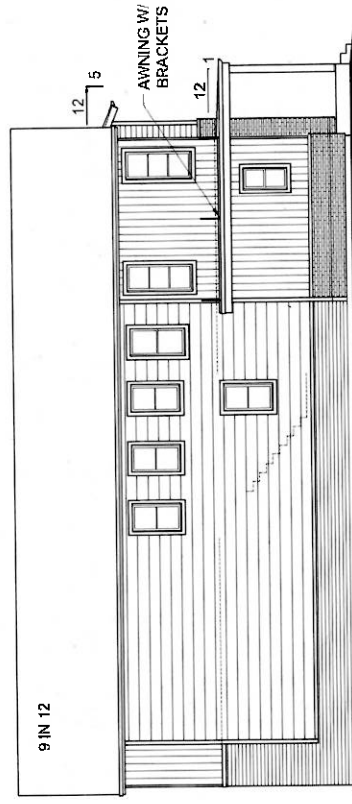
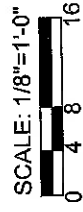
94 OF 120  
SFD 2-STORY PLAN 3  
ELEVATION 'C'



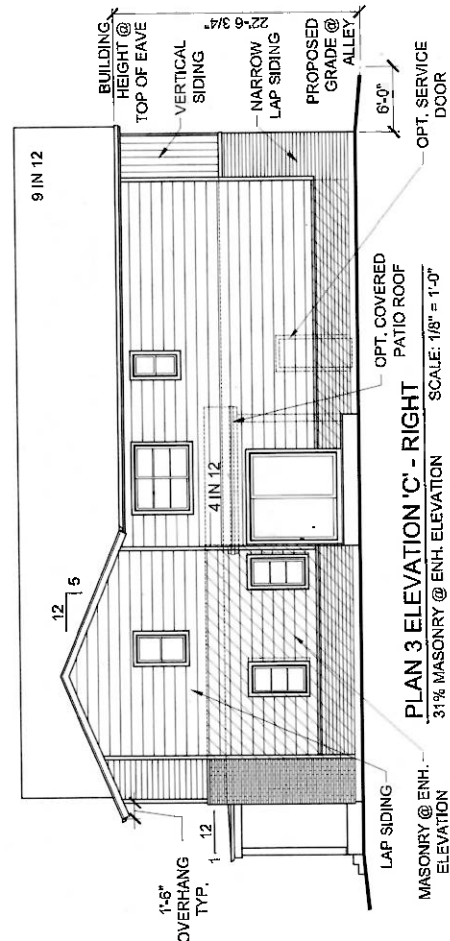
PLAN 3 ELEVATION 'C' - FRONT  
31% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - REAR  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - RIGHT  
31% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"





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UPLANDS

DATE: 04.26.2024

UPLANDS FILING NO. 1

BLOCK 1

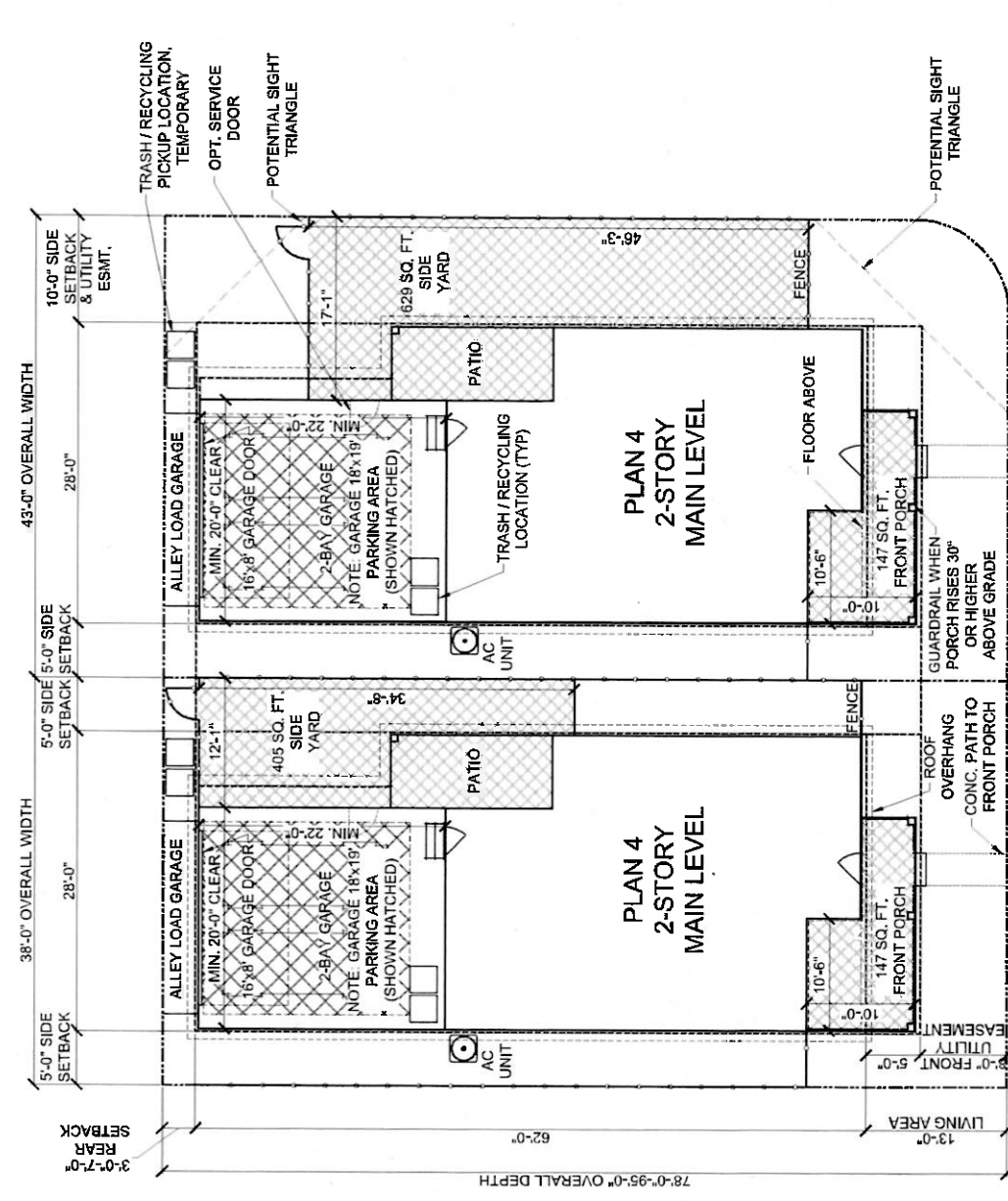
OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
REVISIONS	SUB 01: 10.27.2023
	SUB 02: 02.29.2024
	SUB 03: 04.26.2024
	SUB 04: 05.31.2024

95 OF 120  
SFD 2-STORY PLAN 4  
LOT TYPICALS

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 95 OF 120



- NOTE:
- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
  - TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  - NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
  - ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
  - ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
  - SFD HOMES WILL BE DESIGNED AS SOLAR READY
  - ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM
  - FENCE LOCATIONS ARE GENERIC AND TO BE DETERMINED DURING CONSTRUCTION

SINGLE FAMILY 2-STORY  
LOT TYPICAL PLAN 4 - MAIN LEVEL  
2,443 TOTAL SQ. FT.  
SCALE: 1/8" = 1'-0"

CORNER LOT  
INTERIOR LOT  
OUTDOOR LIVING: 452 TOTAL SQ. FT.  
FRONT PORCH: 147 SQ. FT.  
SIDE YARD: 628 SQ. FT.

SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 97 OF 120

REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

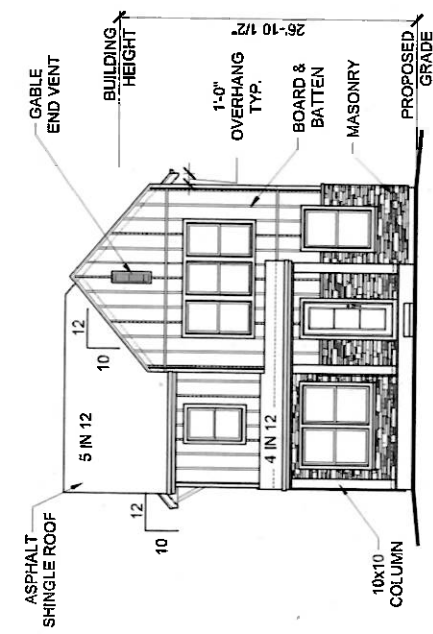
**GODDEN SUDLIK**  
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www.goddenand.com  
5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

**UPLANDS**  
DATE: 04.26.2024

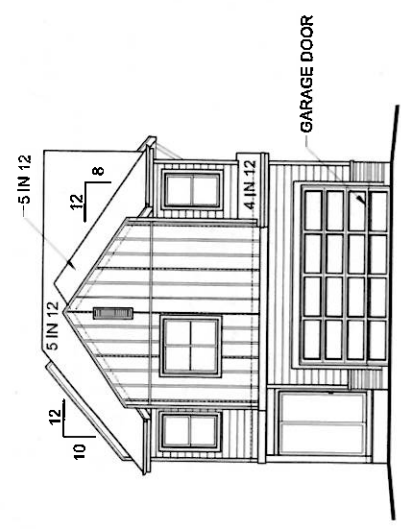
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**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

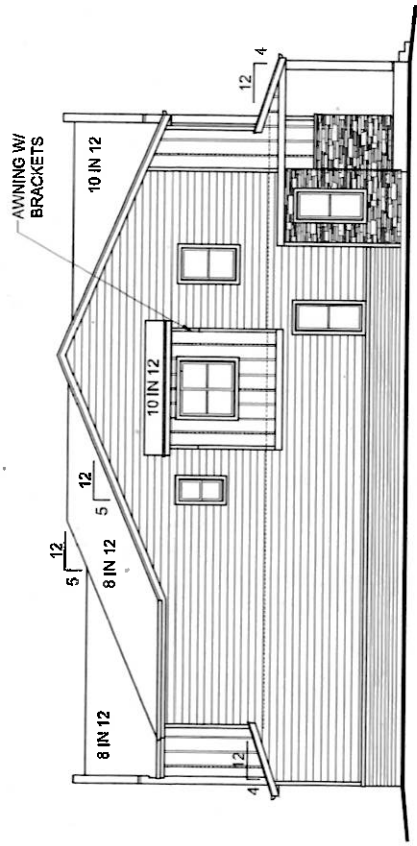
97 OF 120  
SFD, 2-STORY PLAN &  
ELEVATION 'B'



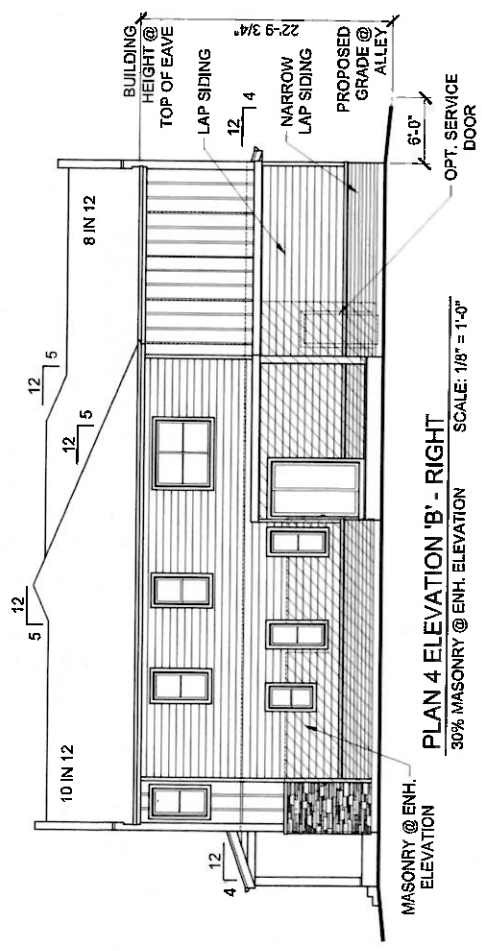
**PLAN 4 ELEVATION 'B' - FRONT**  
30% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'B' - REAR**  
SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'B' - LEFT**  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



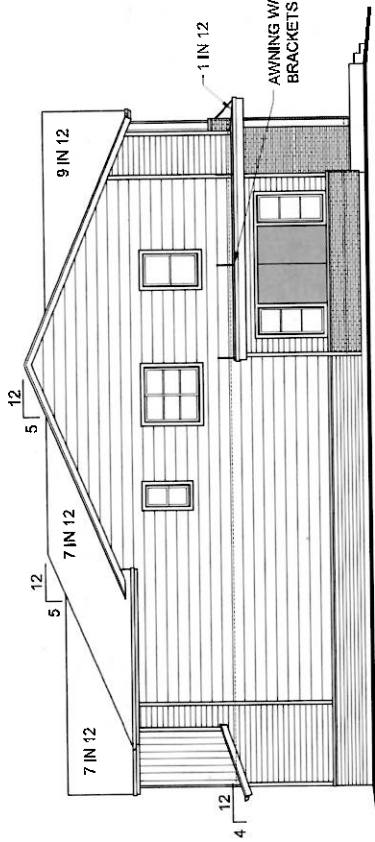
**PLAN 4 ELEVATION 'B' - RIGHT**  
30% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

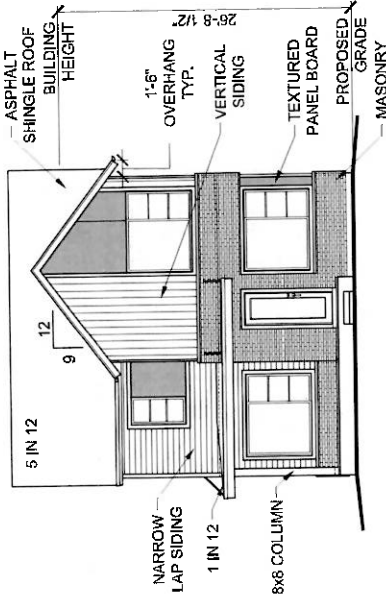
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 98 OF 120

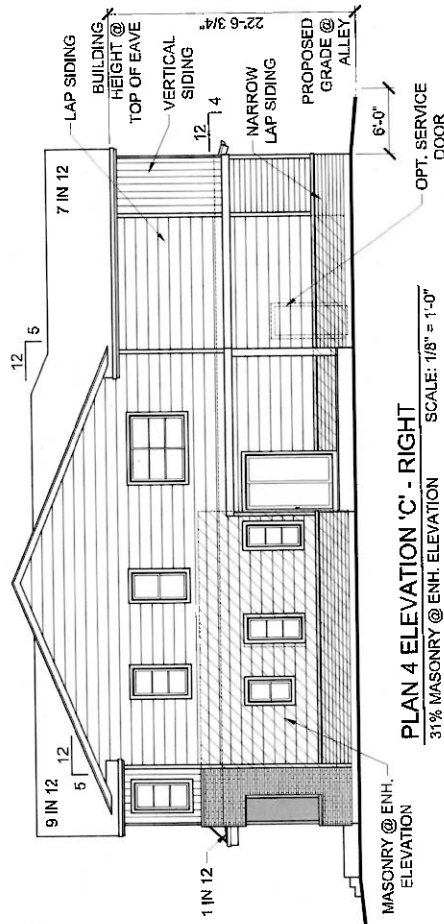
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION



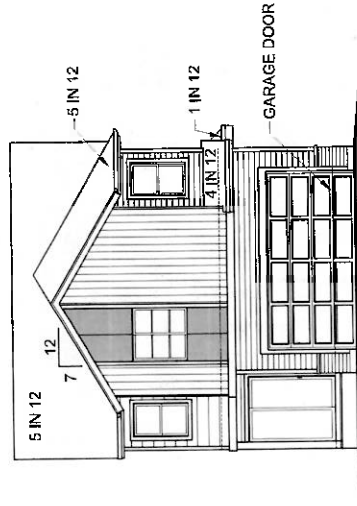
PLAN 4 ELEVATION 'C' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - FRONT  
35% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - RIGHT  
31% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - REAR  
SCALE: 1/8" = 1'-0"

UPLANDS

DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

98 OF 120  
SFD 2-STORY PLAN 4  
ELEVATION 'C'

SCALE: 1/8"=1'-0"



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 100 OF 120

**Goddard/Sudik**  
ARCHITECTS  
303.425.4437  
www.goddardsudik.com  
1575 S. Wadsworth Street  
Suite 250  
Centennial, CO 80111

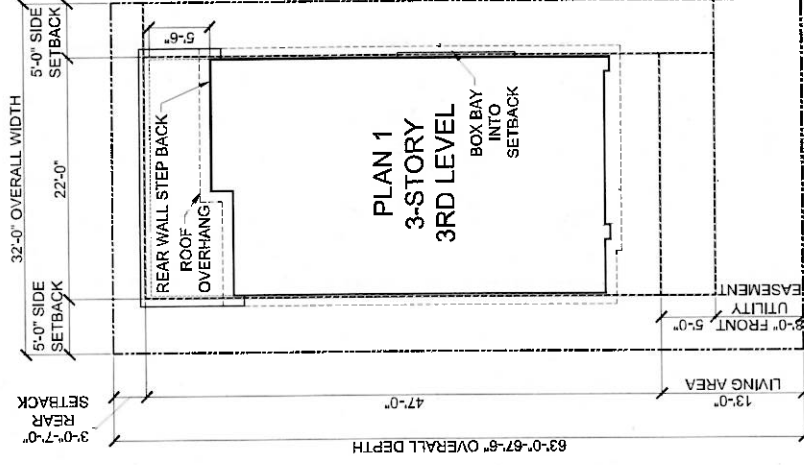
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DATE: 04.26.2024

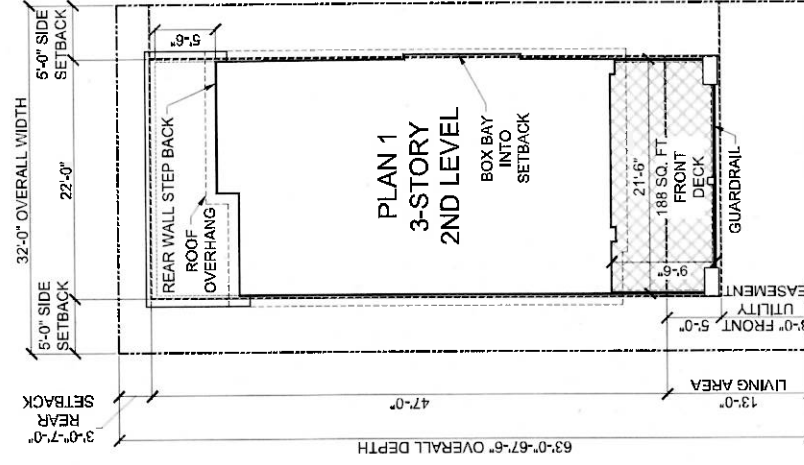
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**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
REVISIONS  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
SUB 03: 04.26.2024  
SUB 04: 05.31.2024

100 OF 120  
SFD 3-STORY PLAN 1  
LOT TYPICALS



**SINGLE FAMILY 3-STORY**  
**LOT TYPICAL PLAN 1 - 3RD LEVEL**



**SINGLE FAMILY 3-STORY**  
**LOT TYPICAL PLAN 1 - 2ND LEVEL**

1,619 TOTAL SQ. FT. / OPT. 1,838 TOTAL SQ. FT.  
OUTDOOR LIVING: 440 TOTAL SQ. FT.  
FRONT PORCH: 222 SQ. FT.  
FRONT DECK: 188 SQ. FT.



OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 101 OF 120

REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

**GODDEN**  
ARCHITECTS  
SEE WHAT COULD BE  
303.455.4437  
www.goddenarch.com  
5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

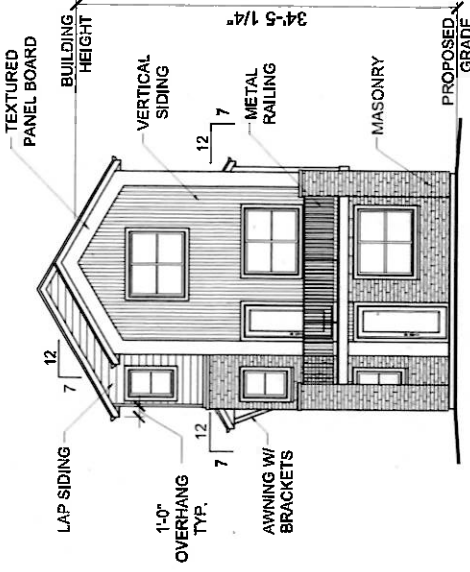
**UPLANDS**

DATE: 04.26.2024

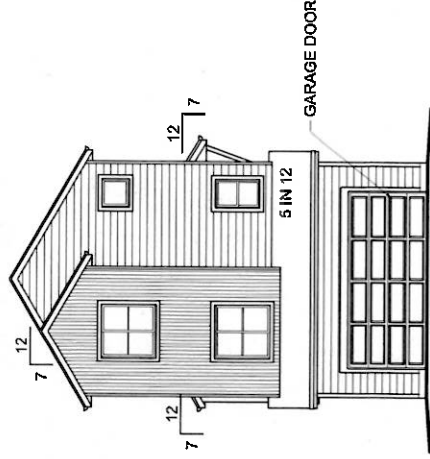
**UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
SUB 02: 02.29.2024
SUB 03: 04.26.2024
SUB 04: 05.31.2024

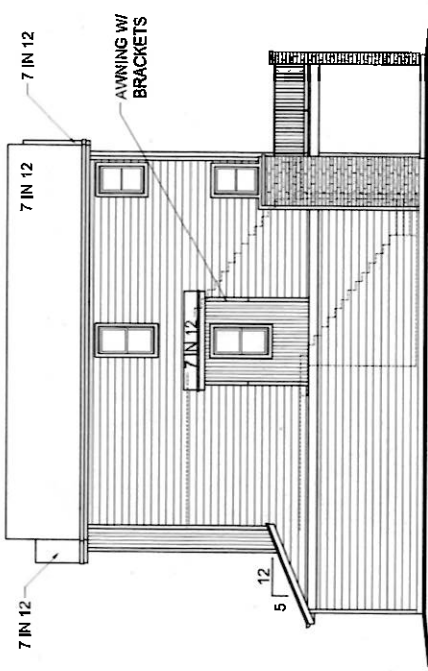
101 OF 120  
SFD 3 STORY PLAN 1  
ELEVATION 'A'



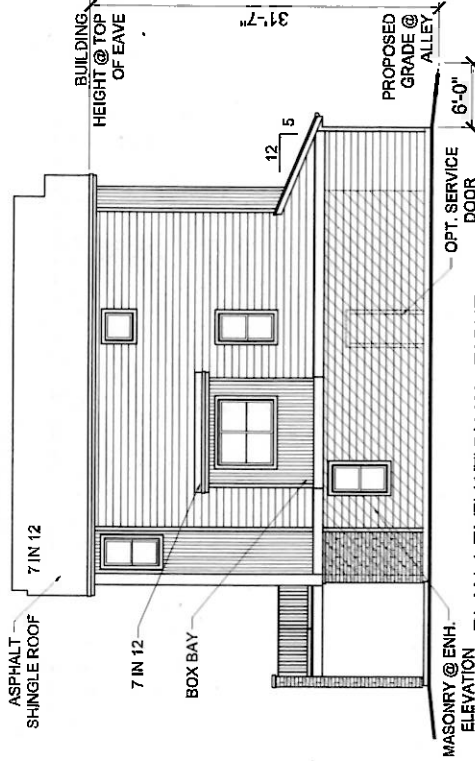
**PLAN 1 ELEVATION 'A' - FRONT**  
30% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



**PLAN 1 ELEVATION 'A' - REAR**  
30% MASONRY PROVIDED AT REAR  
SCALE: 1/8" = 1'-0"




**PLAN 1 ELEVATION 'A' - LEFT**  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"




**PLAN 1 ELEVATION 'A' - RIGHT**  
30% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 102 OF 120

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DATE: 04.26.2024




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5793 S. Quebec Street  
Suite 200  
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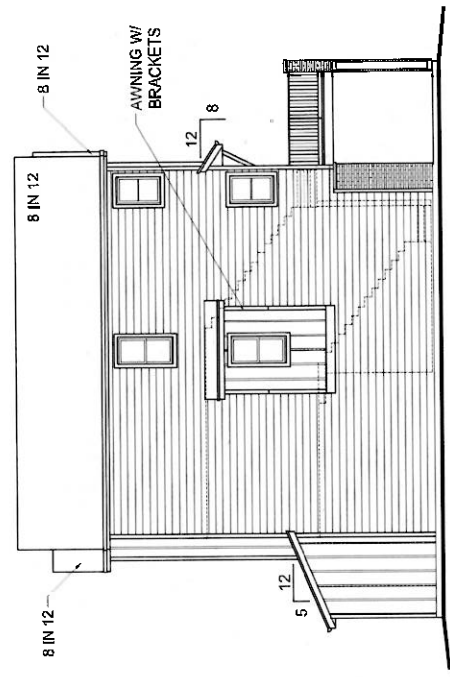
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BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023	REVISIONS
	SUB 01: 10.27.2023	
	SUB 02: 02.29.2024	
	SUB 03: 04.26.2024	
	SUB 04: 05.31.2024	

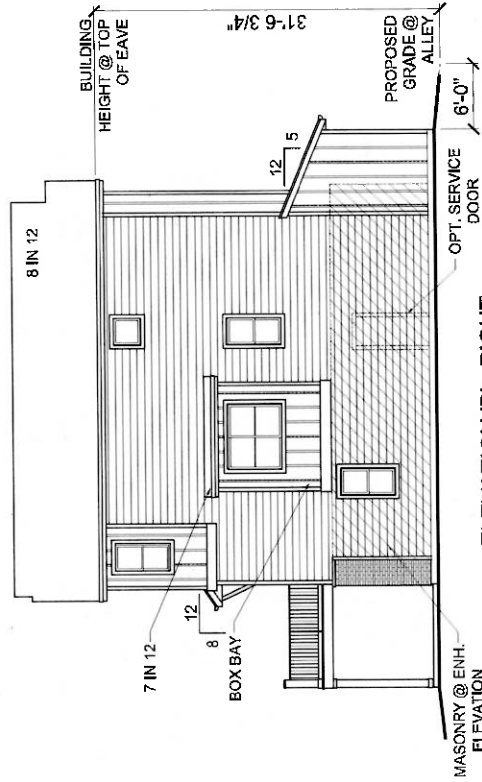
102 OF 120  
SFD 3-STORY PLAN 1  
ELEVATION 'B'

SCALE: 1/8"=1'-0"

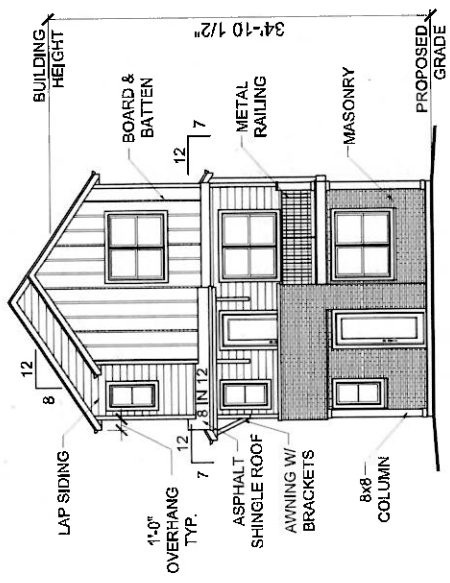




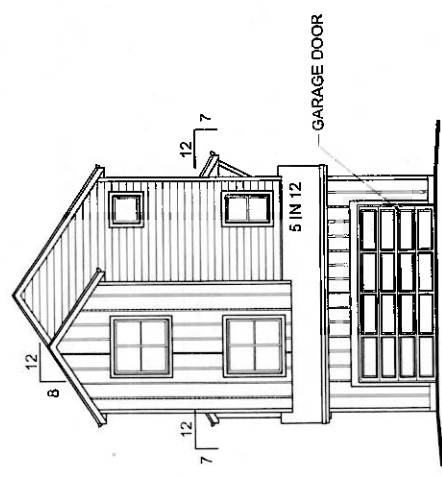
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NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'B' - RIGHT  
30% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'B' - FRONT  
32% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'B' - REAR  
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"

0 4 8 16

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 103 OF 120

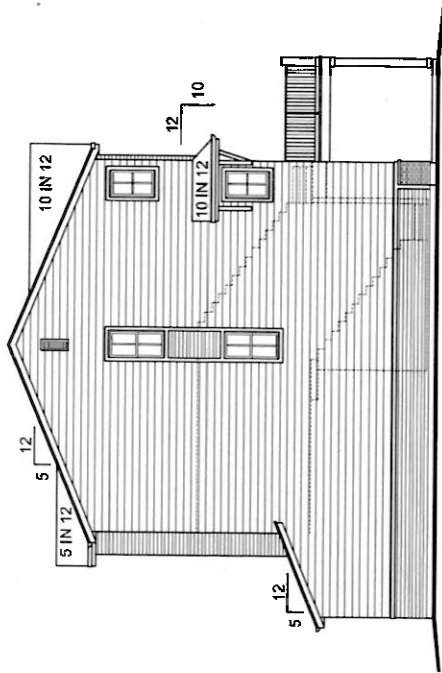
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INFORMATION



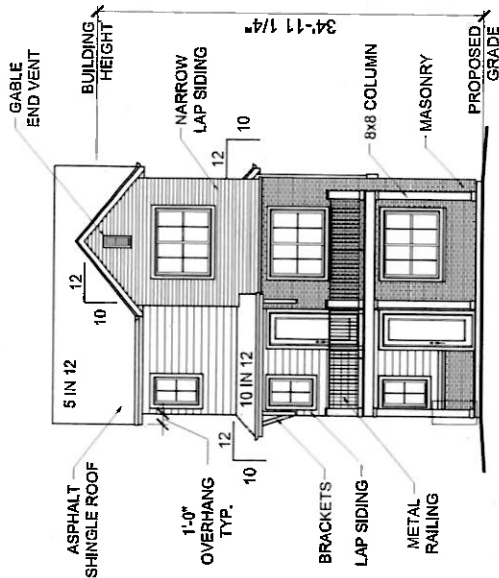
Godden Sudik  
ARCHITECTS  
303.455.4437  
www.goddensudik.com  
5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

DATE: 04.26.2024

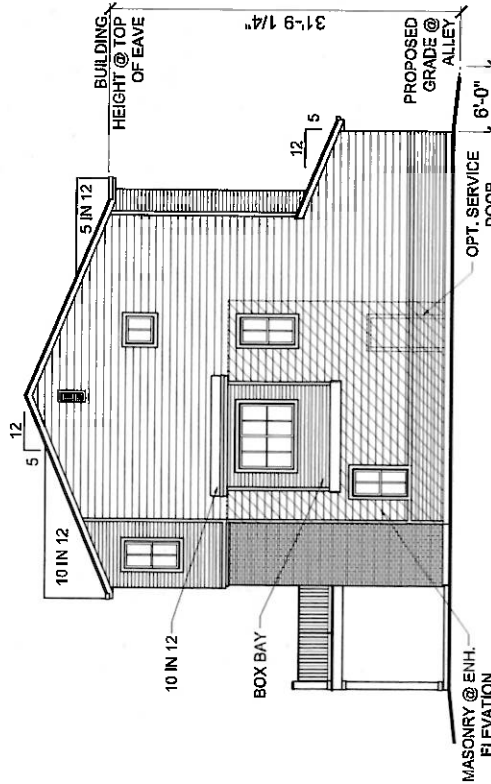
**UPLANDS**



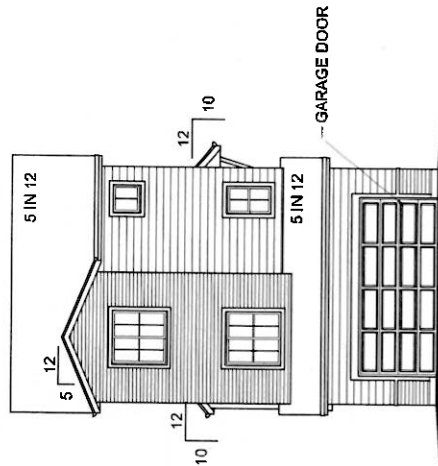
PLAN 1 ELEVATION 'C' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - FRONT  
34% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - RIGHT  
31% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 1 ELEVATION 'C' - REAR  
SCALE: 1/8" = 1'-0"

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
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SUB 03: 04.26.2024
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103 OF 120  
SFD 3-STORY PLAN 1  
ELEVATION 'C'




OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 105 OF 120



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REGISTERED  
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DATE: 04.26.2024



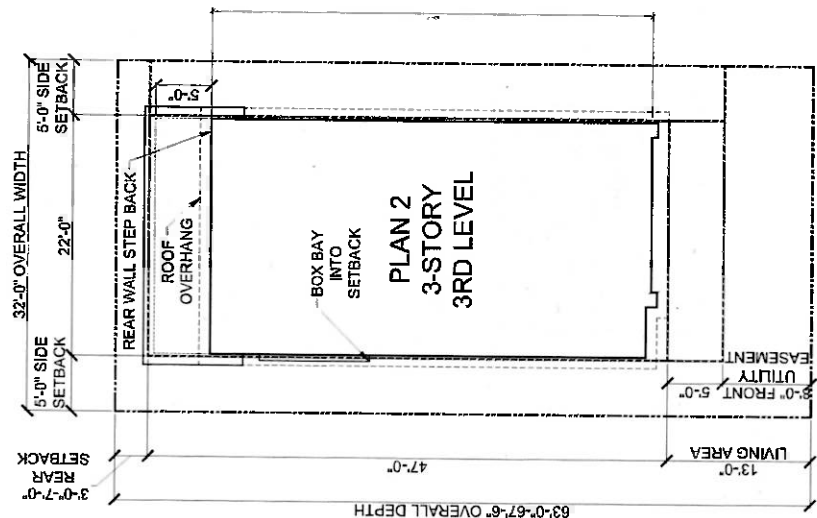
UPLANDS

DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	SUB 01: 10.27.2023
PREPARED 10.27.2023	SUB 02: 02.29.2024
REVISIONS	SUB 03: 04.26.2024
	SUB 04: 06.31.2024

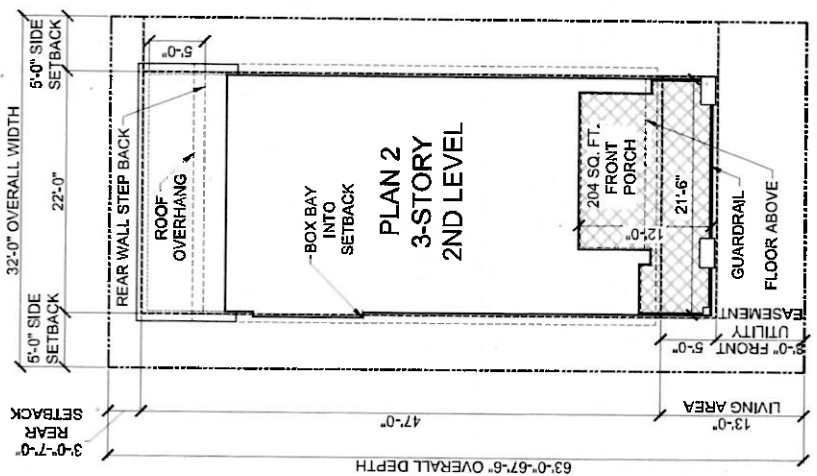
105 OF 120  
SD 3-STORY PLAN 2  
LOT TYPICALS



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 2 - 3RD LEVEL

SCALE: 1/8" = 1'-0"

0 4 8 16



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 2 - 2ND LEVEL

1,710 TOTAL SQ. FT. / OPT. 1,905 TOTAL SQ. FT.

SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 415 TOTAL SQ. FT.  
FRONT PORCH: 211 SQ. FT.  
FRONT DECK: 204 SQ. FT.

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 106 OF 120

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INFORMATION

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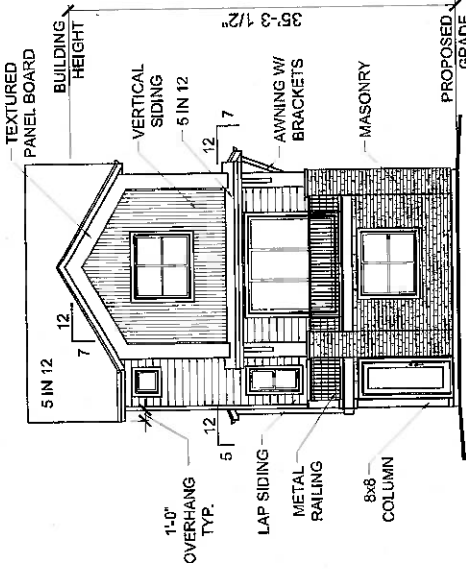
**UPLANDS**

DATE: 04.26.2024

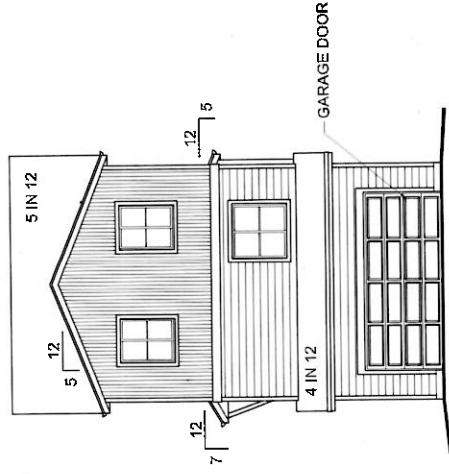
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**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
**REVISIONS**  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
SUB 03: 04.26.2024  
SUB 04: 05.31.2024

106 OF 120  
SFD 3-STORY PLAN 2  
ELEVATION 'A'

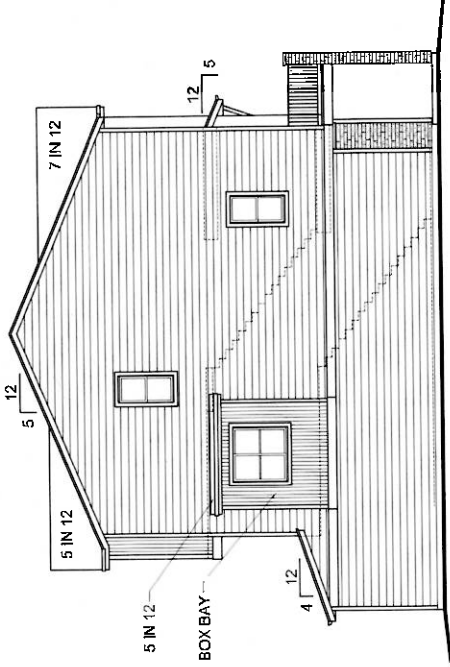


**PLAN 2 ELEVATION 'A' - FRONT**  
30% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"

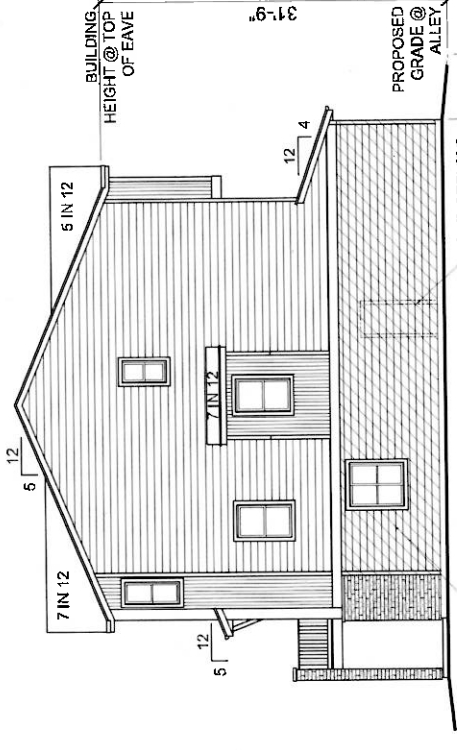


**PLAN 2 ELEVATION 'A' - REAR**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"  
0 4 8 16



**PLAN 2 ELEVATION 'A' - LEFT**  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"

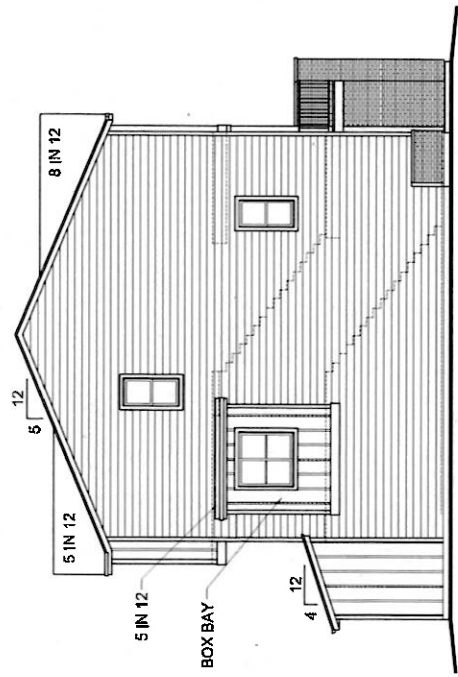


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30% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"

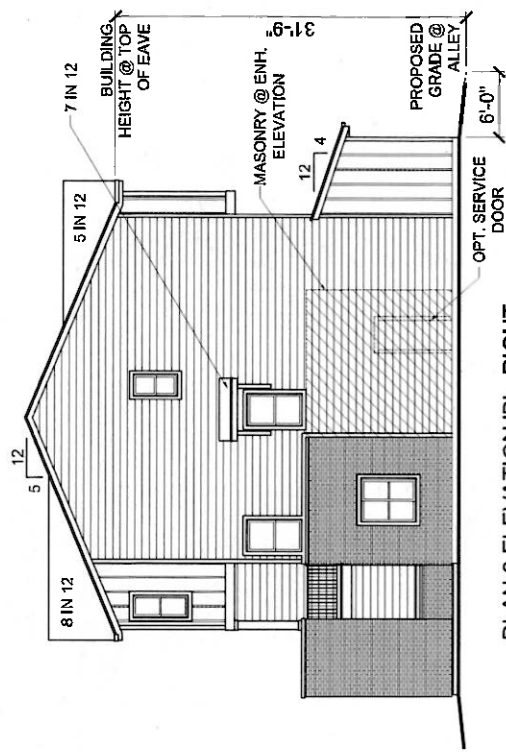


OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 107 OF 120

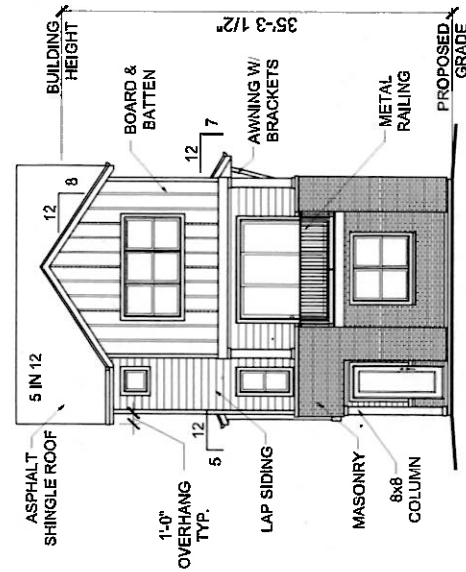
**REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION**



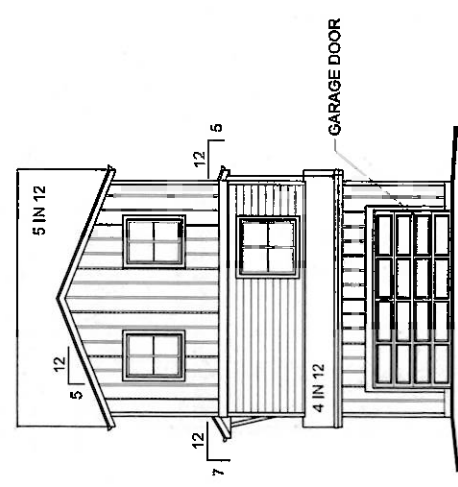
**PLAN 2 ELEVATION 'B' - LEFT**  
**NON-PUBLIC FACING ELEVATION** **SCALE: 1/8" = 1'-0"**



PLAN 2 ELEVATION 'B' - RIGHT



**PLAN 2 ELEVATION 'B' - FRONT**  
34% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 2 ELEVATION 'B' - REAR



OFFICIAL DEVELOPMENT PLAN PREPARED: 10.27.2023 REVISIONS SUB 01: 10.27.2023 SUB 02: 02.29.2024 SUB 03: 04.26.2024 SUB 04: 05.31.2024	107 OF 120 SFD 3-STORY PLAN 2 ELEVATION 'B'
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OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
 A PLANNED UNIT DEVELOPMENT  
 IN THE CITY OF WESTMINSTER  
 COUNTY OF ADAMS, STATE OF COLORADO  
 SHEET 109 OF 120

**UPLANDS**  
 DATE: 04.26.2024  
 303.455.4437  
 www.goddenstadium.com  
 5725 S. Quebec Street  
 Suite 250  
 Centennial, CO 80111

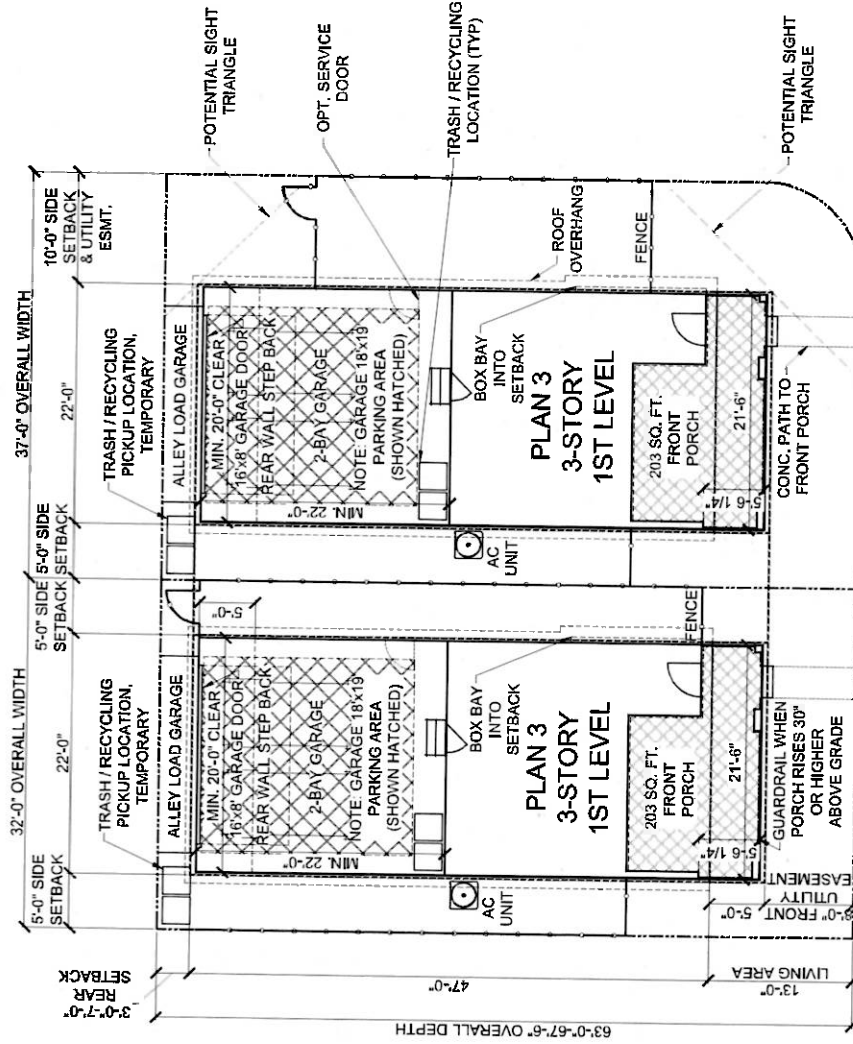
04.26.2024

DATE:

**UPLANDS FILING NO. 1**  
**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
 PREPARED: 10.27.2023  
 REVISIONS  
 SUB 01: 10.27.2023  
 SUB 02: 02.29.2024  
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109 OF 120  
 SFD 3-STORY PLAN 3  
 LOT TYPICALS



**SINGLE FAMILY 3-STORY**  
**LOT TYPICAL PLAN 3 - 1ST LEVEL**  
 1,959 TOTAL SQ. FT.  
 OUTDOOR LIVING: 406 TOTAL SQ. FT.  
 FRONT PORCH: 203 SQ. FT.  
 2ND LEVEL DECK: 203 SQ. FT.


SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"  
 0 4 8 16

## NOTE:

- ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
- TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
- NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
- ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
- ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
- SFD HOMES WILL BE DESIGNED AS SOLAR READY
- ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM
- FENCE LOCATIONS ARE GENERIC AND TO BE DETERMINED DURING CONSTRUCTION

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 110 OF 120



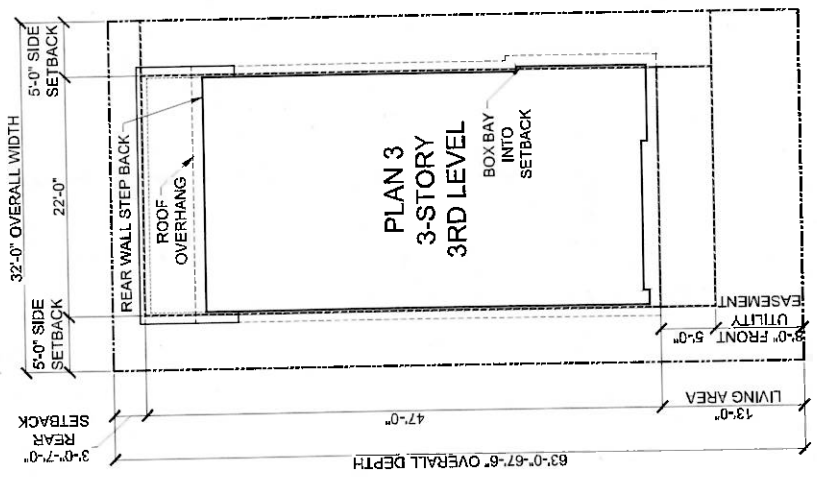
**Goddard Sudik**  
ARCHITECTS  
SERVING COLORADO  
303.453.4437  
www.goddsudik.com  
5793 S. Oxford Street  
Suite 250  
Centennial, CO 80111

DATE: 04.26.2024

**UPLANDS**

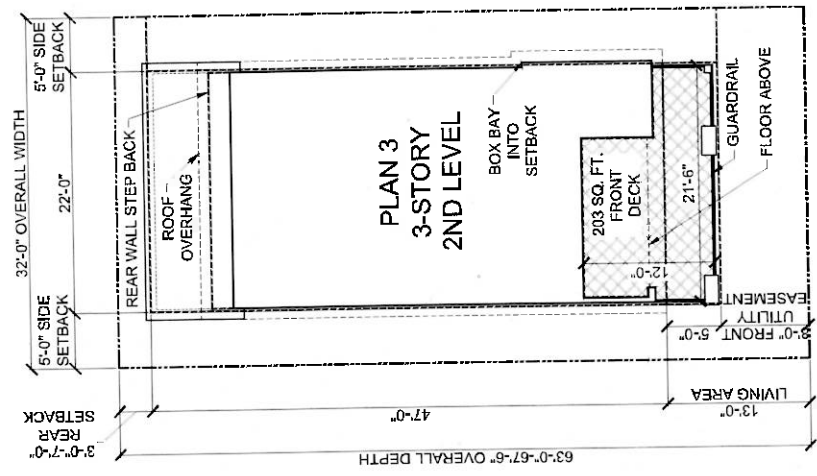
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED: 10.27.2023
REVISIONS	SUB 04: 10.27.2023
	SUB 02: 02.29.2024
	SUB 03: 04.26.2024
	SUB 04: 05.31.2024
110 OF 120	
SFD 3-STORY PLAN 3	
LOT TYPICALS	



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 3 - 3RD LEVEL

SCALE: 1/8" = 1'-0"



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 3 - 2ND LEVEL

SCALE: 1/8" = 1'-0"

1,959 TOTAL SQ. FT.  
OUTDOOR LIVING: 406 TOTAL SQ. FT.  
FRONT PORCH: 203 SQ. FT.  
2ND LEVEL DECK: 203 SQ. FT.

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
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SHEET 111 OF 120

REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

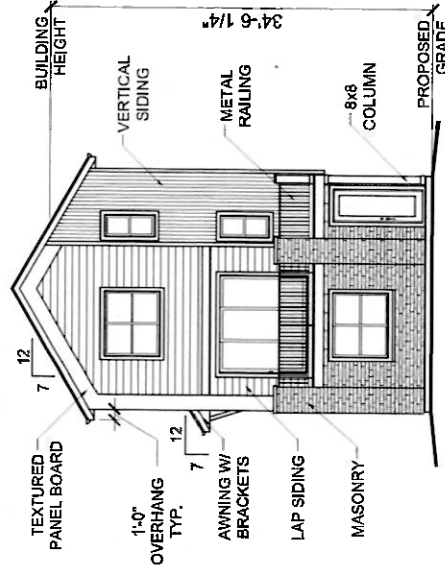
**UPLANDS**  
Godden|Sudik  
ARCHITECTS  
SEE WHAT COULD BE  
303.455.4437  
www.godden-sudik.com  
5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

DATE: 04.26.2024

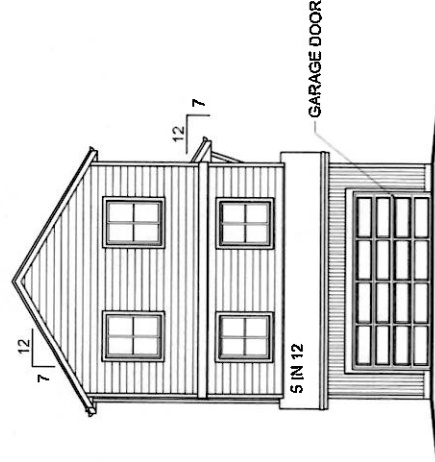
UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
REVISIONS  
SUB 01: 10.27.2023  
SUB 02: 02.29.2024  
SUB 03: 04.26.2024  
SUB 04: 05.31.2024

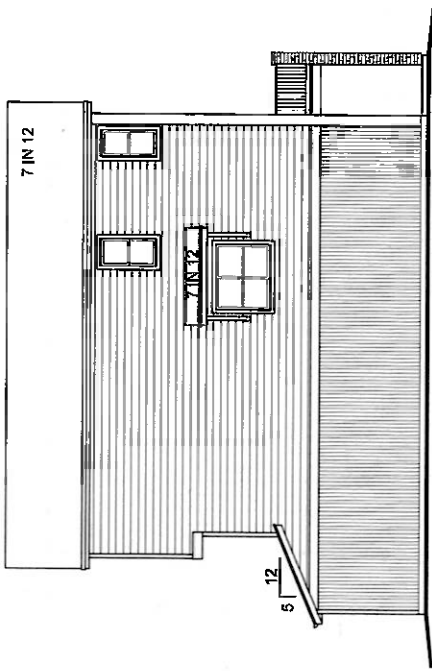
111 OF 120  
SFD 3-STORY PLAN 3  
ELEVATION 'A'



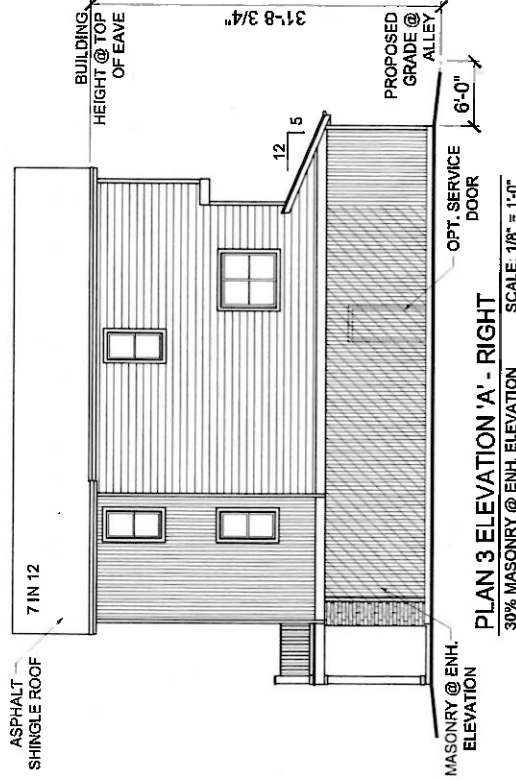
PLAN 3 ELEVATION 'A' - FRONT  
30% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - REAR  
30% MASONRY PROVIDED AT REAR SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - LEFT  
NON-PUBLIC FACING ELEVATION SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'A' - RIGHT  
30% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"

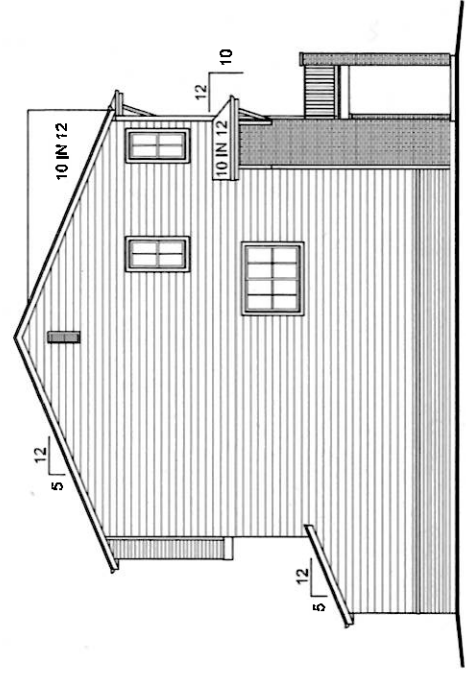
SCALE: 1/8"=1'-0"  
0 4 8 16



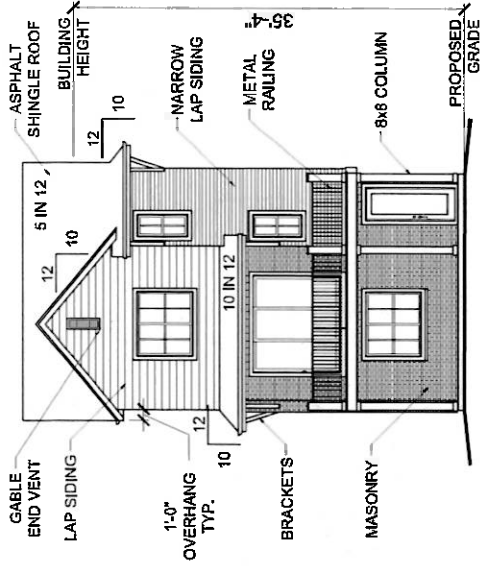


OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 113 OF 120

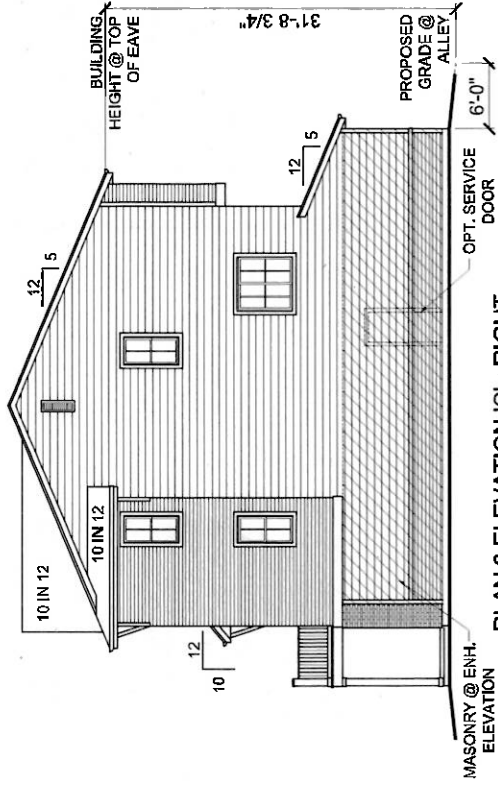
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION



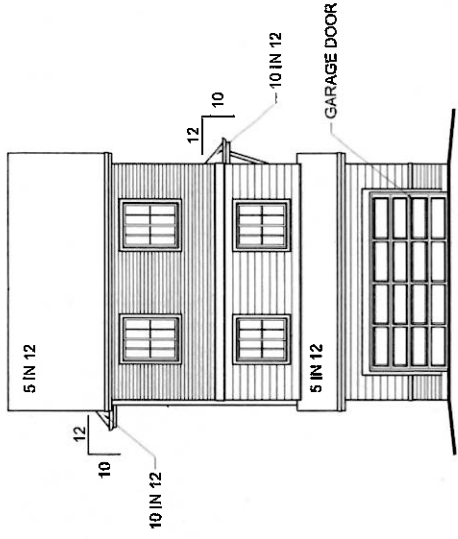
PLAN 3 ELEVATION 'C' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - FRONT  
36% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - RIGHT  
31% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 3 ELEVATION 'C' - REAR  
36% MASONRY PROVIDED AT REAR  
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"



113 OF 120  
SFD 3-STORY PLAN 3  
ELEVATION 'C'

UPLANDS  
DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN  
PREPARED: 10.27.2023  
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SUB 01: 10.27.2023  
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OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 114 OF 120

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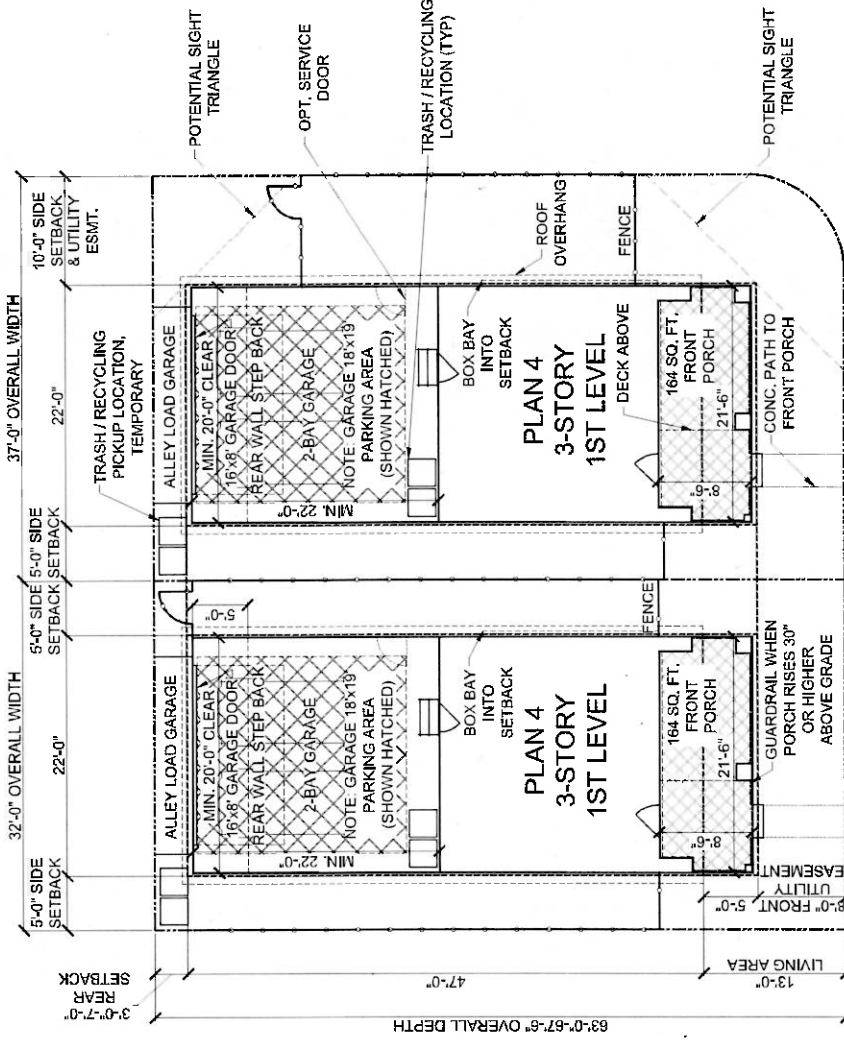
**UPLANDS**

DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
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SFD 3-STORY PLAN 4  
LOT TYPICALS



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 4 - 1ST LEVEL  
2,051 TOTAL SQ. FT.

OUTDOOR LIVING: 404 TOTAL SQ. FT.  
FRONT PORCH: 164 SQ. FT.  
2ND LEVEL DECK: 164 SQ. FT.  
3RD LEVEL DECK: 76 SQ. FT.

SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL GROUND-LEVEL MECHANICAL & UTILITY EQUIPMENT & LINES SHALL BE COMPLETELY SCREENED YEAR-ROUND WITH EVERGREEN OR SUFFICIENTLY DENSE LANDSCAPING OR WALLS THAT MATCH THE MATERIALS & COLOR OF THE BUILDINGS
  2. TRASH & RECYCLING BINS MUST BE STORED IN THE GARAGE OR WITHIN AN ENCLOSED REAR OR SIDE YARD.
  3. NO ACCESSORY STRUCTURES WILL BE ALLOWED ON THE PRIVATE LOTS AND THAT ANY OR ALL ACCESSORY STRUCTURES DESIRED IN ANY COMMON AREA MUST BE REVIEWED AND PROVIDED VIA AN ODP AMENDMENT AND ARE SUBJECT TO APPROVAL IN SUCH AN AMENDMENT
  4. ALL SFD & SFA HOMES WILL COMPLY WITH ENERGY STAR AND WATERSENSE
  5. ALL SFD & SFA HOMES MUST HAVE A LEVEL 2 EV CAR CHARGING IN THE GARAGE
  6. SFD HOMES WILL BE DESIGNED AS SOLAR READY
  7. ALL COMMUNITY FACILITIES LARGER THAN 2,000 SF WILL FEATURE A MINIMUM 3KW SOLAR PHOTOVOLTAIC SYSTEM
  8. FENCE LOCATIONS ARE GENERIC AND TO BE DETERMINED DURING CONSTRUCTION

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 115 OF 120

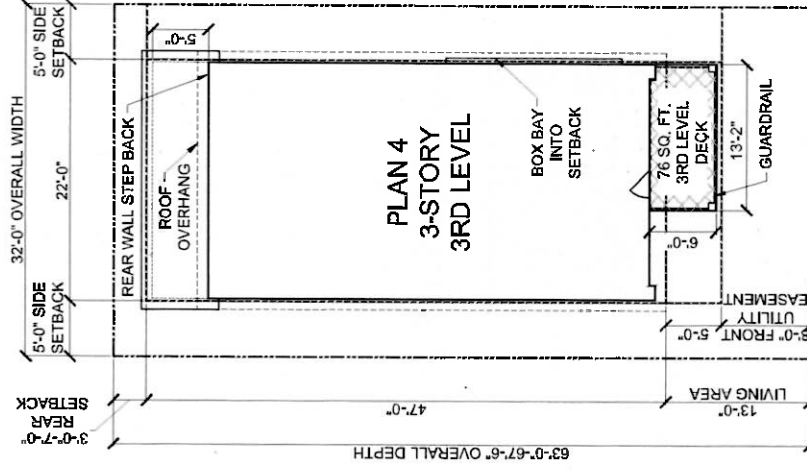
**UPLANDS**  
DATE: 04.26.2024  
Goddard/Judik  
ARCHITECTS  
303.455.4437  
www.goddardjudik.com  
5775 S. Quebec Street  
Suite 250  
Centennial, CO 80111

UPLANDS  
DATE: 04.26.2024

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

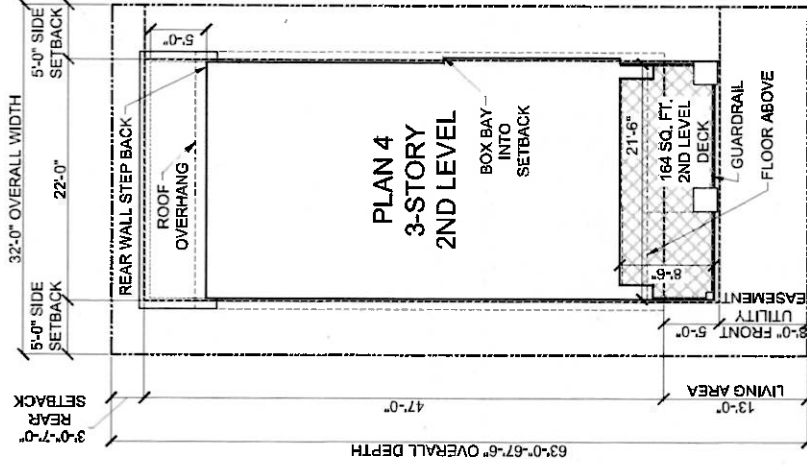
OFFICIAL DEVELOPMENT PLAN
PREPARED: 10.27.2023
REVISIONS
SUB 01: 10.27.2023
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SUB 03: 04.26.2024
SUB 04: 05.31.2024

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SFD 3-STORY PLAN 4  
LOT TYPICALS



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 4 - 3RD LEVEL

SCALE: 1/8" = 1'-0"



SINGLE FAMILY 3-STORY  
LOT TYPICAL PLAN 4 - 2ND LEVEL

SCALE: 1/8" = 1'-0"

OUTDOOR LIVING: 404 TOTAL SQ. FT.  
FRONT PORCH: 164 SQ. FT.  
2ND LEVEL DECK: 164 SQ. FT.  
3RD LEVEL DECK: 76 SQ. FT.

OFFICIAL DEVELOPMENT PLAN  
**UPLANDS - FILING NO. 1 - BLOCK 1**  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 116 OF 120

REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION

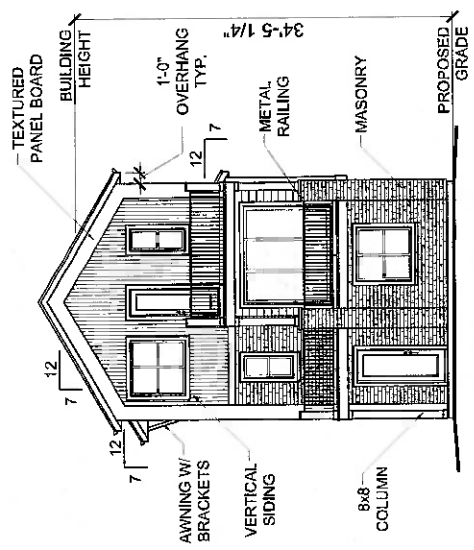
**UPLANDS**  
DATE: 04.26.2024

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Centennial, CO 80111

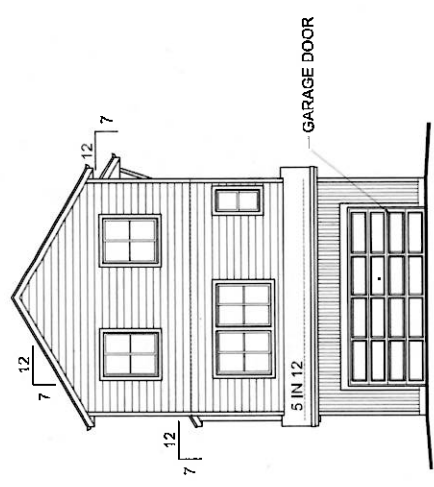
**UPLANDS FILING NO. 1**  
**BLOCK 1**  
**OFFICIAL DEVELOPMENT PLAN**  
WESTMINSTER, COLORADO

REVISIONS
SUB 01-10.27.2023
SUB 02-02.29.2024
SUB 03-04.26.2024
SUB 04-05.31.2024
PREPARED: 10.27.2023
OFFICIAL DEVELOPMENT PLAN

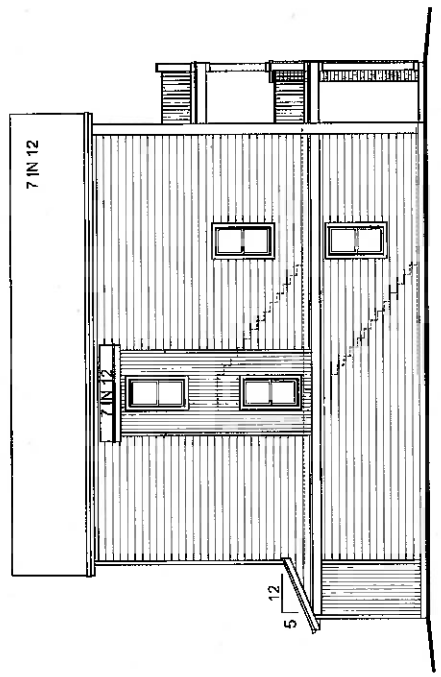
116 OF 120  
SFD 3-STORY PLAN 4  
ELEVATION 'A'



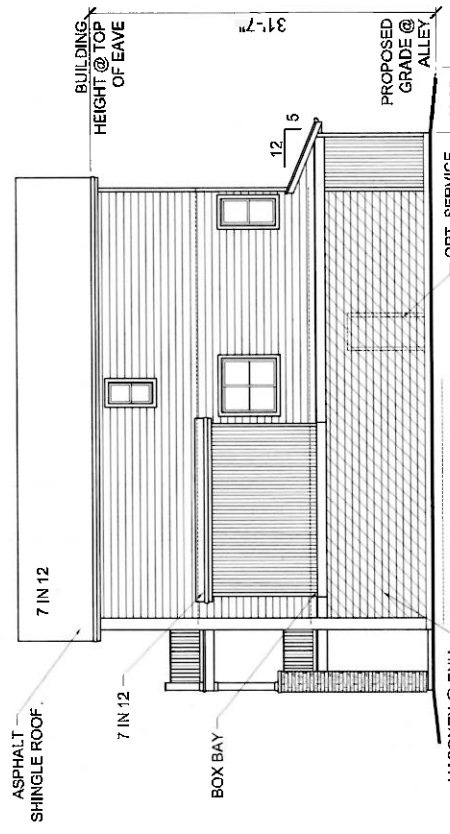
**PLAN 4 ELEVATION 'A' - FRONT**  
38% MASONRY PROVIDED AT FRONT SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'A' - REAR**  
SCALE: 1/8" = 1'-0"



**PLAN 4 ELEVATION 'A' - LEFT**  
NON-PUBLIC FACING ELEVATION SCALE: 1/8" = 1'-0"



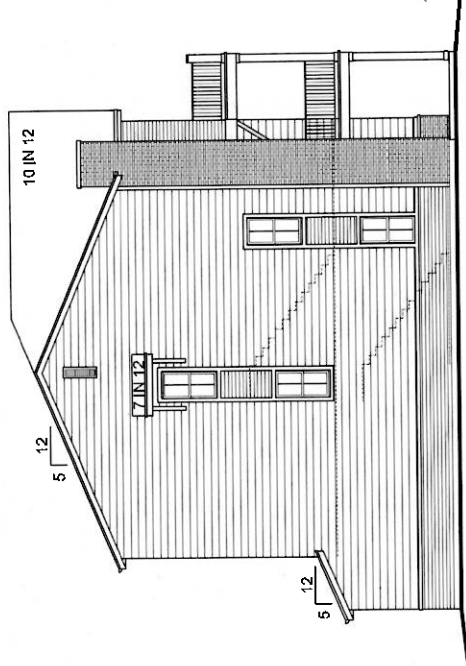
**PLAN 4 ELEVATION 'A' - RIGHT**  
31% MASONRY @ ENH. ELEVATION SCALE: 1/8" = 1'-0"



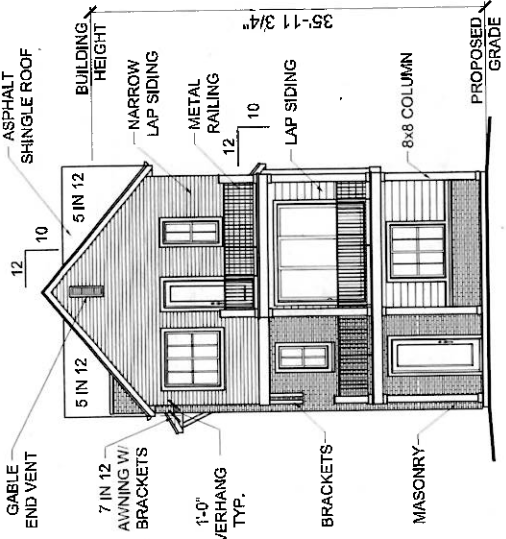
SCALE: 1/8"=1'-0"

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 118 OF 120

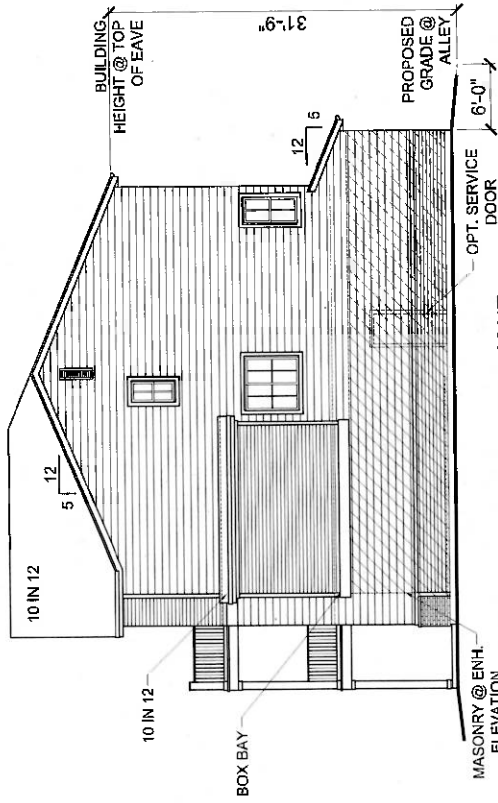
REFER TO COLOR  
BOOK FOR MATERIAL  
INFORMATION



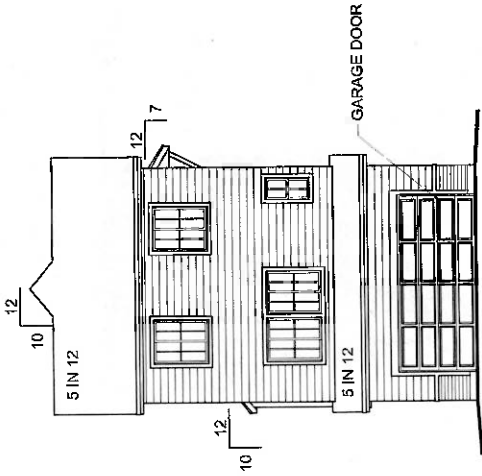
PLAN 4 ELEVATION 'C' - LEFT  
NON-PUBLIC FACING ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - FRONT  
31% MASONRY PROVIDED AT FRONT  
SCALE: 1/8" = 1'-0"



PLAN 4 ELEVATION 'C' - RIGHT  
31% MASONRY @ ENH. ELEVATION  
SCALE: 1/8" = 1'-0"




PLAN 4 ELEVATION 'C' - REAR  
SCALE: 1/8" = 1'-0"

SCALE: 1/8"=1'-0"



118 OF 120  
SFD 3-STORY PLAN 4  
ELEVATION 'C'



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DATE: 04.26.2024

**UPLANDS**

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED 10.27.2023
REVISIONS
SUB 01: 10.27.2023
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SUB 03: 04.26.2024
SUB 04: 05.31.2024



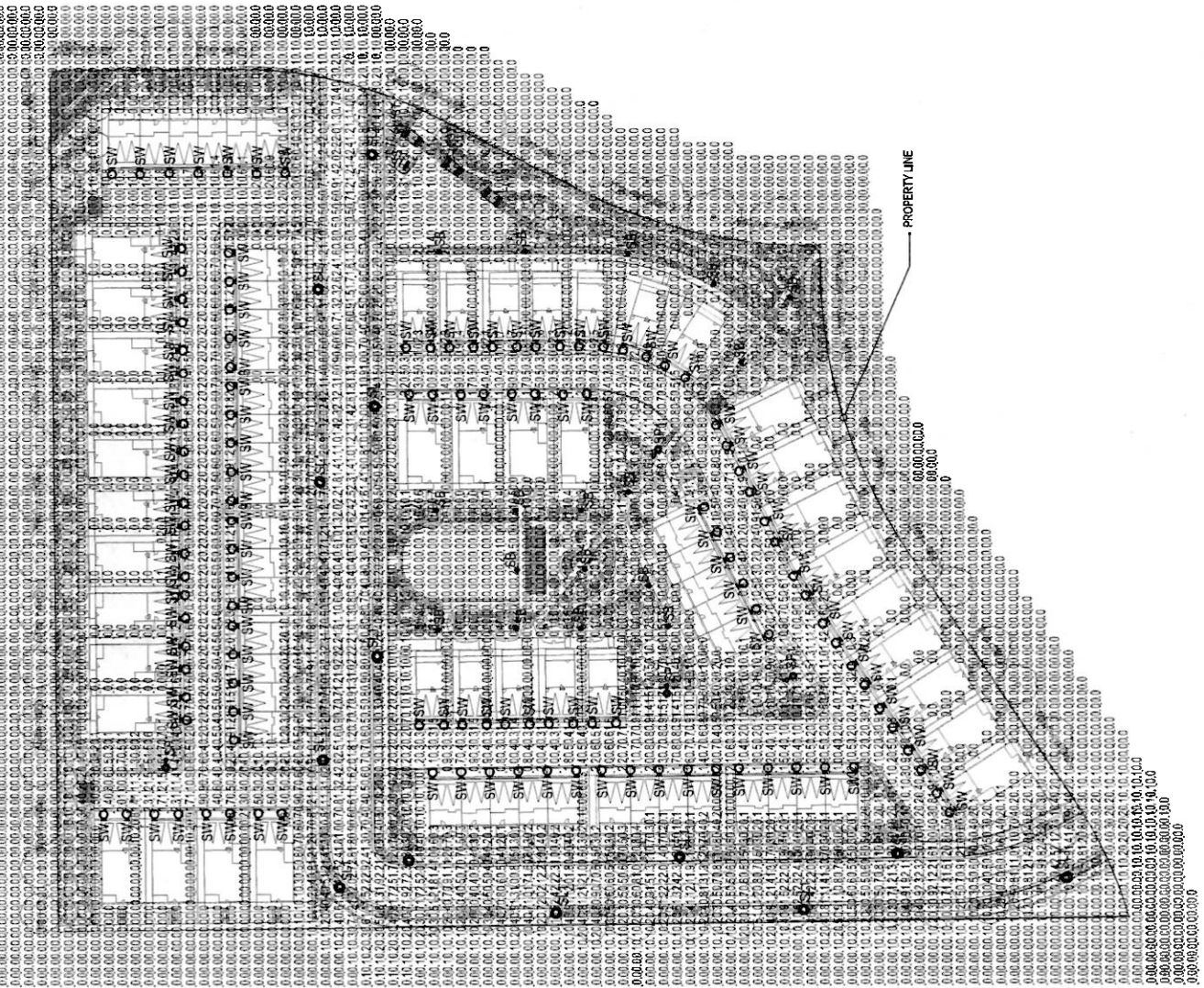


DATE: 05.31.2024  
UPLANDS

UPLANDS FILING NO. 1  
BLOCK 1  
OFFICIAL DEVELOPMENT PLAN  
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN	PREPARED 10.27.2023
REVISIONS	SUB 01: 10.27.2023
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	SUB 03: 04.26.2024
	SUB 04: 05.31.2024

OFFICIAL DEVELOPMENT PLAN  
UPLANDS - FILING NO. 1 - BLOCK 1  
A PLANNED UNIT DEVELOPMENT  
IN THE CITY OF WESTMINSTER  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 119 OF 120



1 SITE LIGHTING PHOTOMETRIC  
SCALE: 1" = 60'-0"

- PHOTOMETRY PLAN GENERAL NOTES:
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
  - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
  - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
  - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
  - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF WESTMINSTER EXTERIOR LIGHTING STANDARDS

LIGHTING CALCULATION STATISTICS SUMMARY:

AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	1.0fc	3.6fc	NA	NA
LOCAL STREETS:	1.3fc	2.6fc	0.4fc	3.3:1

Symbol	SB	SL1	SP-1.2	SS	ST	Q
Label						

FOR SYMBOLS, LEGEND, ABBREVIATIONS, AND GENERAL DESCRIPTIONS, SEE LUMINAIRE SCHEDULE ON LIGHTING DETAILS SHEET (SHEET 119)

OFFICIAL DEVELOPMENT PLAN

UPLANDS - FILING NO. 1 - BLOCK 1

A PLANNED UNIT DEVELOPMENT

IN THE CITY OF WESTMINSTER

COUNTY OF ADAMS, STATE OF COLORADO

SHEET 120 OF 120

STUDIO LIGHTING

1300 WEST 13TH

BAILEY, CO 80021

303.142.1872

UPLANDS

DATE: 05.31.2024

UPLANDS FILING NO. 1

BLOCK 1

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN

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SUB 02: 02.29.2024

SUB 03: 04.26.2024

SUB 04: 05.31.2024

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LIGHTING

LUMINAIRE SCHEDULE

Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	SHIELDING
	SB	BOLLARD	3'-0" AFG	BLACK	INVUE ABB-B1-LED-36-D1-A-BK	LED	1.00	11W	FULL CUTOFF
	SL1	STREETLIGHT	20'-0" AFG	BLACK	GE EPST-02-06-B-40-X-A-BLCK	LED	0.70	54W	FULL CUTOFF
	SP1	SITE POLE	20'-0" AFG	BLACK	INVUE EMM-E02-LED-E1-T4-SR-SN-BK-7030-V/A6109	LED	1.00	52W	FULL CUTOFF
	SP2	SITE POLE	20'-0" AFG	BLACK	INVUE EMM-E02-LED-E1-T3-SR-SN-BK-7030-V/A6109	LED	1.00	52W	FULL CUTOFF
	SS	SOLAR STRIP LIGHT	10'-0" AFG	WHITE	SOLAR PATH SP-XL-A-1-X-12W-3-30K-X-WH-X	LED	1.00	12W	FULL CUTOFF
	ST	MAIL KIOSKS	2'-0" AFG	BLACK	LUMUX SL32SS-WHITE-300K-120-BLACK	LED	1.00	2.7W	FULL CUTOFF
	SW	WALL SCONCE	8'-0" AFG	BLACK	LUMIERE 303-W1-LEDB1-3000-UNV-T4-DIM10-BK	LED	1.00	8.5W	FULL CUTOFF

POLE

TYPE 'SL1' FIXTURE

20'-0"

GRADE

BOLLARD

TYPE 'SB' FIXTURE

WALL SCONCE

TYPE 'SW' FIXTURE

PROFILE VIEW

SIDE VIEW

STEP LIGHT

TYPE 'ST' FIXTURE

PROFILE VIEW

SIDE VIEW

SOLAR STRIP LIGHT

TYPE 'SS' FIXTURE

PROFILE VIEW

SIDE VIEW

POLE

TYPE 'SP1' & 'SP2' FIXTURES

3'-0"

23'-0"

20'-0"

GRADE